

# Request for Council Action



AGENDA ITEM  
NO: 9.

Referred to Council: May 11, 2015  
Subject: Redevelopment of the Buchanan Energy Gas Station at 1333 Half Day Road  
Staff Contact: Lee Smith, Senior Planner  
Department: Community Development

**TITLE:** Adoption of the Following Items Concerning the Proposed Gas Station, Convenience Mart and Car Wash Development at 1333 Half Day Road:

- a. An Ordinance Granting a Special Use Permit for a Planned Development
- b. A Resolution Approving a Development Agreement

**Recommendation:** The Department of Community Development respectfully recommends that the City Council adopt the Ordinance granting a special use permit for a planned development, and the resolution approving a development agreement for the 1333 Half Day Road gas station redevelopment project, located on the north side of Half Day Road east of Skokie Valley Rd (Route 41).

**Background:** On March 23, 2015 the City Council directed Corporation Counsel to prepare an Ordinance, Resolution and Development Agreement for the proposed redevelopment project.

**Project Description:** Demolition of an existing gasoline station, attendant kiosk, and motor vehicle washing facility and construction of a new gasoline station, convenience food mart without outdoor patio, motor vehicle washing facility and outdoor sales space

**Applicant/Owners:** Buchanan Energy, LLC  
4973 Dodge Street  
Omaha, Nebraska 68132

**Site Location/Area:** 1333 Half Day Rd. / 54,907 sq. ft. (1.26 acres)

**Current Zoning:** B3 Highway Commercial District

**Current Uses:** Gasoline station with 5 fuel pumps, an attendant kiosk and motor vehicle washing facility

**Proposed Uses:** Gasoline station with 8 fuel pumps, convenience food mart, motor vehicle washing facility and outdoor sales space

### **Applicant's Proposed Public Benefit and Plan Commission Recommendation**

Section 150.515 of the Zoning Code requires a public benefit to be provided for Planned Developments “for which the applicant has requested a modification of the periphery yard, floor area ratio, open space, parking, building height, or lot coverage requirements otherwise applicable.” Section 150.515(D) allows the Plan Commission to review the proposed public benefit in conjunction with its review of the proposal and make recommendations to the City Council regarding the appropriateness of the proposed public benefit.

The City Council has agreed to the applicant’s proposed public benefit:

- (1) A sidewalk in the Half Day Road right-of-way to the intersection with SVR, a crosswalk to connect the north and south sides of Half Day Road east of SVR and an improved traffic signal including a countdown timer.<sup>1</sup>

### **Proposed Modification of Zoning Standards Allowable Under Planned Development Process**

The proposed development departs from the standards of the Zoning Code in a number of respects. These departures, as reflected in the Ordinance and Development Agreement, are permitted as part of a Planned Unit Development.

1. A variation from Section 93.235(G) of the Highland Park Code to:
  - a. increase the permitted width of the driveway located at the property line of the Property abutting Half Day Road, from 30 feet to 52 feet;
2. A modification from Section 150.408(B)(3) of the Zoning Code to:
  - a. permit utilization of the outdoor sales area of the Proposed Development throughout each year;
3. A modification from Section 150.707(A)(8) of the Zoning Code to:
  - a. permit the construction of an otherwise-prohibited fence in a required front yard;
4. A modification from Section 150.707(D)(1) of the Zoning Code to:
  - a. permit the otherwise-prohibited construction of an accessory structure (fence) in a required front yard;
5. A modification from Section 150.808(D)(6)(a) of the Zoning Code to:
  - a. decrease the number of required stacking spaces at the entrance of the Car Wash, from 30 spaces to 11 spaces; and
6. A modification from Section 150.2220(C)(2) to:
  - a. permit the construction of vehicular parking areas without landscape planting islands for every 10 parking spaces.

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<sup>1</sup> Pursuant to letters submitted from IDOT (attached) and by the project engineer, ARC Design Resources, the proposed crosswalk and signal design are in the final stage of the IDOT approval process, and IDOT is only waiting for completion of final permit applications.

### **City Council Directed Conditions of Approval**

In addition to the standard set of conditions contained in all PD Development Agreements, the council, upon recommendation of the Plan Commission, directed the following specific conditions be incorporated into the Development Agreement.

- a) The motor vehicle washing facility will be closed during the hours of 11 p.m. and 5 a.m.
- b) Prior to issuance of a building permit, the applicant shall work with City staff to identify the appropriate locations on the subject property for the underground tank venting system stacks.

### **Documents Attached:**

- A. Ordinance Granting a Special Use Permit for a Planned Development
- B. Resolution Approving a Development Agreement
- C. Development Agreement
- D. Development Plans
- E. 03-23-15 Request for Council Action (w-out attachments)

# REQUEST FOR PLAN COMMISSION ACTION

**DATE REFERRED:** February 17, 2015

**ORIGINATED BY:** Department of Community Development

**SUBJECT:** Public Hearings #15-01-PUD-003 and #15-01-SUP-001 for Preliminary and Final Plan Consideration of a Planned Development and Conditional (Special) Use of a Gasoline Station with Convenience Food Mart and Motor Vehicle Washing Facility at 1333 Half Day Road; and, Consideration of Findings of Fact Recommending City Council Approval

## **BACKGROUND & SUMMARY:**

This matter was previously considered by the Plan Commission and the City Council in 2012 and 2013. On February 5, 2013 the Plan Commission approved affirmative findings of fact for a Preliminary Plan of Development of the subject property by a vote of 4-1. On May 13, 2013, the City Council unanimously approved a resolution granting approval of a Preliminary Plan of Development for the gas station, convenience store and car wash. At that time the applicant, Buchanan Energy, was not able to move ahead for final Planned Development approval within the required 6-month timeframe due to two issues that took some time to resolve. These issues were:

- Resolution of a cross-access agreement with Semersky Enterprises, the property owner to the west of the gas station; and,
- The Illinois Department of Transportation's (IDOT) requirement for relocation of the driveway on the Semersky property in advance of issuing a permit approval for the Buchanan project.

At this time, these issues have been resolved. **The proposed site plan is unchanged since 2013 other than (1) the relocation of the U.S. Route 41 (Skokie Valley Road) driveway with the cross access shifted slightly north of the original location; and, (2) the shifting of the Half Day Road access drive slightly east.**

The following summarizes the proposed development, the applicant's requested relief, the proposed public benefits and the Planned Development standards for consideration for both a Special Use Permit and Planned Development.

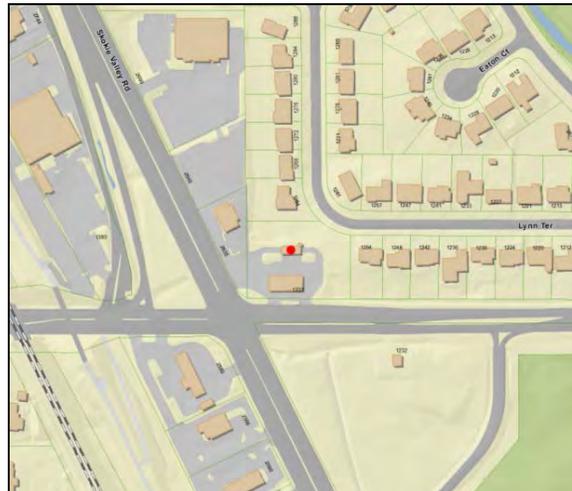
**Applicant/Owners:** Buchanan Energy, LLC  
7315 Mercy Road  
Omaha, Nebraska 68124

**Representative:** Walter Hainsfurter, Kurtz  
Associates Architects

**Site Location:** 1333 Half Day Rd.

**Site Area:** 54,907 s.f.  
(1.26 acres)

**Planning District:** Skokie Highway Corridor



# REQUEST FOR PLAN COMMISSION ACTION

**Current Zoning:** B3 Highway Commercial n:\commission packets\plan commission\2015\20315\1333 half day road (bucky's)\02-03-15 pca 1333 half day road (bucky's pd).docx District

**Current Uses:** Gasoline station with 5 fuel pumps, an attendant kiosk and motor vehicle washing facility

**Project Description:** Demolition of the existing improvements and construction of a new gasoline station, convenience food mart, motor vehicle washing facility and outdoor sales space

**Proposed Uses:** Gasoline station with 8 fuel pumps, 4,706 square foot (s.f.) convenience food mart, motor 2,282 s.f. vehicle washing facility and outdoor sales space

**Surrounding Zoning & Land Uses:**

Direction	Land Use	Zoning
North	Highway Commercial and Single-Family Residential	B3 and R6
West	US-41 and Highway Commercial Uses	B3
South	Illinois Department of Transportation Property, and Park District of Highland Park Property	B3 and R1
East	Single-Family Residential	R6

**Required Off-Street Parking:**

Proposed Use	Required	Proposed
Gasoline Station/Convenience Food Mart/Outdoor Sales Space	12	12
Motor Vehicle Washing Facility	15	16
<b>TOTAL</b>	27	28 (+1)

**Process:** Planned Development and Conditional Use Permit

**Project Description:**

The property at 1333 Half Day Road is zoned B3 Highway Commercial. The proposed convenience food mart is a permitted use in the B3 zoning district; however, gasoline stations and motor vehicle washing facilities are conditional uses in the B3 zoning district. In this instance, the motor vehicle washing facility is accessory to the principal conditional use of a gasoline station.

The proposed convenience mart is 17 ft. tall and the proposed pump canopy is 18 ft. tall. The applicant is also proposing a total of 238 sq. ft. of outdoor sales space to be used year-round, located throughout the site including at each fuel pump and in front of the proposed convenience food mart.

# REQUEST FOR PLAN COMMISSION ACTION

## **Site Plan, Setbacks and Easements**

With regard to the B3 zoning district, there is a minimum front yard setback of 25 ft. and a minimum side yard setback of 10 ft. for lot lines adjacent to residential zoning districts. There is no minimum side yard setback requirement for side yards adjacent to commercial zoning districts. The pavement leading to the entrance of the car wash (443 sq. ft. in size) encroaches into the 25 ft. front yard setback on the northeastern side of the property abutting Lynn Terrace; relief is being sought for this encroachment. In addition, the trash enclosure is encroaching into the 10 ft. side yard setback at the north side of the property.

There is an existing 10 ft. utility easement on the western edge of the property, and a 7 ft. utility easement on the southern edge of the property. Per the Plat of Subdivision, these easements have been provided for successors to Illinois Bell and Commonwealth Edison, and the installation of permanent buildings or trees is expressly prohibited within the easements. The applicant is proposing to locate a monument sign within these easements, which is allowed.

The plan calls for the removal/closure of the western-most ingress/egress at Half Day Road, and a widening of the existing eastern ingress/egress along Half Day Road. The driveway approach of the proposed eastern ingress/egress is 52 ft. across. Section 93.235(G) of the Municipal Code limits the width of driveways on non-residential lots to 30 feet across; therefore, the applicant is requesting relief from this requirement. The applicant also proposes to slightly modify the existing 35 foot wide cross-access easement between the subject property and the property immediately to the west, which fronts on Skokie Valley Road. The executed cross-access easement between the parties is attached.

The applicant is proposing to install an 8 ft. fence along the northern and eastern edges of the property, which abut single-family residential use in an R6 zoning district. Exclusive of the property which fronts Lynn Terrace, the northern and eastern portions of the subject property are classified as side yards. Per Municipal Code Section 173.010(D), an 8 ft. tall solid or open type fence may be erected along the lot line of residential property which separates such property from a commercial zoning district; therefore, the 8 ft. tall fences along the northern and eastern edges of the property are permitted; however, a proposed segment of fence which borders Lynn Terrace is not permitted due to the fact that it is in a front yard. This portion of the property is classified as a front yard because it fronts on a public street, and Section 173.010(C) prohibits fences taller than 4 ft. tall in a front yard in a residential district. The applicant is requesting relief from this provision of the Code.

## **Off-Street Parking and Car-Wash Stacking**

As indicated in the following table, with regard to the proposed gasoline station/convenience food mart/outdoor sales use, 2.5 parking spaces are required per 1,000 sq. ft. of Gross Floor Area of interior sales space, 1.5 parking spaces are required per 1,000 sq. ft. of external display, and 3 parking spaces are required per service bay. The applicant is proposing a 4,706 sq. ft. interior sales space, and 238 sq. ft. of outdoor sales space. No service bays are proposed in the gas station or car wash. The total parking required for the gasoline station/convenience food mart/outdoor sales space use is 12 spaces.

<b>Proposed Use</b>	<b>Required</b>	<b>Proposed</b>
Gasoline Station/Convenience Food Mart/Outdoor Sales Space	12	12
Motor Vehicle Washing Facility	15	16
<b>TOTAL</b>	27	28 (+1)

# REQUEST FOR PLAN COMMISSION ACTION

For the proposed motor vehicle washing facility use, 2.5 parking spaces are required per 1,000 sq. ft. of Gross Floor Area and 3 spaces are required per each service bay. The total parking required for the motor vehicle washing facility is 15 spaces, for a total of 27 parking spaces required on site. The applicant is proposing to provide 28 perpendicular parking stalls, which includes 2 handicap accessible spaces, 2 spaces designated for employee use, and 4 spaces designated for vacuum use. This meets the parking requirement for the proposed uses, and the dimensions of the proposed spaces meet the required design specifications.

The amount of required vehicle stacking for the motor vehicle washing facility is calculated by multiplying the number of cars that can be washed at any given time by 10. Three cars can be washed in the proposed car wash at once; therefore, stacking for 30 cars is required. The applicant is proposing to provide stacking for 11 vehicles and therefore requests relief from the stacking requirement.

## **Traffic Flow and Public Safety**

The applicant has resubmitted the attached traffic study prepared by Eriksson Engineering Associates, dated June 22, 2012. The report concluded that:

- The remodeled station could generate 135 morning and 195 additional vehicle trips, with 60 to 90 percent of these as pass-by trips already driving by the site
- The west driveway on Half Day Road will be closed and will reduce vehicular conflicts on Half Day Road
- The widening of the east drive will improve traffic flow
- Access to Skokie Valley Road via an easement through the proposed (Semersky) Exchange display lot will be maintained
- Stacking for the car wash is adequate and will not interfere with on-site traffic flow
- On-site circulation to and from the fuel pumps is good
- Fueling tankers and refuse trucks turning paths are sufficient No improvements are required along Half Day Road or Skokie Valley Road

The traffic study prepared by Eriksson Engineering Associates was reviewed by Civiltech at the request of the City. Civiltech notes that they generally concur with the methodologies, results and conclusions in the study submitted by Eriksson Engineering Associates.<sup>1</sup>

## **Tree Removal**

The applicant has submitted a Tree Preservation Plan. The Plan identifies approximately 56 trees that will be removed for the proposed development. Chapter 94 of the Municipal Code requires tree replacement/fees for the trees proposed to be removed. The City Forester has reviewed the proposed tree removal plan, does not object to the proposed development with regard to tree loss, and has submitted the attached memorandum for the Plan Commission's consideration.

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<sup>1</sup> Civiltech notes that approximately 55 to 65 percent of the trips to the site will result from pass-by trips, not the 60 to 90 percent estimated by Eriksson Engineering Associates. Regardless, Civiltech notes that the Eriksson report provides a conservative estimate of traffic impacts for the site.

# REQUEST FOR PLAN COMMISSION ACTION

## **Noise Considerations**

The applicant previously submitted a sound report prepared by Acoustic Associates in response to the Plan Commission's initial concerns regarding noise associated with the car wash use. This report concluded that "the noise from the car wash will be at a minimum average noise already present at the site. Consequently, the impact of the car wash noise would be negligible."

## **Applicant's Proposed Public Benefit**

The applicant proposes to provide the following public benefit in exchange for the requested relief: a crosswalk to connect the north and south sides of Half Day Road east of Skokie Valley Road and an improved traffic signal including a countdown timer. Pursuant to letters submitted from IDOT (attached) and by the project engineer, ARC Design Resources, the proposed crosswalk and signal design are in the final stage of the IDOT approval process, and IDOT is only waiting for completion of final permit applications.

## **Other Commission and Departmental Reviews**

### **Design Review Commission Review**

The Design Review Commission considered and reviewed this application and issued a Certificate of Approval (COA) dated March 16, 2013 for the proposed project. The DRC approval pertains to the Site, Landscape, Photometric and Building Elevations and Signage Plans. The DRC COA (without exhibits) is attached. The new Planned Development application does not require a review by the DRC. The COA is not time limited.

### **Engineering Division Review**

The grading and drainage improvements for the proposed Bucky's at 1333 half Day Road have been approved. The only task left for the project applicant engineer is to complete the Watershed Development Permit Application and submit it to the Engineering Division with the appropriate fee.

Engineering has not yet received an approved set of the plans for the proposed pedestrian signal improvements from IDOT.

### **Police and Fire Department Review**

The Police Department has reviewed the attached plans and has expressed support for the proposed site configuration because it eliminates the west ingress/egress onto Half Day Road. It should be noted that the rights-of-way on Skokie Valley Road and Half Day Road are under Illinois Department of Transportation (IDOT) jurisdiction; therefore, IDOT will need to issue permits for work within either of these rights-of-way.

The Fire Department has reviewed the plans and notes that fire alarms, sprinkler systems, fire department connections and Knox Boxes will be required.

## **Proposed Modification of Zoning Standards Allowable Under Planned Development Process**

Under the current proposal, the applicant is requesting relief for the following:

- A. A variation from Section 93.235(G) of the Highland Park Code to increase the permitted width of the driveway located at the property line of the Property abutting Half Day Road, from 30 feet to 52 feet;

# REQUEST FOR PLAN COMMISSION ACTION

B. A modification from Section 150.408(B)(3) of the Zoning Code to permit utilization of the outdoor sales area of the Proposed Development throughout each year;

C. A modification from Section 150.707(A)(8) of the Zoning Code to permit the construction of an otherwise-prohibited fence in a required front yard;

D. A modification from Section 150.707(D)(1) of the Zoning Code to permit the otherwise-prohibited construction of an accessory structure (fence) in a required front yard;

E. A modification from Section 150.808(D)(6)(a) of the Zoning Code to decrease the number of required stacking spaces at the entrance of the Car Wash, from 30 spaces to 11 spaces; and

G. A modification from Section 150.2220(C)(2) to permit the construction of vehicular parking areas without landscape planting islands for every 10 parking spaces.

## **Recommended Condition of Approval**

- The motor vehicle washing facility will be closed during the hours of 11 p.m. and 5 a.m.
- Prior to issuance of a building permit, the applicant shall work with City staff to identify the appropriate locations on the subject property for the underground tank venting system stacks.
- Deposit sufficient funds with the City to fund the proposed public benefit.

## **Policy**

The applicant is requesting Plan Commission and City Council consideration of a proposed Planned Development and Conditional Use. The process for consideration of a Planned Development and Conditional Use requires Plan Commission review of the proposed development at a public hearing, and the forwarding of a recommendation to the City Council upon making findings that the proposed development satisfies the standards set forth in Article V (Planned Developments) and Article XIV (Special Uses) of the Zoning Code, respectively.

Per Section 150.530(H)(2), the Plan Commission must make findings of fact that the proposed development: 1) conforms to the goals and objectives of the Master Plan and to the standards and requirements of Article V; and, 2) provides a public benefit pursuant to the requirements in Section 150.515. The applicant must also demonstrate that the proposed development satisfies and incorporates, to the greatest extent practicable, the site design standards, set forth in Section 150.520 of the Zoning Code:

The applicable standards and whether and how the proposed development meets the required standards are set forth in the attached draft findings of fact. These draft findings of fact are essentially the same as those previously approved by the Plan Commission in 2013.

## **RECOMMENDATION:**

It is recommended that the Plan Commission open the public hearings, consider the applicant's submittals, any public comment, the proposed modifications from standards requested, and recommended conditions, then deliberate on the proposed plan of development. Following that, if the Plan Commission so desires it may consider the attached draft Findings of Fact recommending City Council approval of the proposed Preliminary and Final Plan of Development for the project at 1333 Half Day Road, and vote to forward the Findings of Fact to the City Council for final determination.

# REQUEST FOR PLAN COMMISSION ACTION

## **DOCUMENTS ATTACHED:**

- A. Findings of Fact (Draft)
- B. Applicant's Narrative
- C. Correspondence from ARC Resources Re: IDOT Approvals (01-28-15)
- D. Applicant's Plan Submittal
- E. DRC Certificate of Approval (w-out attached Plans)
- F. Email from the Engineering Division (01-29-15)
- G. Memorandum from the City Forester (01-08-13)
- H. Cross-Access Easement between Buchanan Energy and Semersky Enterprises



**ARC DESIGN**  
RESOURCES INC.

6281 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334

THIS LAYOUT IS FOR DIAGRAMMATIC PURPOSES ONLY AND IS NOT FOR CONSTRUCTION. LOCAL CODES WERE NOT KNOWN OR PROVIDED FOR THIS LAYOUT.

**BUCKY'S EXPRESS  
STORE 430**

**APRIL 27, 2012**

**HALF DAY ROAD  
AND SKOKIE  
HIGHWAY  
HIGHLAND PARK, IL**

**AERIAL EXHIBIT**



## GENERAL NOTES

- The bearing base for this survey originated from the West line of Lot 10, Block 1, Highland Park Highlands Fourth Addition, City of Highland Park, Lake County, Illinois having an assumed bearing of N00 degrees 00'00"E.
- The property has an area of 54,907 square feet or 1.2605 acres.
- The property is designated by Lake County, Illinois as Tax Map Parcel Number 16-16-402-023.
- There is no observable evidence of cemeteries or burial grounds on the subject property at the time of this survey.
- There was no observable evidence of earth moving work, building construction or additions, no changes in right of way lines, recent street or sidewalk construction or repairs and no observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- Interior roadways appear to be private, variable in width and unnamed, unless otherwise shown.
- All measured and recorded dimensions are the same unless noted otherwise.
- No monuments shown have identification numbers.
- The utility locations shown hereon were determined by observable above ground evidence only. This office was not provided with utility plans or markings to determine any subsurface locations.

## ZONING NOTES

**Zoned:** B-3, Highway Commercial District

**Permitted Use Classification:** Provide for commercial uses in locations which abut or front, and have access to, either directly or via frontage roads, heavily traveled multi-laned major roadways.  
**Observed Use:** Gas Station  
 Existing site conditions appear, from outside observations, to fall within the conditional uses as listed above in the City of Highland Park's Zoning Regulations, Section 150-IV.

Zoning Regulations are subject to change and interpretation, for further information contact:

City of Highland Park, Illinois  
 Community Development Department  
 1150 Half Day Road  
 Highland Park, IL 60035  
 Phone: 1-847-432-0867  
 Contact: www.cityhpi.com

### Site Restrictions:

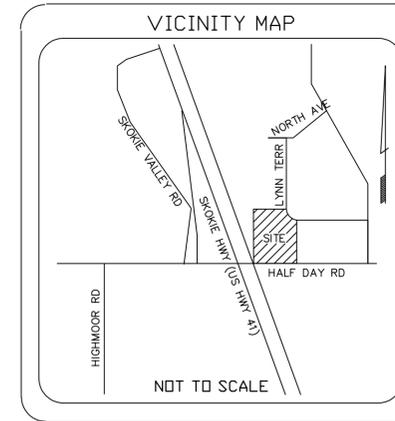
- Minimum building setbacks:  
 Front: 25.00 FT (min. provided: 31.2 FT)  
 Side: 0.00 FT Adjacent to Non-Residential (min. provided: 87.4 FT)  
 10.00 FT Adjacent to Residential  
 Rear: 20.00 FT Adjacent to Residential (min. provided: 58.4 FT)
- Minimum lot size: NA (min. provided: 54,907 SQ FT)
- Minimum lot frontage: N/A (min. provided: 275.00 FT)
- Maximum building height: 45.00 (max. provided: 14.4 FT)
- Maximum building coverage: N/A (max. provided: 2.1%)

### Parking Tabulation:

Regular parking space calculations are performed based on the off-street parking requirement for Gas Stations of 2.5 spaces per 1,000 square feet of gross floor area of interior sales space plus 1.5 spaces per 1,000 square feet of external display area plus 3 spaces per service bay. Handicap spaces are calculated based on ADA requirements.

Total regular parking spaces provided: 3  
 Total handicap spaces provided: 1  
 Total combined spaces provided: 4

This office is unable to compute the required number of parking spaces as measurement of the gross floor area of interior sales space was not included in the scope of services for this survey project.



## LEGEND OF SYMBOLS & ABBREVIATIONS

LIGHT POLE	☆	GROUND LIGHT	◀
POWER POLE	⊗	DENOTES RECORD DATA	(X.X)
POWER POLE/LIGHT POLE	⊗	DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE	X.X
SANITARY SEWER MH	⊙	WATER VALVE	⊗
FIRE HYDRANT	⊕		
STORM SEWER MH	⊙		
MANHOLE	○		
SPRINKLER VALVE	○ <sup>SP</sup>		
STORM SEWER INLET	□		

## LEGAL DESCRIPTION

A Description of  
 Mobil Oil Corporation, a New York corporation  
 Commitment for Title Insurance  
 Stewart Title Guaranty Company  
 Commitment Number 09031746, dated July 7, 2010 at 8:00 A.M.  
 Lake County, Illinois

### RECORD LEGAL DESCRIPTION:

LOT 10 IN BLOCK 1 IN HIGHLAND PARK HIGHLANDS FOURTH ADDITION, BEING A SUBDIVISION OF PART OF LOTS 9, 10 AND 11 IN SCHOOL TRUSTEE'S SUBDIVISION OF SECTION 16 AND PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF, RECORDED MARCH 18, 1960 AS DOCUMENT 1063607 IN BOOK 35 OF PLATS, PAGE 20 IN LAKE COUNTY, ILLINOIS.

ALSO BEING DESCRIBED AS:

LOT 10, BLOCK 1, HIGHLAND PARK HIGHLANDS FOURTH ADDITION, CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 10; THENCE N89 DEGREES 27'15"W, 275.00 FEET; THENCE N00 DEGREES 00'00"E, 203.52 FEET; THENCE N90 DEGREES 00'00"E, 201.90 FEET; THENCE 83.47 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 149.42 FEET AND A LONG CHORD SUBTENDED BEARING S65 DEGREES 05'30"E, 82.38 FEET; THENCE S00 DEGREES 32'45"W, 171.45 FEET TO THE POINT OF BEGINNING.

Contained within said bounds 54,907 square feet or 1.2605 acres.

This description describes all the land described in the title commitment identified as Stewart Title Guaranty Company Commitment Number 09031746 having an effective date of July 7, 2010 at 8:00 A.M.

## SCHEDULE B - TITLE EXCEPTION NOTES

This survey is based on a title report prepared by Stewart Title Guaranty Company, Commitment Number 09031746, dated July 7, 2010 at 8:00 A.M.

Items not listed below are standard title exceptions and/or are not matters that pertain to this survey.

- 4 Environmental No Further Remediation Letter recorded September 11, 2007 as Document Number 6239838. Not plotted. Blanket in nature. Does affect entire subject property.
- 5 Environmental No Further Remediation Letter recorded October 8, 2007 as Document Number 6252381. Not plotted. Blanket in nature. Does affect entire subject property.
- 7 Covenants, Conditions and Restrictions contained in Special Warranty Deed recorded March 5, 1986 as Document Number 2424318. Not plotted. Blanket in nature. Does affect entire subject property.
- 8A Conditions and Restrictions contained in Declaration of Protective Covenants recorded March 18, 1960 as Document Number 1063606. Not plotted. Blanket in nature. Does affect entire subject property.
- 8B Vehicular Access Restrictions contained in Declaration of Protective Covenants recorded March 18, 1960 as Document Number 1063606. Affects property as shown.
- 10A A 7.00 foot Utility Easement as shown on the plat of Highland Park Highlands Fourth Addition recorded March 18, 1960 in Book 35 of Plats, Page 20 as Document Number 1063607. Affects property as shown. Item not contained in subject title commitment.
- 10B A 10.00 foot Utility Easement as shown on the plat of Highland Park Highlands Fourth Addition recorded March 18, 1960 in Book 35 of Plats, Page 20 as Document Number 1063607. Affects property as shown. Item not contained in subject title commitment.

## POTENTIAL ENCROACHMENT NOTES

- A A drive entrance exists from 32.0 to 81.0 feet North of the South property line along the West property line allowing for ingress and egress to and from the subject property and the adjacent property to the West with no apparent easement as per the subject property.
- B The neighbor's asphalt pavement encroaches from 0.0 to 1.0 feet East of the West property line onto the subject property.
- C A wooden fence encroaches from 0.1 to 2.6 feet North of the North property line onto the adjacent property to the North.
- D A wooden fence encroaches from 0.0 to 0.8 feet Northeast of the Northeast property line into the Lynn Terrace right of way.
- E A wooden fence encroaches from 1.0 to 3.0 feet East of the East property line onto the adjacent property to the East.
- F A concrete sidewalk encroaches from 0.0 to 3.5 feet North of the South property line onto the subject property.

## FLOOD ZONE NOTE

By graphic plotting only, this property is in Zone: "X" of the Flood Insurance Rate Map, Community Panel No. 17097C 0279 C, which bears an effective date of 11-16-2006 respectively and is not in a Special Flood Hazard Area. By telephone call to the National Flood Insurance Program (800-638-6620) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

Survey Prepared By:

**Sarko Engineering Inc.**  
 847 Highway JG  
 Mount Horeb, WI 53572  
 Phone: 608-832-6297  
 Fax: 608-832-6349  
 Email: rsarko@mhtc.net

Surveyor's Drawing No.:	41534
Surveyor's Site Ref.:	HIGHLAND PARK
Checked by: RFS	Drawn by: VS
GRAPHIC SCALE: 1" = 20'	

## ALTA/ACSM LAND TITLE SURVEY

### Surveyor's Certification

EXXON MOBIL  
 STORE NO. 13263  
 1333 HALF DAY ROAD  
 HIGHLAND PARK, ILLINOIS

TO: Exxon Mobil Corporation, ExxonMobil Oil Corporation, Stewart Title Guaranty Company and MKAssociates, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 and 14 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in his professional opinion, as a licensed professional land surveyor registered in the State of Illinois, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Roland Sarko

Roland F. Sarko  
 Licensed Professional Illinois Land Surveyor  
 License Number 035-002401  
 License Expires: 11-30-2010  
 Date of Survey: 8-9-2010  
 Date of Last Revision: 8-12-2010

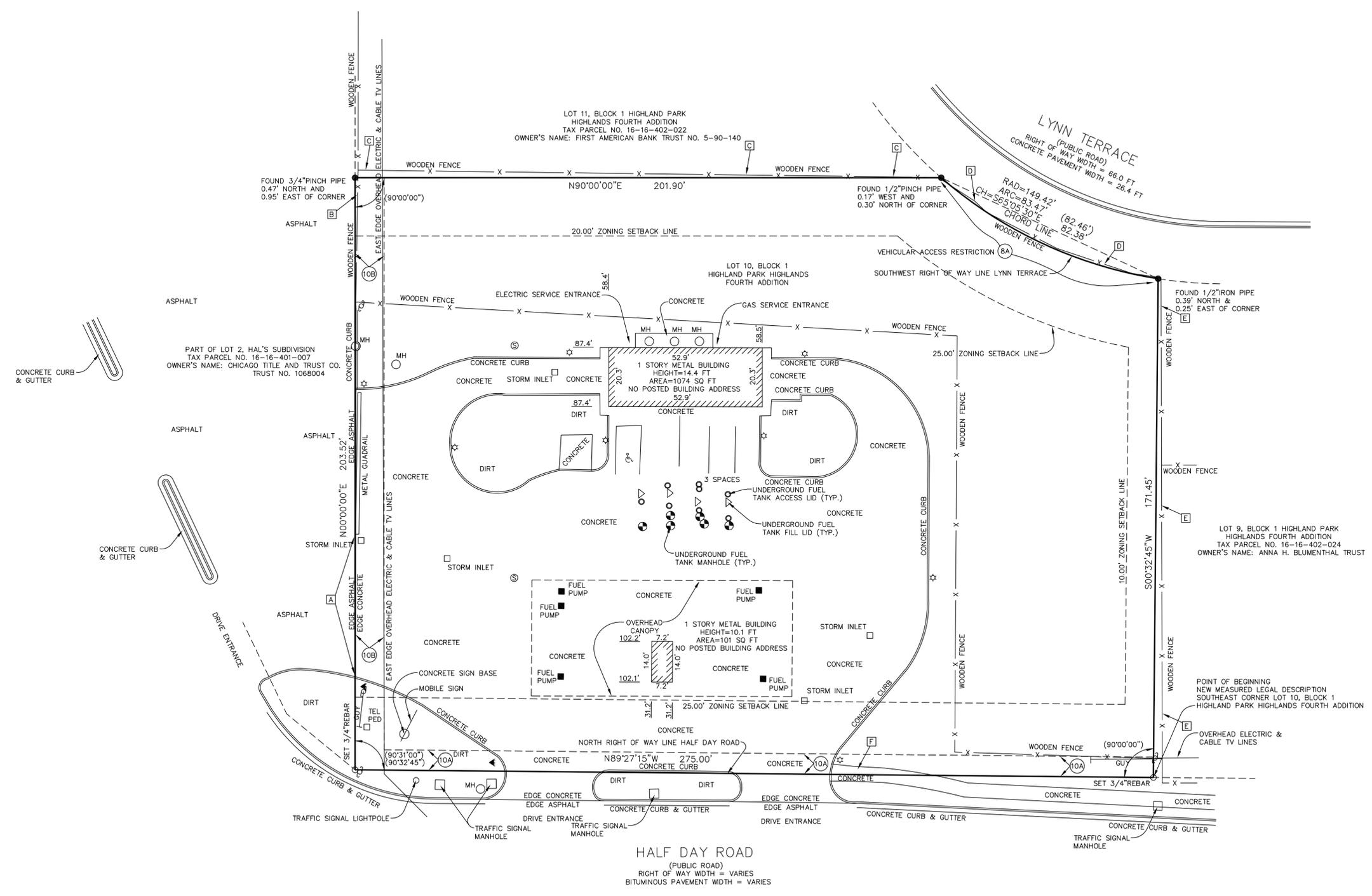


PROJECT NAME: EXXON MOBIL MKA PROJECT No.: 1099-09-1813:081  
 ADDRESS: 1333 HALF DAY ROAD CITY: HIGHLAND PARK STATE: ILLINOIS



For Inquiries Concerning This Survey Contact MKA  
 National Coordinators of Land Survey Services

6593 Commerce Court- Warrenton, Virginia 20187  
 Phone: (540)428-3550 Fax: (540)428-3560  
 www.mkassociates.com



Survey Prepared By:  
**Sarko Engineering Inc.**  
 847 Highway JG  
 Mount Horeb, WI 53572  
 Phone: 608-832-6297  
 Fax: 608-832-6349  
 Email: rsarko@mhtc.net

Surveyor's Drawing No.:	41534
Surveyor's Site Ref.:	HIGHLAND PARK
Checked by:	RFS
Drawn by:	VS

GRAPHIC SCALE: 1" = 20'

PROJECT NAME: EXXON MOBIL      MKA PROJECT No.: 1099-09-1813:081  
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**MKA**  
 A National Land Services Group

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PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
ROCKFORD, IL 61107  
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

NO.	ITEM	DATE
1	DRC APPROVAL	03-07-2013
2	AGENCY REVIEW	03-21-2013
3	IDOT REVIEW	05-15-2013
4	CITY REVIEW	05-20-2013
5	IDOT APPROVAL	08-19-2013
6	CITY APPROVAL	08-23-2013
7	CITY APPROVAL	09-25-2013
8	IDOT APPROVAL	05-13-2014
9	IDOT APPROVAL	08-22-2014

REVISIONS

NO.	ITEM	DATE
1	DWYV SHIFT	8-22-2014
2	----	----
3	----	----
4	----	----
5	----	----
6	----	----
7	----	----

SHEET TITLE

**PLAN ZONING  
EXHIBIT**

DRAWN -----  
CHECKED -----  
PM

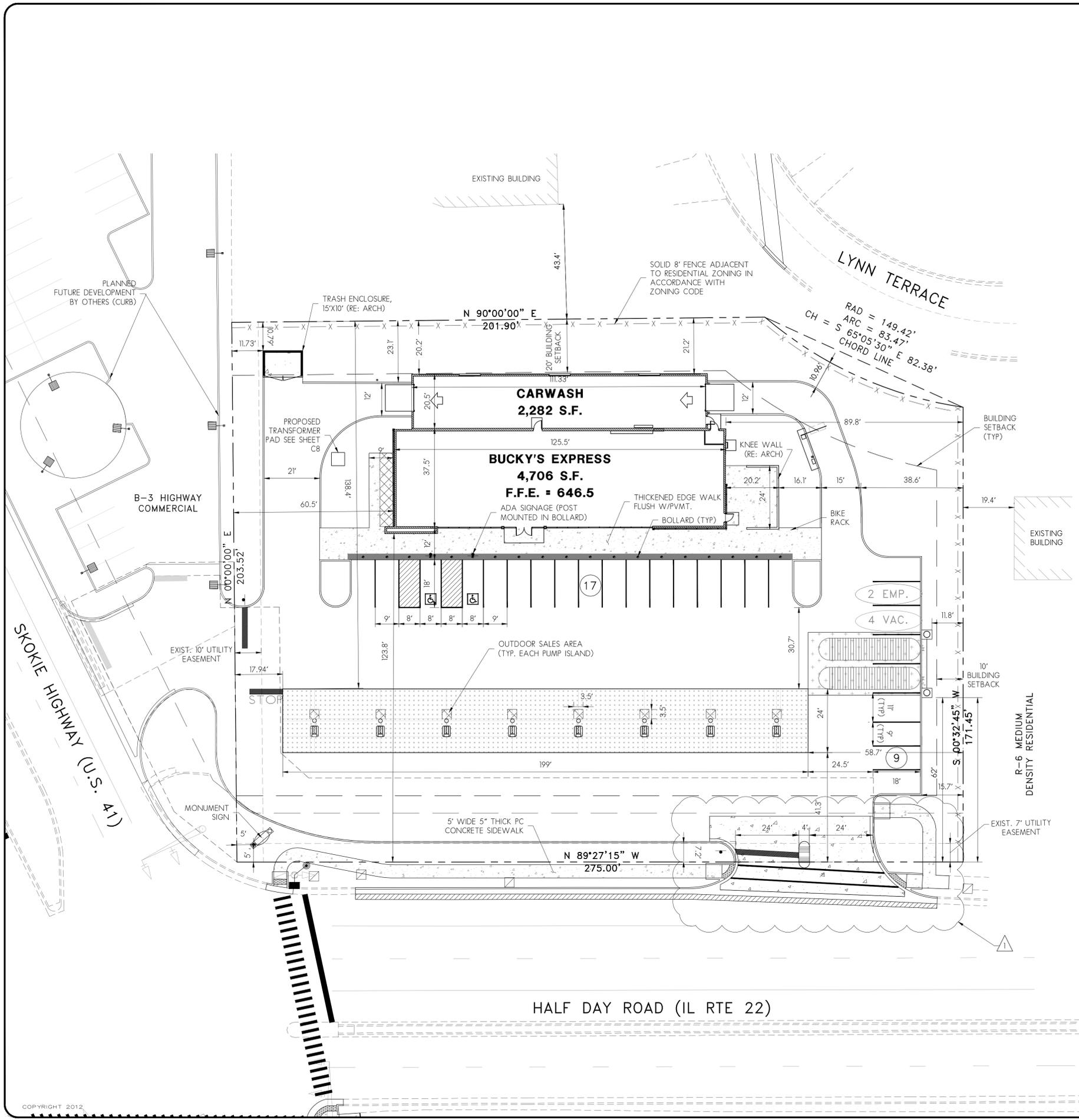
PROJECT NUMBER  
SHEET NUMBER  
**12013**  
**EX 1**

**LEGEND**

- \*ALL PAVEMENT DIMENSIONS REFERENCE THE FACE OF CURB WHERE CURB IS PROPOSED
- PROPERTY LINE
  - - - EXISTING RIGHT-OF-WAY
  - [Pattern] CONCRETE PAVEMENT, 7" (UNLESS OTHERWISE NOTED)
  - [Pattern] CONCRETE PAVEMENT, 7" (ISLAND / CANOPY)
  - [Pattern] CONCRETE PAVEMENT, 8" (TANK FARM)
  - [Pattern] CONCRETE PAVEMENT, 8" (DRIVEWAYS W/IN R.O.W. AND SIDEWALKS CROSSING DRIVEWAYS)
  - [Pattern] CONCRETE SIDEWALK, 5" (PUBLIC SIDEWALK NOT IN DRIVEWAYS AND THICKENED EDGE SIDEWALK)
  - [Pattern] OUTDOOR SALES AREA
  - X --- PROPOSED FENCE
  - (10) NUMBER OF PROPOSED PARKING SPACES PAINTED YELLOW STRIPES
  - [Symbol] PROPOSED HANDICAP PARKING SYMBOLS
  - [Symbol] EXISTING LIGHT POLE
  - [Symbol] PROPOSED SIGN
  - [Symbol] EXISTING SIGN
  - [Symbol] PROPOSED LIGHT POLE
  - [Symbol] EXISTING SIGNAL CONTROLLER
  - [Symbol] EXISTING TRAFFIC SIGNAL MAST ARM
  - [Symbol] PROPOSED PARKING (PAVEMENT MARKING)
  - [Symbol] EXISTING PARKING (PAVEMENT MARKING)
  - [Symbol] DETECTABLE WARNING STRIP-"TURF TITE WET SET"

**ZONING INFORMATION**

Setbacks	Front Yard Half Day Rd.	Side Yard (residential)	Side Yard (non-residential)	Rear Yard (residential)
<b>Building Setback Required:</b>	25'	10'	0'	20'
<i>Building Setback Provided:</i>	123.8'	89.8'	60.5'	20.2'
<b>Canopy Setback Required:</b>	25'	10'	0'	20'
<i>Canopy Setback Provided:</i>	41.3'	58.7'	17.94'	138.4'
<b>Landscape Setback Required:</b>	10'	-	-	-
<i>Landscape Setback Provided:</i>	7.2'	15.7'	11.73'	10.79'
<b>Signage Setback Required:</b>	5'	5'	5'	5'
<i>Signage Setback Provided:</i>	5'	191'	5'	261'
<b>Parking Requirements</b>	2.5 Spaces Required per 1,000 S.F.	11		
<i>Quantity Provided:</i>		26		
<b>Stall Size Requirement:</b>	9' x 18'			
<i>Stall Size Provided:</i>		(20) 9' x 18' + (2) 16' x 18' ADA + (4) 11'x18' Vacuum		
<b>Landscaping Requirements</b>	Vehicular Use Area (VUA)		30,116 SF	
	Landscaping Required w/in VUA	10%	3,012 SF	
	<i>Landscaping w/in VUA Provided:</i>	14%	4,081 SF	
	<b>Landscaped Islands Required:</b>	2 = 1 per 10 spaces with no more than 10 spaces between islands		
	<i>Landscaped Islands Provided:</i>	0		



# BUCKY'S EXPRESS

## HIGHLAND PARK, IL

### HALF DAY ROAD (IL RTE 22) & SKOKIE HIGHWAY (U.S. 41)

**ARC DESIGN**  
RESOURCES INC.

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

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5412 REGENTS PARK ROAD  
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PHONE (402) 718-6724

CONSULTANTS

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REVISIONS

NO.	ITEM	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---

SHEET TITLE

**SITE COVER**

DRAWN -----  
CHECKED -----  
PM PM

PROJECT NUMBER  
SHEET NUMBER

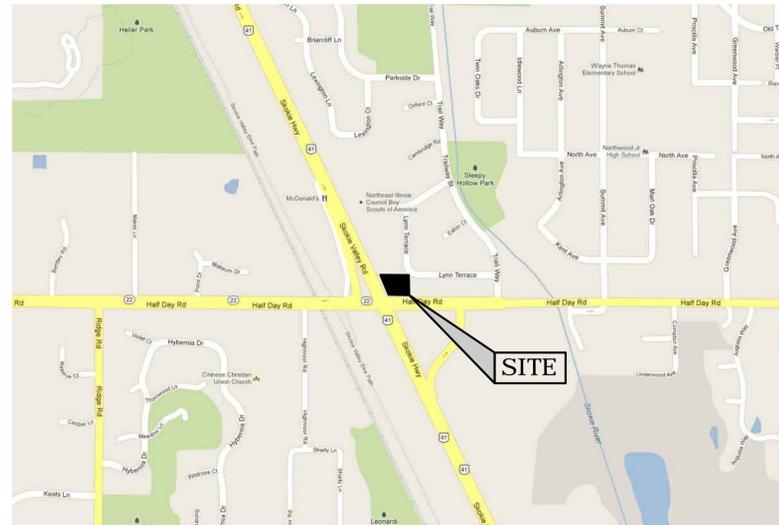
**12013**

**C0**

#### GENERAL NOTES

- ALL PHASES OF THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. REFER TO SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL AND STATE AND OR FEDERAL REGULATIONS REGARDING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT.
- WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, OR NEAR THE CONSTRUCTION SITE.
- ALL EARTHWORK, GRADING AND PAVING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION, ADOPTED JANUARY 1, 2012, AND ALL REVISIONS AND SUPPLEMENTS THERETO, AND THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF HIGHLAND PARK, IL.
- ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION" IN ILLINOIS LATEST EDITION AND THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF HIGHLAND PARK, IL. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CITY OF HIGHLAND PARK, IL REQUIREMENTS.
- THE CITY OF HIGHLAND PARK, IL BUILDING INSPECTOR MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF ANY WORK. CONTACT JOHN WELCH (847) 432-0807.
- THE CONTRACTOR SHALL KEEP CAREFUL MEASUREMENTS AND RECORDS OF ALL CONSTRUCTION AND SHALL FURNISH THE ENGINEER, THE OWNER AND THE CITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THIS INCLUDES SANITARY SEWER, WATER MAIN, STORM SEWER, TELEPHONE, ELECTRIC, GAS, AND CABLE TELEVISION, IF ANY. THE J.U.L.I.E. NUMBER IS 1-800-892-0123.
- TEMPORARY CONSTRUCTION FENCING AS INDICATED ON THE DEMOLITION PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL CONSTRUCTION ACTIVITY IS COMPLETE.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL COME WITH A WARRANTY AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS. THIS WARRANTY PERIOD SHALL RUN CONCURRENT WITH THE REQUIRED WARRANTY PERIODS THE OWNER MUST PROVIDE TO EACH LOCAL GOVERNMENT AGENCY, AS A CONDITION OF THE PERMIT.
- ANY EXCESS DIRT OR MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFFSITE AS DIRECTED BY THE DEVELOPER AT THE CONTRACTOR'S EXPENSE.
- ALL STRUCTURES, INLETS, PIPES, SWALES AND ROADS MUST BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
- THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE CITY, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
- CONTRACTOR TO COORDINATE WORK WITHIN THE CITY ROW WITH CITY OF HIGHLAND PARK PUBLIC WORKS.
- ALL ELEVATIONS ARE ON NAVD 88 DATUM.
- ANY FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECORDED SHOWING SIZE, LOCATION, AND DEPTH BY THE CONTRACTOR, AND EITHER RECONNECTED AND REROUTED OR CONNECTED TO THE STORM SEWER SYSTEM. THE OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING ANY TILE.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY THE LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING PROPERTY CORNERS TO KNOWN PROPERTY LINES. NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR.
- ALL TRAFFIC CONTROL ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH CURRENT MUTCD AND STATE OF ILLINOIS STANDARDS.

#### VICINITY MAP



DIAL 811 OR  
(800) 892-0123

#### DEVELOPER:

**Bucky's** OWNER  
4973 DODGE ST.  
OMAHA, NE 68132

#### ENGINEER:

**ARC DESIGN**  
RESOURCES INC.  
5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334

#### INDEX OF SHEETS

Sheet Number	Sheet Title
C0	SITE COVER
C1	GENERAL NOTES
C2	EXISTING CONDITIONS AND REMOVALS
C3	TREE PRESERVATION PLAN
C4	SITE LAYOUT PLAN
C5	CONCRETE JOINTING PLAN
C6	SITE GRADING PLAN
C7	SWPPP SITE MAP
C8	SITE UTILITY PLAN
C9	STANDARD DETAILS
C10	STANDARD DETAILS
C11	STANDARD DETAILS
C12	STANDARD DETAILS
C13	STORMTRAP DETAILS
C14	IDOT PROFILE
L1	LANDSCAPE PLAN
X1	EXISTING GRADING EXHIBIT
X2	PROPOSED GRADING EXHIBIT

#### APPROVAL

CITY OF HIGHLAND PARK  
IDOT HIGHWAY ACCESS PERMIT  
IDOT TRAFFIC SIGNAL MODIFICATION PERMIT

#### DATE

AUGUST 20, 2014  
OCTOBER 22, 2014  
OCTOBER 20, 2014

#### ISSUED FOR:

AGENCY REVIEW	03-21-2013
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IDOT APPROVAL	08-22-2014

#### UTILITY OFFICIALS

**GAS:**  
NORTH SHORE GAS  
JOE CHINICK  
CONSTRUCTION COORDINATOR  
(847) 263-4643

**WATER AND SEWER:**  
HIGHLAND PARK PUBLIC WORKS  
WILLIAM STEWART  
SUPERINTENDENT  
(847) 432-0807

**SEWER:**  
NORTH SHORE SANITARY DISTRICT  
BRIAN DORN, PE  
GENERAL MANAGER  
(847) 623-6060

**PUBLIC WORKS:**  
HIGHLAND PARK PUBLIC WORKS  
RAMESH KANAPAREDDY  
DIRECTOR  
(847) 432-0807

**TELEPHONE:**  
AT&T  
(800) 225-5288

**PUBLIC WORKS INSPECTION:**  
HIGHLAND PARK ENGINEERING  
JOHN WELCH  
CITY ENGINEER  
(847) 432-0807

**ELECTRIC:**  
COMMONWEALTH EDISON  
(800) 334-7661

**CABLE TELEVISION:**  
COMCAST  
(866) 594-1234

## EARTHWORK NOTES

1. THE SITE CONTRACTOR IS TO USE THE TOPSOIL MATERIALS OBTAINED FROM THE STRIPPING OF THE SITE TO SPREAD OVER THE PROPOSED LANDSCAPED AREAS SPECIFIED AS RECEIVING "TOPSOIL MATERIAL" TO THE DEPTH AS SPECIFIED.
2. UNSUITABLE MATERIALS:  
ASSUME THAT IF UNSUITABLE MATERIALS ARE ENCOUNTERED AND THE REPLACEMENT OF THESE MATERIALS IS REQUIRED, THIS SITUATION SHALL BE HANDLED AS FOLLOWS:
  - A. THE SITE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. THE PROJECT SUPERINTENDENT, PRIOR TO THE UNDERCUTTING BEING COMPLETED, MUST APPROVE ANY ADDITIONAL UNDERCUTTING. THE QUANTITIES MUST BE VERIFIED AS THE ADDITIONAL REMOVAL IS BEING COMPLETED.
  - B. IF APPROVED BY THE GENERAL CONTRACTOR, THESE MATERIALS SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIALS AND COMPACTED IN ACCORDANCE TO REQUIRED STANDARDS. THE COST OF THIS WORK SHALL BE AN EXTRA TO THE CONTRACT, WITH THE COST BEING ADJUSTED BY CHANGE ORDER.
  - C. IF THE SITE CONTRACTOR IS FURNISHING ANY OFF SITE MATERIALS, A REPRESENTATIVE SAMPLE OF SUCH MATERIALS SHALL BE FURNISHED TO THE GENERAL CONTRACTOR'S APPROVED TESTING AGENCY TO DETERMINE A PROCTOR.
  - D. THESE MATERIALS SHALL BE PLACED AS HOMOGENEOUSLY AS POSSIBLE TO FACILITATE ACCURATE COMPACTION AND MOISTURE TESTING.
4. DEFINITION FOR MATERIALS
  - A. ORGANIC MATERIALS IS DEFINED AS MATERIAL HAVING AN ORGANIC CONTENT IN EXCESS OF 8% OR AS DETERMINED BY THE PROJECT OWNER'S ENGINEER.
  - B. TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM, SILT LOAM, SANDY CLAY LOAM, OR CLAY LOAM). SAND CONTENT SHALL GENERALLY BE LESS THAN 70% BY WEIGHT, AND CLAY CONTENT SHALL GENERALLY BE LESS THAN 35% BY WEIGHT. ORGANIC SOILS, SUCH AS PEAT OR MUCK, SHALL NOT BE USED AS TOPSOIL.
  - C. TOPSOIL SHALL BE RELATIVELY FREE FROM LARGE ROOTS, WEEDS, BRUSH, OR STONES LARGER THAN 25 MM (1 INCH). AT LEAST 90% SHALL PASS THE 2.00 MM (NO. 10) SIEVE.
  - D. TOPSOIL PH SHALL BE BETWEEN 5.0 AND 8.0. TOPSOIL ORGANIC CONTENT SHALL NOT BE LESS THAN 1.5% BY WEIGHT. TOPSOIL SHALL CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.
  - E. "EXISTING ON-SITE MATERIAL" IS DEFINED AS MATERIAL OF SUCH A QUALITY THAT THE SPECIFIED COMPACTION CAN BE MET WITHOUT ANY ADDITIONAL WORK OTHER THAN "DENSIFYING" WITH A ROLLER, SCARIFICATION AND DRYING OF THIS MATERIAL WILL NOT NEED TO BE DONE PRIOR TO COMPACTION.
  - F. "EXISTING ON-SITE MATERIAL" IS DEFINED AS MATERIAL WITH A HIGH MOISTURE CONTENT THAT CAN NOT MEET SPECIFIED COMPACTION REQUIREMENTS WITHOUT SCARIFICATION AND DRYING, CHEMICAL STABILIZATION, ETC. OF THIS MATERIAL PRIOR TO COMPACTION.
  - G. "UNSUITABLE MATERIALS" IS DEFINED AS ANY MATERIALS THAT:
    - H. CAN NOT BE UTILIZED AS "TOPSOIL", (ORGANIC) FOR LANDSCAPE AREAS.
    - I. CAN NOT BE UTILIZED AS "ENGINEERED FILL", REGARDLESS OF MOISTURE CONTENT AND/OR DOES NOT STRUCTURALLY MEET THE STANDARDS OF THE PROJECT OWNER'S ENGINEER'S RECOMMENDATIONS FOR "ENGINEERED FILL".
    - J. THESE MATERIALS CAN BE DEFINED AS NATURAL MATERIALS OR MATERIALS FROM "DEMOLITION" AND/OR EXCAVATED AREAS; I.E., THEY ARE MATERIALS THAT WOULD NOT BE SUITABLE FOR "ENGINEERED FILL".
    - K. "OFF-SITE MATERIALS" IS DEFINED AS ANY MATERIALS THAT ARE BROUGHT FROM OFF-SITE.
    - L. "TRENCH BACKFILL" SHALL BE DEFINED AS ANY MATERIALS USED FOR THE PURPOSES OF BACKFILLING ANY TRENCH AND/OR ANY EXCAVATION REQUIRING BACKFILLING. REFER TO THE SECTION TITLED "STANDARDS FOR FILL AREAS" FOR DETERMINE ACCEPTABLE MATERIALS AND PROCEDURES.
    - M. THE TERM "STRIPPING" OR "STRIP" AS USED HEREIN SHALL BE DEFINED AS THE REMOVAL OF ALL "ORGANIC MATERIALS" FROM A GIVEN AREA. THE TERM "ORGANIC MATERIALS" IS DEFINED AS MATERIAL HAVING AN ORGANIC CONTENT OVER 8% BASED ON ASTM TEST METHOD D-2974 OR AS DEFINED BY THE OWNER'S ENGINEER.
5. STANDARDS FOR CUT AREAS:
  - A. A "CUT AREA" IS DEFINED AS ANY AREA WHERE "ENGINEERED FILL" IS NOT REQUIRED TO BRING THE SITE TO DESIGN SUBGRADE ELEVATION, INSTEAD EXCAVATION OR "CUTTING" IS REQUIRED TO ACHIEVE DESIGN SUBGRADE ELEVATION. ("ENGINEERED FILL" BEING DEFINED AS ANY MATERIAL BEING "BORROW MATERIAL" HAVING ITS ORIGIN FROM EITHER THE CONSTRUCTION SITE AND/OR "IMPORTED" FROM OFF SITE.)
  - B. IN "CUT AREAS" THE SITE CONTRACTOR SHALL PERFORM ONE OF THE FOLLOWING PROCEDURES AT THE DISCRETION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE OWNER'S ENGINEER AND THE PROJECT ARCHITECT:
    - ITEM #1. FOR EXPOSED BUILDING OR PARKING LOT SUBGRADES CONSISTING PRIMARILY OF GRANULAR SOILS THE EXPOSED SUBGRADE SHOULD BE COMPACTED/DENSIFIED BY AT LEAST ONE (1) PASS OF A SMOOTH-DRUMMED VIBRATORY ROLLER HAVING A MINIMUM GROSS WEIGHT OF 10 TONS.
    - ITEM #2. FOR EXPOSED BUILDING OR PARKING LOT SUBGRADES CONSISTING PRIMARILY OF COHESIVE SOILS, THE EXPOSED SUBGRADES SHOULD BE PROOF-ROLLED WITH A FULLY-LOADED SIX-WHEEL TRUCK HAVING A MINIMUM GROSS WEIGHT OF 25 TONS. THE MAXIMUM ALLOWABLE DEFLECTION UNDER THE SPECIFIED EQUIPMENT SHALL BE 1/2".
  - C. IN THE EVENT THAT ADEQUATE STABILITY OF GRANULAR SOILS SUBGRADES CANNOT BE ACHIEVED BY THE PROCEDURES AS OUTLINED IN ITEM 1, ABOVE, OR THAT DEFLECTIONS OF GREATER THAN 1/2" ARE OBSERVED DURING THE "PROOF ROLLING" OF COHESIVE SOILS SUBGRADES, AS OUTLINED IN ITEM 2, ABOVE, ADDITIONAL CORRECTIVE MEASURES WILL BE REQUIRED. THESE MEASURES COULD INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, SCARIFICATION, MOISTURE CONDITIONING, AND RE-COMPACTION; UNDERCUTTING & REPLACEMENT WITH ENGINEERED FILL AND CHEMICAL STABILIZATION, ETC., WITH CRUSHED STONE (WITH OR WITHOUT GEOTEXTILES); CHEMICAL STABILIZATION, ETC.
  - D. IT SHALL BE CONSIDERED AS PART OF THE SCOPE OF THESE DOCUMENTS AND THIS PART OF THIS CONTRACTOR'S RESPONSIBILITY TO PERFORM SCARIFICATION AND ALLOW FOR DRYING OF THE SUBGRADE PER ILLINOIS DOT STANDARDS (SCARIFY A 16" DEPTH FOR 3 DAYS). IF THIS DOES NOT WORK THEN ADDITIONAL DRYING MEASURES SHALL BE AN EXTRA TO THE CONTRACT.
  - E. ANY PROPOSED CORRECTIVE MEASURES BY THE CONTRACTOR SHOULD BE REVIEWED BY THE OWNER'S ENGINEER AND THE PROJECT ARCHITECT. IN THE EVENT THAT IN THE OPINION OF THE OWNER'S ENGINEER AND/OR THE PROJECT ARCHITECT PROOF ROLLING IS NOT A GOOD INDICATOR OF THE SUBGRADE STABILITY AN ALTERNATIVE METHOD SHALL BE SPECIFIED BY THE OWNER'S ENGINEER AND/OR THE PROJECT ARCHITECT.
6. STANDARDS FOR FILL AREAS:
  - A. A "FILL" AREA IS DEFINED AS ANY AREA WHERE MATERIAL IS REQUIRED TO ADJUST THE EXISTING ELEVATION TO A PROPOSED SUBGRADE ELEVATION. THESE AREAS WILL REQUIRE THE INSTALLATION OF "ENGINEERED FILL" TO ACHIEVE DESIGN SUBGRADE ELEVATION. "ENGINEERED FILL" MATERIAL CAN BE DEFINED AS EITHER "GRANULAR" AND/OR "SOIL" HAVING THEIR ORIGIN FROM EITHER THE CONSTRUCTION SITE AND/OR "IMPORTED" FROM OFF SITE. MATERIALS HAVING THEIR ORIGIN FROM THE CONSTRUCTION SITE IS REFERRED TO AS "BORROW"; THE COMPOSITION AND THE COMPACTION STANDARDS OF THE ENGINEERED FILL FOR THIS PROJECT WILL BE SPECIFIED BY OWNER'S ENGINEER AND THE PROJECT ARCHITECT.
  - B. IN "FILL" AREAS WILL BORROW MATERIALS ARE ALLOWED TO BE UTILIZED AS ENGINEERED FILL THE SITE CONTRACTOR SHALL COMPACT THE BORROW TO THE SPECIFIED COMPACTION.
7. COMPACTION STANDARDS (FOR ENGINEERED FILL AND BACK FILLED AREAS)
  - A. PRIOR TO PLACEMENT OF FILL IN AREAS BELOW DESIGN GRADE, THE EXPOSED SUBGRADE SHOULD BE OBSERVED BY A REPRESENTATIVE OF THE OWNER'S ENGINEER TO EVALUATE THAT ADEQUATE STRIPPING HAS BEEN PERFORMED. ADDITIONALLY, THE PROOF ROLLING OR COMPACTION PROCEDURES OUTLINED IN THE "STANDARDS FOR CUT AREAS" SECTION OF THIS CPI SHOULD BE PERFORMED. IT IS TYPICAL PRACTICE TO PROOF ROLL, AND DENSIFY IF NECESSARY, EXPOSED SUBGRADES PRIOR TO FILLING. IF SOFT OR UNSTABLE SUBGRADES ARE OBSERVED, THESE AREAS SHOULD BE STABILIZED OR UNDERCUT. MINIMUM COMPACTION STANDARDS ARE BASED UPON A PERCENTAGE OF THE FILL OR BACKFILL MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM SPECIFICATION D-698). ALL ENGINEERED SUBGRADES SHOULD MEET THE FOLLOWING MINIMUM COMPACTION:
    - A.A. AREAS UNDER FOUNDATIONS BASES:
      - A.A.A. 95% STANDARD PROCTOR FOR ALL FILL PLACED BELOW FOUNDATION BASE ELEVATION IN THE BUILDING AREA.
      - A.A.B. AREAS UNDER FLOOR SLABS AND ABOVE FOUNDATIONS/FOOTING BASES:
      - A.A.C. 95% STANDARD PROCTOR FOR ALL FILL PLACED MORE THAN 12 INCHES BELOW FINAL GRADE FOR SUPPORT OF FLOOR SLABS AND ABOVE FOUNDATION BASE ELEVATION IN THE BUILDING AREA. 95% STANDARD PROCTOR FOR FILL PLACED IN THE UPPER 12 INCHES OF DESIGN SUBGRADE BELOW SLABS. THE GRANULAR FILL UNDER THE FLOOR SLAB SHOULD BE COMPACTED TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTOR.
    - A.B. AREAS UNDER PAVEMENT SECTIONS:
      - A.B.A. 95% STANDARD PROCTOR FOR ALL FILL PLACED MORE THAN 12 INCHES BELOW PASSENGER CAR PAVEMENT SECTIONS AND 95% STANDARD PROCTOR FOR THE TOP 12 INCHES. THESE AREAS ARE IDENTIFIED AS HAVING A PAVEMENT SECTION CONSISTING OF 4" OF ASPHALT SURFACE OVER 10" OF STONE BASE.
    - A.C. LANDSCAPED AREAS:
      - A.C.A. 90% STANDARD PROCTOR FOR ALL FILL PLACED IN LANDSCAPE AREAS. THESE AREAS SHOULD BE BROUGHT TO GRADE WITH MATERIAL SPECIFIED IN THE "FINISH GRADING" SECTION AND/OR OTHER APPLICABLE SECTIONS OF THESE CPIS.
  - A.D. BASE COURSE PORTION OF PAVEMENT SECTIONS:
    - A.D.A. 95% STANDARD PROCTOR FOR ALL BASE COURSE MATERIALS THAT ARE PART OF A "PAVEMENT SECTION".
    - A.D.B. THE OPTION OF UTILIZING THE MODIFIED PROCTOR (ASTM D-1557) IN LIEU OF THE SPECIFIED STANDARD PROCTOR (ASTM D-698) SHALL BE AT THE DISCRETION OF THE GENERAL CONTRACTOR, CONTINGENT UPON WRITTEN APPROVAL BY THE ARCHITECT AND OWNER'S ENGINEER AND APPROVED BY THE PROJECT ARCHITECT.
    - A.D.C. PLACE ALL BACKFILL AND FILL MATERIALS IN LAYERS THAT ARE NOT MORE THAN 8" IN LOOSE DEPTH. BEFORE COMPACTING, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER TO REQUIRED PERCENTAGE OF MAXIMUM DENSITY OF THE AREA.
8. FINISH GRADING:
  - A. THE TERM "FINISH GRADING" AS USED HEREIN SHALL BE DEFINED AS THAT CONDITION THAT AREAS NOT RECEIVING A FINISH PRODUCT SUCH AS PARKING AREAS, DRIVEWAYS, ROADWAYS, SIDEWALKS, ETC. FINISH GRADED AREAS WOULD GENERALLY BE THOSE AREAS RECEIVING "LANDSCAPING" SUCH AS SEED, SOD, TREES, BUSHES, MULCH, ETC.
  - B. THE SITE CONTRACTOR IS RESPONSIBLE FOR "FINISH GRADING" ALL AREAS WITHIN THE PERIMETER OF THE "CONSTRUCTION SITE". THE DEFINITION OF THE "CONSTRUCTION SITE" IS THE AREA ENCOMPASSING ALL DISTURBED AREAS THAT WERE DISTURBED AS A RESULT OF THE CONSTRUCTION PROCESS RELATING TO THE GENERAL CONTRACT WHICH THIS SITE CONTRACT WAS PART OF. ALL AREAS TO BE LEFT IN A "FINISH GRADED" CONDITION SHALL RECEIVE 6" OF BLACK DIRT UNLESS SPECIFIED AS AN AREA THAT WILL BE ULTIMATELY "SODDED" BY THE OTHERS; THESE AREAS SHALL RECEIVE 4" OF BLACK DIRT. ALL "ISLANDS" THAT REQUIRE BLACK DIRT SHALL HAVE 24" OF BLACK DIRT INSTALLED. ALL SEEDING, SODDING, SUPPLYING AND/OR PLACING OF TREES, SHRUBS, AND/OR OTHER LANDSCAPING RELATED ITEMS, ETC., ARE NOT PART OF THE SITE CONTRACTOR WORK. THESE ITEMS ARE PART OF THE LANDSCAPING CONTRACTOR'S WORK.

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OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

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REVISIONS

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SHEET TITLE

**GENERAL NOTES**

DRAWN \_\_\_\_\_ LND  
CHECKED \_\_\_\_\_ RCS  
PM \_\_\_\_\_ PM

PROJECT NUMBER  
SHEET NUMBER

**12013**

**C1**

MATCHLINE (SEE EXTENSION-THIS SHEET)

DEMOLITION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS THAT IMPEDE THE PROPER PLACEMENT OF ANY ITEMS PROPOSED BY THIS PLAN SET AND THAT ARE NOT OTHERWISE NOTED TO REMAIN OR TO BE PROTECTED.
- THE REMOVAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO: OBTAINING ALL PERMITS REQUIRED TO DEMOLISH THE EXISTING BUILDING, REMOVAL OF THE EXISTING TREES, SEALING OF THE EXISTING WATER WELL(S), REMOVAL ANY SEPTIC SYSTEM OR DRY WELLS (IF ANY) AND OTHER ITEMS TO COMPLETE THE REMOVALS.
- BUILDING REMOVAL SHALL INCLUDE THE FOLLOWING:  
REMOVAL OF THE ENTIRE STRUCTURES, INCLUDING ALL FOUNDATIONS, FLOOR SLABS, AND MISC. ITEMS FOR COMPLETE REMOVAL, BACKFILLING, AND COMPACTION OF THE VOIDS. BACKFILL SHOULD BE ENGINEER APPROVED FILL OR MATERIAL APPROVED BY SITE TESTING FIRM AND PLACED IN 12" MINIMUM LIFTS AND SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS STANDARD PROCTOR DENSITY.
- THE CONTRACTOR SHALL COORDINATE DISCONNECTION, REMOVAL, AND RELOCATION OF THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES THAT ARE LEVIED BY UTILITY COMPANIES IN CONJUNCTION WITH DEMOLITION AND REMOVAL OF EXISTING UTILITIES. EXISTING WATER AND SANITARY SERVICES SHALL BE ABANDONED AT THE RESPECTIVE MAINS PRIOR TO DEMOLITION.
- DISPOSAL OF ALL MATERIALS SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS. ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL MATERIALS FROM THE SITE ALONG WITH ALL ASSOCIATED PERMITS AND REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO ADJACENT LOTS. INTERRUPTION OF SERVICES TO ADJACENT LOTS SHALL NOT OCCUR WITHOUT PROPER APPROVAL. 48 HRS NOTICE SHALL BE GIVEN TO THE PROPERTY OWNERS PRIOR TO THE CONNECTION OF THE NEW SERVICES.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. TO BE CLEAR AND FREE OF ANY CONSTRUCTION ACTIVITY AND/OR EXCAVATED AND HAULED MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM ADJACENT SITES.
- THE CONTRACTOR SHALL PERFORM A FULL-DEPTH SAW CUT ALONG THE PERIMETER OF PAVEMENT REMOVAL THAT ABUTS EXISTING PAVEMENT THAT IS TO REMAIN.
- ANY DAMAGE SUSTAINED BY ITEMS THAT ARE TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER.
- REMOVE UNDERGROUND FUEL STORAGE AND PUMPING SYSTEMS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS. BACKFILL PER VERNON HILLS SPECIFICATIONS WITH CA7 CRUSHED LIMESTONE AGGREGATE IN 8" LIFTS. COORDINATE PROOF ROLL INSPECTION BY VILLAGE STAFF WITH THE VILLAGE OF VERNON HILLS.
- REMOVAL OF DRAINAGE STRUCTURES AND UTILITY MANHOLES SHALL INCLUDE REMOVAL OF CONNECTING PIPE TO THE LIMITS OF THE PROPERTY.
- SEE TREE PRESERVATION PLAN FOR MORE INFORMATION REGARDING TREE PROTECTION. THE CONTRACTOR IS RESPONSIBLE TO CORRECT DAMAGE TO TREES THAT ARE TO BE PROTECTED INCLUDING BUT NOT LIMITED TO REPLACEMENT AND FINES LEVIED BY LOCAL AUTHORITIES.
- ALL EXISTING MONITORING WELLS SHALL BE ABANDONED IN ACCORDANCE WITH STATE GUIDELINES.

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SHEET TITLE

**EXISTING CONDITIONS AND REMOVALS**

DRAWN  
CHECKED  
PM

PROJECT NUMBER  
SHEET NUMBER

12013

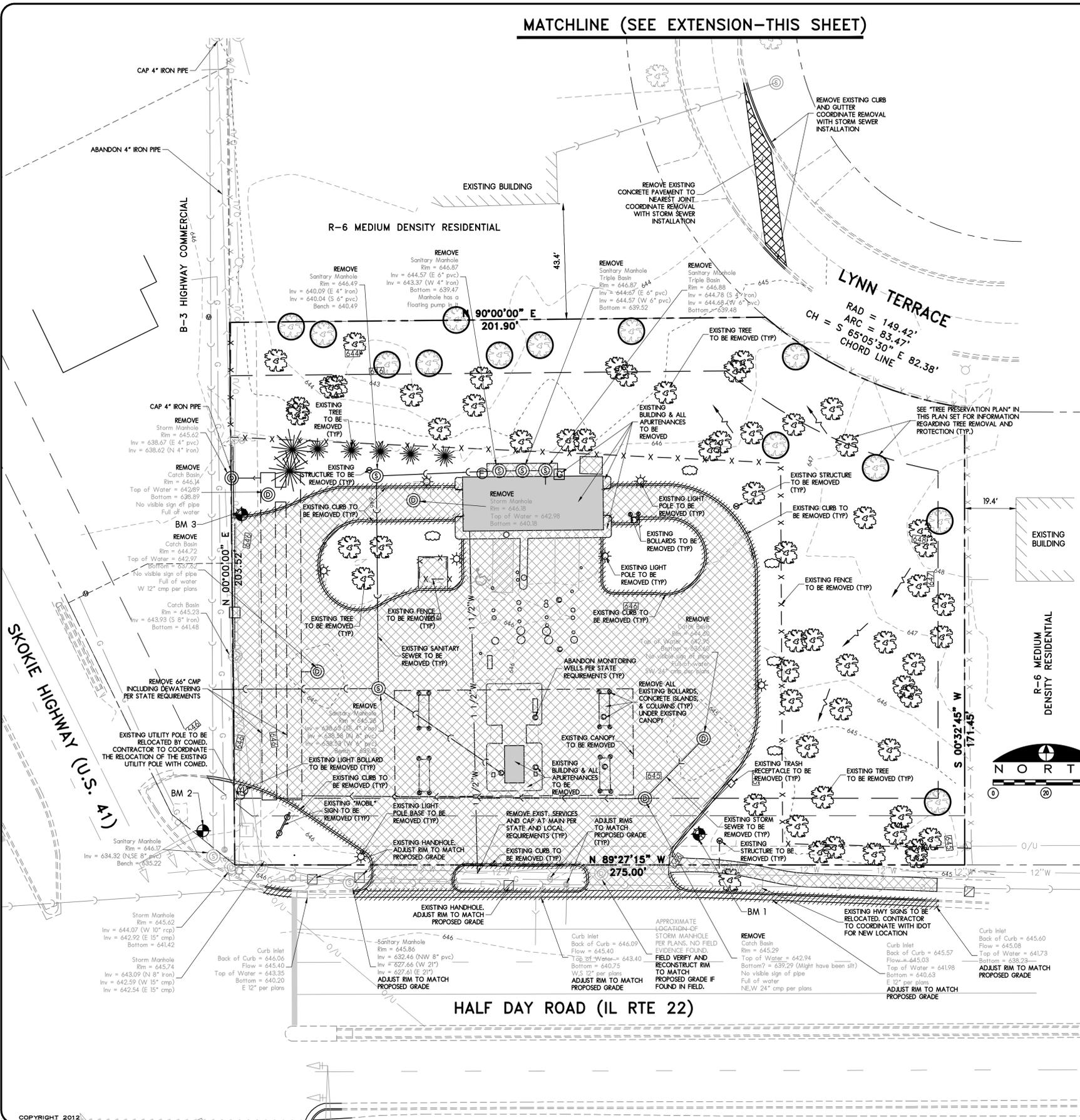
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LEGEND

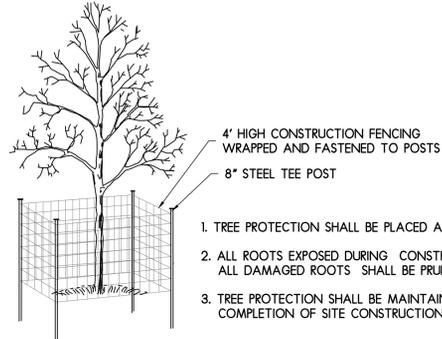
EXISTING (TO REMAIN)	EXISTING (TO BE REMOVED)
--- EXISTING EDGE OF PAVEMENT OR STRUCTURE	■ EXISTING BUILDINGS TO BE REMOVED
8"W EXISTING WATER MAIN	▨ EXISTING PAVEMENT OR CONCRETE SIDEWALKS TO BE REMOVED
--- EXISTING SANITARY SEWER	--- EXISTING EDGE OF PAVEMENT OR STRUCTURE
--- EXISTING STORM SEWER	--- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
G EXISTING GAS MAIN	8"W EXISTING WATER MAIN
O/U EXISTING OVERHEAD UTILITY LINES	--- EXISTING SANITARY SEWER
⊙ EXISTING FIRE HYDRANT ASSEMBLY	--- EXISTING STORM SEWER
⊗ EXISTING WATER VALVE	G EXISTING GAS MAIN
⊙ EXISTING MANHOLE OR CATCH BASIN	--- EXISTING OVERHEAD UTILITY LINES
⊙ EXISTING SANITARY MANHOLE	X-X-X EXISTING FENCE
⊙ ELECTRIC METER	⊙ EXISTING FIRE HYDRANT ASSEMBLY
⊙ GAS METER	⊗ EXISTING WATER VALVE
⊙ EXISTING UTILITY POLE	⊙ EXISTING MANHOLE OR CATCH BASIN
⊙ EXISTING LIGHT POLE (TO REMAIN)	⊙ EXISTING SANITARY MANHOLE
⊙ TREE TO BE PROTECTED (DIA.) SEE "TREE PRESERVATION PLAN"	⊙ ELECTRIC METER
⊙ BENCHMARK	⊙ GAS METER
	⊙ EXISTING UTILITY POLE
	⊙ EXISTING LIGHT POLE
	⊙ TREE (DIA.) SEE "TREE PRESERVATION PLAN"

BENCHMARKS

DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 CHISELED SQUARE ON LIGHT POLE BASE ON THE EAST SIDE OF THE SOUTHEAST ENTRANCE	646.07
BENCHMARK 2 CHISELED SQUARE ON MAST ARM AT NORTHEAST CORNER OF SKOKIE AND HALF DAY	646.77
BENCHMARK 3 CHISELED SQUARE ON LIGHT POLE BASE AT NORTHWEST CORNER OF SITE AT END OF GUARD RAIL	647.84



**TREE PROTECTION DETAIL**



1. TREE PROTECTION SHALL BE PLACED AT DRIPLINE WHENEVER POSSIBLE
2. ALL ROOTS EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED. ALL DAMAGED ROOTS SHALL BE PRUNED AS NECESSARY.
3. TREE PROTECTION SHALL BE MAINTAINED UNTIL SUBSTANTIAL COMPLETION OF SITE CONSTRUCTION HAS BEEN DOCUMENTED.

**LEGEND**

- PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- ===== PROPOSED CONCRETE CURB AND GUTTER
- ===== EXISTING CONCRETE CURB AND GUTTER
- X - X - FENCE
- (Symbol: Deciduous tree with tag reference) DECIDUOUS TREE (TAG REFERENCE) TO BE PROTECTED
- (Symbol: Deciduous tree with tag reference) DECIDUOUS TREE (TAG REFERENCE) TO BE REMOVED
- (Symbol: Coniferous tree) CONIFEROUS TREE TO BE REMOVED

**EXISTING TREE INFORMATION**

TAG NUMBER	SPECIES	DIAMETER IN INCHES (DBH)	CONDITION RATING 1 (DEAD) TO 5 (EXCELLENT)	ANTICIPATED TREATMENT
329	Linden	9.5	4	REMOVE
330	Ash	8	4	REMOVE
331	Swamp White Oak	11	4	REMOVE
332	Swamp White Oak	13.5	4	REMOVE
333	Swamp White Oak	12	4	REMOVE
334	Swamp White Oak	15	5	REMOVE
335	Swamp White Oak	13.75	4	REMOVE
336	Honey Locust	14	4	REMOVE
337	Linden	10	4	REMOVE
338	Linden	8.5	4	REMOVE
339	Linden	9.5	4	REMOVE
340	Ash	7/6	4	REMOVE
341	Swamp White Oak	15.25	4	REMOVE
342	Swamp White Oak	17	3	REMOVE
343	Swamp White Oak	12.5	4	REMOVE
344	Swamp White Oak	15.5	4	REMOVE
345	Shagbark Hickory	12	3	REMOVE
346	Ash	8	4	REMOVE
347	Swamp White Oak	15.75	4	REMOVE
348	Swamp White Oak	13/12	4	REMOVE
349	Bur Oak	12.25	4	REMOVE
350	Swamp White Oak	15.75	4	REMOVE
351	Swamp White Oak	9	4	PROTECT
352	Swamp White Oak	16.5	3	REMOVE
353	Swamp White Oak	19	4	REMOVE
354	Swamp White Oak	11.5	4	REMOVE
355	Swamp White Oak	13	4	REMOVE
356	Red Oak	14.5	5	REMOVE
357	Ash	10	4	REMOVE
358	Ash	11/9.5	4	REMOVE
359	Ash	6/9.5	4	REMOVE
360	Swamp White Oak	18	3	REMOVE
361	Ash	7/5.5	4	REMOVE
362	Ash	7/6	4	REMOVE
363	American Elm	13.5	4	REMOVE
364	Ash	8.75	4	PROTECT
365	Red Oak	13	3	PROTECT
366	Red Oak	13.5	4	REMOVE
367	Swamp White Oak	14	3	REMOVE
368	American Elm	11.25	4	REMOVE
369	Swamp White Oak	16	3	PROTECT
370	Red Oak	18.5	5	REMOVE
371	Ash	8	4	PROTECT
372	Swamp White Oak	21	4	REMOVE
373	Ash	6/5.5	4	REMOVE
374	Ash	7/6	4	REMOVE
375	Ash	9	4	REMOVE
376	Swamp White Oak	19	4	REMOVE
377	Swamp White Oak	13	4	PROTECT
378	Swamp White Oak	12.25	4	REMOVE
379	Swamp White Oak	9.25	4	REMOVE
380	Ash	9	4	REMOVE
381	Ash	8	4	REMOVE
382	Ash	10.25	4	REMOVE
383	Swamp White Oak	11	4	PROTECT
384	Swamp White Oak	9	4	PROTECT
385	Ash	8	4	PROTECT
386	Ash	8	4	REMOVE
387	Swamp White Oak	25.25	3	REMOVE
388	Ash	8.5	4	REMOVE
389	Ash	5.75	3	REMOVE
390	Ash	11.75	4	REMOVE
391	Ash	11.5	3	REMOVE
392	Lost Tag	Lost Tag	Lost Tag	LOST TAG
393	Ash	12.5	4	REMOVE
394	Swamp White Oak	9	3	REMOVE
395	Swamp White Oak	14	4	REMOVE
396	Swamp White Oak	18	3	REMOVE
397	Swamp White Oak	14	3	REMOVE
398	Swamp White Oak	10.5	4	PROTECT
399	Swamp White Oak	12.75	3	PROTECT
400	Swamp White Oak	14.75	4	REMOVE
401	Honey Locust	18	2	REMOVE

72 TREES WERE INVENTORIED (CONIFEROUS TREES AND BUSHES WERE EXCLUDED  
 1 TAG WAS LOST OR UNIDENTIFIED  
 11 INVENTORIED TREES ARE SLATED TO BE PROTECTED DURING CONSTRUCTION  
 61 INVENTORIED TREES ARE TO BE REMOVED DURING CONSTRUCTION.

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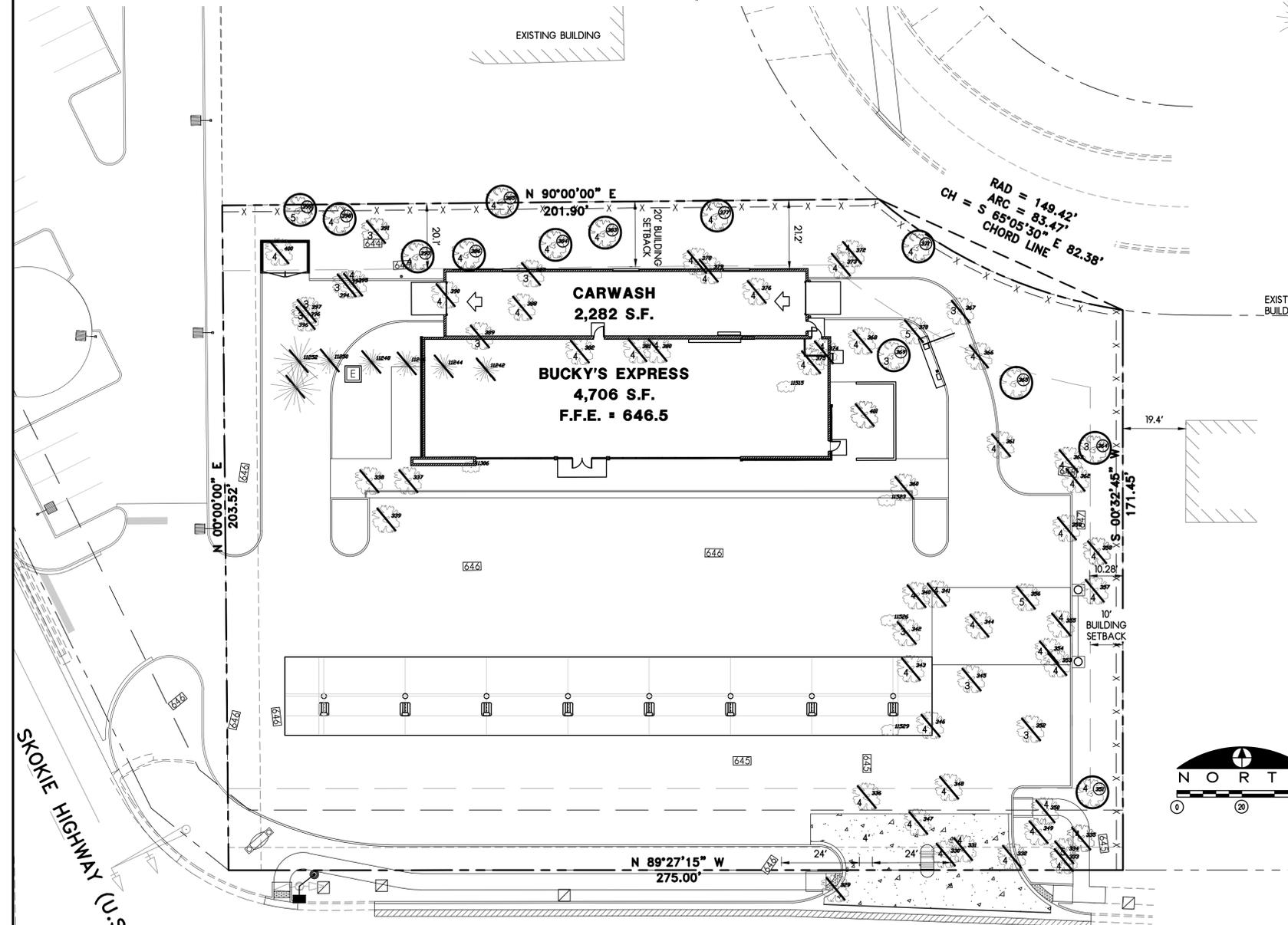
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**SHEET TITLE**  
**TREE PRESERVATION PLAN**

**DRAWN** ----  
**CHECKED** ----  
**PM** PM

**PROJECT NUMBER**  
**SHEET NUMBER**  
**12013**  
**C3**



MATCHLINE (SEE EXTENSION-THIS SHEET)

LEGEND

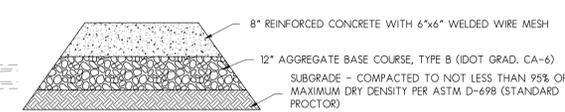
- \*ALL PAVEMENT DIMENSIONS REFERENCE THE FACE OF CURB WHERE CURB IS PROPOSED
- PROPERTY LINE
  - EXISTING RIGHT-OF-WAY
  - CONCRETE PAVEMENT, 7" (UNLESS OTHERWISE NOTED)
  - CONCRETE PAVEMENT, 7" (ISLAND / CANOPY)
  - CONCRETE PAVEMENT, 8" (TANK FARM)
  - CONCRETE PAVEMENT, 8" (DRIVEWAYS W/IN R.O.W. AND SIDEWALKS CROSSING DRIVEWAYS)
  - CONCRETE SIDEWALK, 5" (PUBLIC SIDEWALK NOT IN DRIVEWAYS AND THICKENED EDGE SIDEWALK)
  - OUTDOOR SALES AREA
  - PROPOSED CONCRETE CURB, TYPE B, 6", POURED MONOLITHICALLY
  - EXISTING CONCRETE CURB AND GUTTER
  - PROPOSED FENCE
  - NUMBER OF PROPOSED PARKING SPACES PAINTED YELLOW STRIPES
  - PROPOSED HANDICAP PARKING SYMBOLS
  - EXISTING LIGHT POLE
  - PROPOSED SIGN
  - EXISTING SIGN
  - PROPOSED LIGHT POLE
  - EXISTING SIGNAL CONTROLLER
  - EXISTING TRAFFIC SIGNAL MAST ARM
  - PROPOSED PARKING (PAVEMENT MARKING)
  - EXISTING PARKING (PAVEMENT MARKING)
  - DETECTABLE WARNING STRIP- CONTRACTOR TO USE "TURF TITE WET SET"

LAYOUT NOTES AND PAVEMENT SPECIFICATIONS

- LANDSCAPING ON THE ADJACENT PROPERTIES WILL BE PROTECTED DURING CONSTRUCTION.
- THE DESIGN VEHICLE FOR THE FUEL DELIVERY IS A WB-50.
- CONTRACTOR SHALL PROVIDE ALL PAVING INCLUDING SIDEWALKS AND GAS ISLAND FORMS.
- SUBGRADE IN ALL PAVED AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY PER ASTM D-698 (STANDARD PROCTOR)
- AGGREGATE BASE COURSE IN ALL PAVED AREAS SHALL BE 4" AGGREGATE BASE COURSE, TYPE B (IDOT GRAD. CA-6)
- TANK FARM PAVEMENT SHALL BE 8" PORTLAND CEMENT CONCRETE, 4000 PSI, 5-7% AIR ENTRAINMENT, 3/4" MAX. AGGREGATE SIZE, WITH #5 REBAR AT 24" O.C. FILL MANHOLES TO BE RAISED APPROX. 1" TO 1.25". ALL OTHER MANHOLES TO BE RAISED APPROXIMATELY 0.5" ABOVE FINISHED GRADE. UTILIZE CONCRETE PUMP TO PREVENT DAMAGE TO PETROLEUM EQUIPMENT BELOW GRADE. CONTINUOUS POUR.
- ISLAND / CANOPY PAVEMENT SHALL BE 7" PORTLAND CEMENT CONCRETE, 4000 PSI, 5-7% AIR ENTRAINMENT, 3/4" MAX. AGGREGATE SIZE. UTILIZE CONCRETE PUMP TO PREVENT DAMAGE TO PETROLEUM EQUIPMENT BELOW GRADE. CONTINUOUS POUR.
- CONTRACTOR SHALL COORDINATE WITH AND MAKE ARRANGEMENTS FOR PETROLEUM CONTRACTOR TO BE ON SITE WHEN FORMS ARE SET AND CONCRETE IS POURED.
- CONTRACTOR SHALL SAWCUT TANK FARM AND ISLAND / CANOPY AREA TO MID-DEPTH WITHIN 12 HOURS OF POUR.
- EXPANSION JOINTS SHALL BE PLACED AT ALL ABUTTING CURBS, GUTTERS, OR VERTICAL SURFACES. ALL EXPANSION JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- SIDEWALK CONTRACTION JOINT SPACING SHALL NOT EXCEED CORRESPONDING WIDTH OF SIDEWALK. 12" WIDE SIDEWALKS SHALL HAVE A LONGITUDINAL CONTRACTION JOINT ALONG THE CENTER OF THE SIDEWALK AND TRANSVERSE CONTRACTION JOINTS SHALL BE SPACED AT 6' MAX.
- A DIAMOND EDGE SAW BLAND SHALL BE USED FOR ALL REQUIRED CONTRACTION AND LONGITUDINAL PAVEMENT JOINTS.
- ALL SAWCUTS REQUIRED SHALL BE SUBSIDIARY TO ITEMS FOR WHICH DIRECT PAYMENT IS MADE.
- JOINT SPACING SHALL NOT EXCEED 15' SPACING. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH TO WIDTH RATIO NOT EXCEEDING 125%.

GENERAL PAVEMENT MARKING SPECIFICATIONS

- APPLY TWO (2) COATS FOR ALL PAVEMENT MARKINGS.
- MATERIAL DESCRIPTION: A FAST DRYING, HIGH HIDING MARKING PAINT FOR CONCRETE, BRICK AND BITUMINOUS SURFACE. THIS PRODUCT HAS BEEN DESIGNED FOR PAINTING CENTERLINES AND EDGELINES OF HIGHWAYS, CITY CROSSWALKS AND STOP ZONES, PARKING LOTS, TRAFFIC AISLES, ETC. DO NOT APPLY TO IN TEMPERATURES BELOW 50 F.
- PAINT PROPERTIES
- PIGMENT 4991 YELLOW -- LEAD-FREE ORGANIC YELLOW MIN. 4.8% TITANIUM DIOXIDE MIN. 2.8% -- CALCIUM CARBONATE MAX. 93% THE PERCENTAGE PIGMENT BY WEIGHT OF THE FINISHED PRODUCT SHALL NOT BE LESS THAN 50% NO MORE THAN 54%. (ASTM D3723)
  - VEHICLE: THE NON-VOLATILE PORTION OF THE VEHICLE SHALL BE COMPOSED OF A 100% ACRYLIC POLYMER AND SHALL NOT BE LESS THAN 44% BY WEIGHT. (ASTM D2697)
  - ORGANIC VOLATILES: THE FINISHED PAINT SHALL CONTAIN LESS THAN 150 GRAMS OF VOLATILE ORGANIC MATTER PER LITER OF TOTAL PAINT. (ASTM D3960)
  - TOTAL SOLIDS: THE FINISHED PAINT SHALL NOT BE LESS THAN 73% TOTAL NON-VOLATILE BY WEIGHT. (ASTM D2369)
  - GRIND: THE PAINT SHALL HAVE A GRIND OF NOT LESS THAN 3 ON A HEGMAN GRIND GAUGE. (ASTM D210)
  - VISCOSITY: THE CONSISTENCY OF THE PAINT SHALL NOT BE LESS THAN 83 NOR MORE THAN 98 KREB UNITS AT 25C (77F). (ASTM D562)
  - FREEZE - THAW STABILITY: THE PAINT SHALL SHOW NO COAGULATION OR CHANGE IN CONSISTENCY GREATER THAN 10 KREB UNITS AFTER 3 CYCLES. (ASTM D2243)
  - HEAT STABILITY: THE PAINT SHALL SHOW NO COAGULATION, DISCOLORATION, OR CHANGE IN CONSISTENCY GREATER THAN 10 KREB UNITS WHEN TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATION TT-P-1952B, SECTION 4.5.8.
  - STORAGE STABILITY: AFTER 30 DAYS STORAGE IN A THREE QUARTERS FILLED, CLOSED CONTAINER, THE PAINT SHALL SHOW NO CAKING, SKINNING, LIVERING, CURDLING, BIOLOGICAL GROWTH, OR HARD SETTLING. THE VISCOSITY SHALL NOT CHANGE MORE THAN 5 KREB UNITS FROM THE ORIGINAL SAMPLE.
  - NO PICK-UP TIME: THE NO PICK-UP TIME SHALL BE LESS THAN 10 MINUTES. THE TEST SHALL FOLLOW THE REQUIREMENTS OF ASTM D711 WITH A WET FILM THICKNESS OF 0.38 MM (15 MILS).
  - DRY THROUGH TIME: THE PAINT, WHEN APPLIED TO A NON-ABSORBENT SUBSTRATE AT A WET FILM THICKNESS OF 0.38 MM (15 MILS) AND PLACED IN A HUMIDITY CHAMBER CONTROLLED AT 90 +/-5% R.H. AND 22.5 +/-1.4C (72.5 +/- 1.4F) SHALL HAVE A DRY THROUGH TIME NOT GREATER THAN 15 MINUTES WHEN TESTED IN ACCORDANCE WITH ASTM D1640.



IDOT HEAVY DUTY CONCRETE (DRIVEWAY ENTRANCE)

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PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
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CONSULTANTS


ISSUED FOR

NO.	DATE
DRC APPROVAL	03-07-2013
AGENCY REVIEW	03-21-2013
IDOT REVIEW	05-15-2013
CITY REVIEW	05-20-2013
IDOT APPROVAL	08-19-2013
CITY APPROVAL	08-23-2013
CITY APPROVAL	09-25-2013
IDOT APPROVAL	05-13-2014
IDOT APPROVAL	08-22-2014

REVISIONS

NO.	DATE
1. DWYV SHIFT	8-22-2014
2. ---	---
3. ---	---
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6. ---	---
7. ---	---

SHEET TITLE

**SITE LAYOUT PLAN**

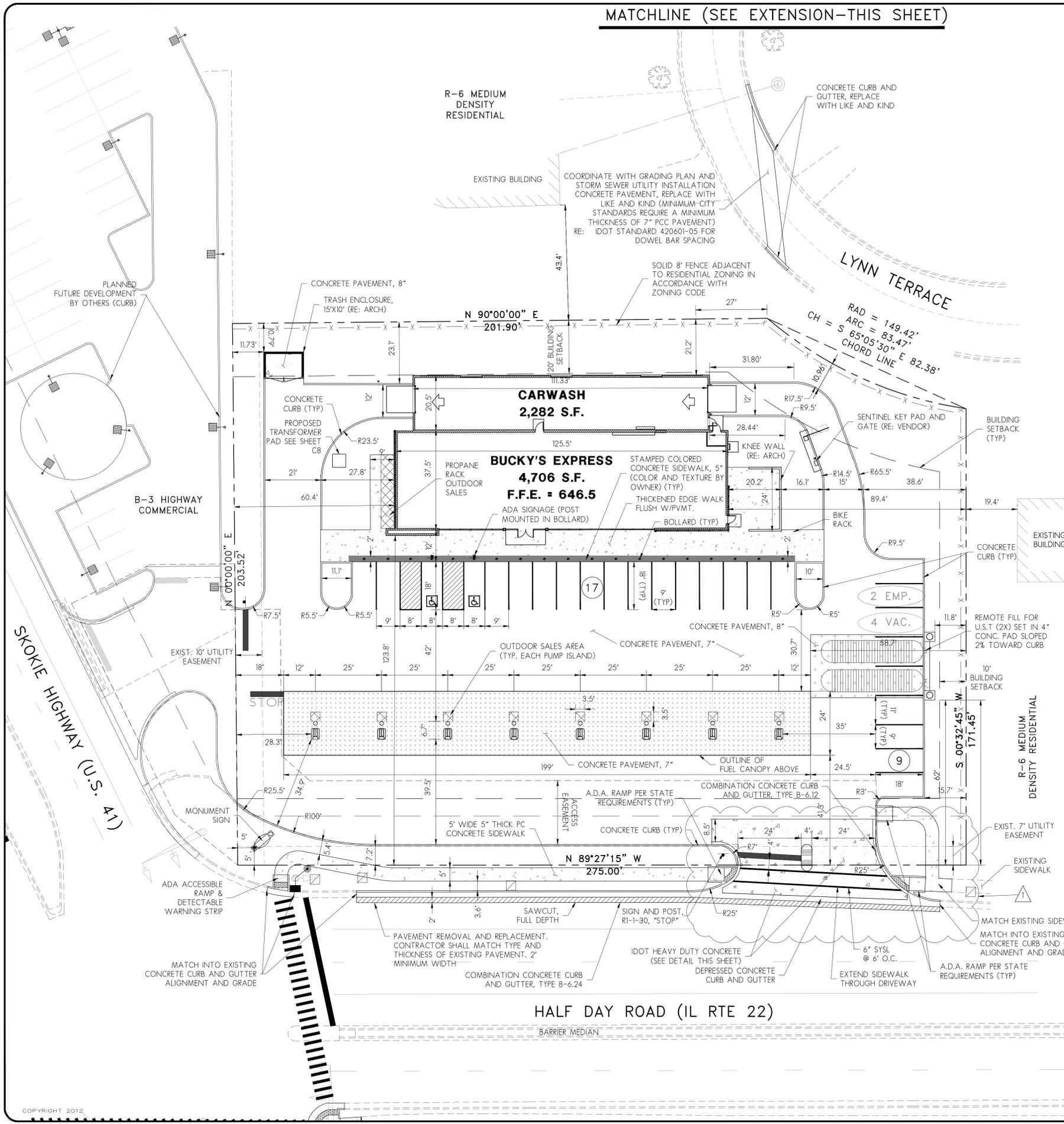
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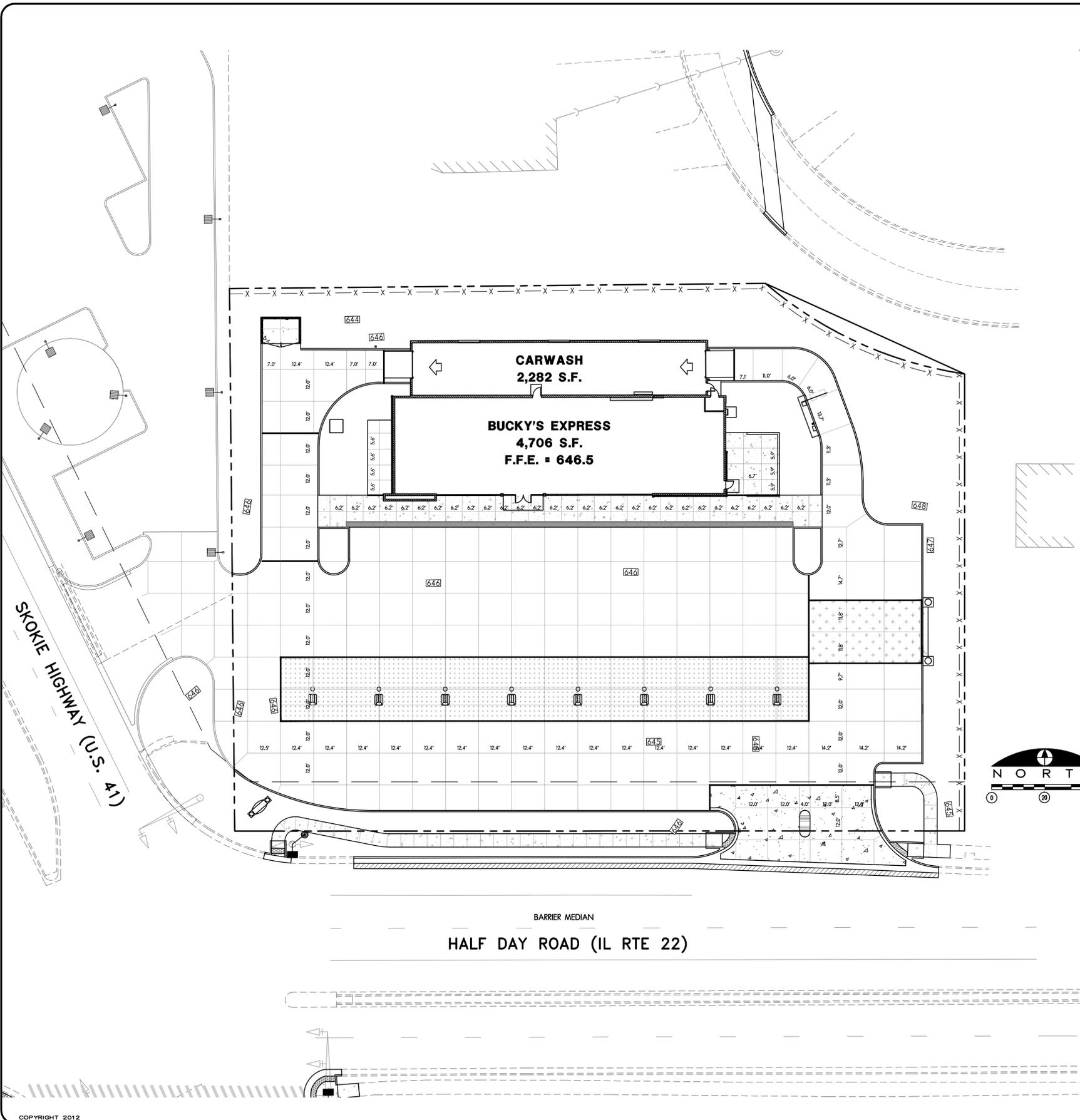
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PROJECT NUMBER  
SHEET NUMBER

12013  
C4





**CONCRETE JOINTING NOTES**

- A. JOINT CONSTRUCTION: CONSTRUCT EXPANSION, WEAKENED PLANE CONTROL (CONTRACTION), AND CONSTRUCTION JOINTS STRAIGHT WITH FACE PERPENDICULAR TO CONCRETE SURFACE. CONSTRUCT TRANSVERSE JOINTS PERPENDICULAR TO CENTERLINE, UNLESS OTHERWISE DETAILED.
- 1. WEAKENED PLANE CONTROL OR CONTRACTION JOINTS: PROVIDE JOINTS AT SPACING OF 15'-0" ON CENTERS, MAXIMUM EACH WAY. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH TO WIDTH RATIO NOT EXCEEDING 125% UNLESS OTHERWISE NOTED. CONSTRUCT CONTROL JOINTS FOR DEPTH EQUAL TO AT LEAST 1/4 OF THE CONCRETE THICKNESS, AS FOLLOWS:
  - a. FORM TOOLED JOINTS IN FRESH CONCRETE BY GROOVING TOP WITH RECOMMENDED TOOL AND FINISHING EDGE WITH JOINTER.
  - b. FORM SAWED JOINTS USING POWERED SAWS EQUIPPED WITH SHATTERPROOF ABRASIVE OR DIAMOND RIMMED BLADES. CUT JOINTS INTO HARDENED CONCRETE AS SOON AS SURFACE WILL NOT BE TORN, ABRADED, OR OTHERWISE DAMAGED BY CUTTING ACTION. CONTRACTOR SHALL SAWCUT TANK FARM AND ISLAND / CANOPY AREA TO MID-DEPTH WITHIN 12 HOURS OF POUR.
  - c. SIDEWALK CONTRACTION JOINT SPACING SHALL NOT EXCEED CORRESPONDING WIDTH OF SIDEWALK. 12' WIDE SIDEWALKS SHALL HAVE A LONGITUDINAL CONTRACTION JOINT ALONG THE CENTER OF THE SIDEWALK AND TRANSVERSE CONTRACTION JOINTS SHALL BE SPACED AT 6' MAX.
  - d. A DIAMOND EDGE SAW BLAND SHALL BE USED FOR ALL REQUIRED CONTRACTION AND LONGITUDINAL PAVEMENT JOINTS.
  - e. ALL SAWCUTS REQUIRED SHALL BE SUBSIDIARY TO ITEMS FOR WHICH DIRECT PAYMENT IS MADE.
- 2. CONSTRUCTION JOINTS: PLACE CONSTRUCTION JOINTS AT END OF PLACEMENTS AND AT LOCATIONS WHERE PLACEMENT OPERATIONS ARE STOPPED FOR PERIOD OF MORE THAN 1/2 HOUR, EXCEPT WHERE SUCH PLACEMENTS TERMINATE AT EXPANSION JOINTS. CONSTRUCT JOINTS IN ACCORDANCE WITH IDOT SPECIFICATIONS.
- 3. TRANSVERSE EXPANSION JOINTS: LOCATE EXPANSION JOINTS AT MAXIMUM OF 180'-0" ON CENTERS, MAXIMUM EACH WAY UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS. PROVIDE PREMOULDED JOINT FILLER FOR EXPANSION JOINTS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, SIDEWALKS, AND OTHER FIXED OBJECTS.
- 4. BUTT JOINTS: FOR JOINTS AGAINST EXISTING PAVEMENT, PLACE 16" LONG DOWELS EIGHT INCHES INTO HOLES DRILLED INTO CENTER OF EXISTING SLAB. EPOXY DOWELS INTO HOLES WITH APPROVED EPOXY COMPOUND. PLACE DOWELS PRIOR TO CONCRETE PLACEMENT FOR NEW CONCRETE. DOWEL SPACING TO BE 24" ON CENTER UNLESS OTHERWISE SHOWN ON CONSTRUCTION DRAWINGS. SAW JOINT AND FILL WITH JOINT SEALER.
- J. JOINT FILLERS: EXTEND JOINT FILLERS FULL WIDTH AND DEPTH OF JOINT, AND NOT LESS THAN 1/2-INCH OR MORE THAN 1-INCH BELOW FINISHED SURFACE WHERE JOINT SEALER IS INDICATED. FURNISH JOINT FILLERS IN 1' PIECE LENGTHS FOR FULL WIDTH BEING PLACED, WHEREVER POSSIBLE. WHERE MORE THAN 1 LENGTH IS REQUIRED, LACE OR CLIP JOINT FILLER SECTIONS TOGETHER.
- K. JOINT SEALANTS: JOINTS SHALL BE SEALED WITH WHITE OR GRAY APPROVED EXTERIOR PAVEMENT JOINT SEALANTS AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

**LEGEND**

- PROPERTY LINE
- - - CONTRACTION JOINT
- EXPANSION JOINT
- [Pattern] CONCRETE PAVEMENT, 7" (ISLAND / CANOPY)
- [Pattern] CONCRETE PAVEMENT, 8" (TANK FARM)
- [Pattern] CONCRETE PAVEMENT, 8" (DRIVEWAYS W/IN R.O.W. AND SIDEWALKS CROSSING DRIVEWAYS)
- [Pattern] CONCRETE SIDEWALK, 5" (PUBLIC SIDEWALK NOT IN DRIVEWAYS AND THICKENED EDGE SIDEWALK)
- PROPOSED CONCRETE CURB AND GUTTER, 8-6 MONOLITHIC
- EXISTING CONCRETE CURB AND GUTTER



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REVISIONS

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SHEET TITLE

**CONCRETE JOINTING PLAN**

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PM PM

PROJECT NUMBER  
SHEET NUMBER

**12013**

**C5**

ISSUED FOR

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PM	PM

**LEGEND**

	PROPOSED TOP OF PAVEMENT ELEVATION		EXISTING MANHOLE OR CATCH BASIN
	PROPOSED TOP OF SIDEWALK ELEVATION		PROPOSED CATCHBASIN, CURB (RIM ELEV. = EDGE OF PAVEMENT ELEV.)
	PROPOSED FINISHED GRADE ELEVATION		PROPOSED CATCHBASIN, AREA (RIM ELEV. = TOP OF PAVEMENT ELEV.)
	PROPOSED TOP OF PAVEMENT ELEVATION (BY OTHERS)		UNDERGROUND DETENTION
	PROPOSED CONTOUR LINE		DIRECTION OF SHEET FLOW
	EXISTING CONTOUR LINE		
	PROPOSED STORM SEWER		
	EXISTING STORM SEWER		

**PIPE TABLE**

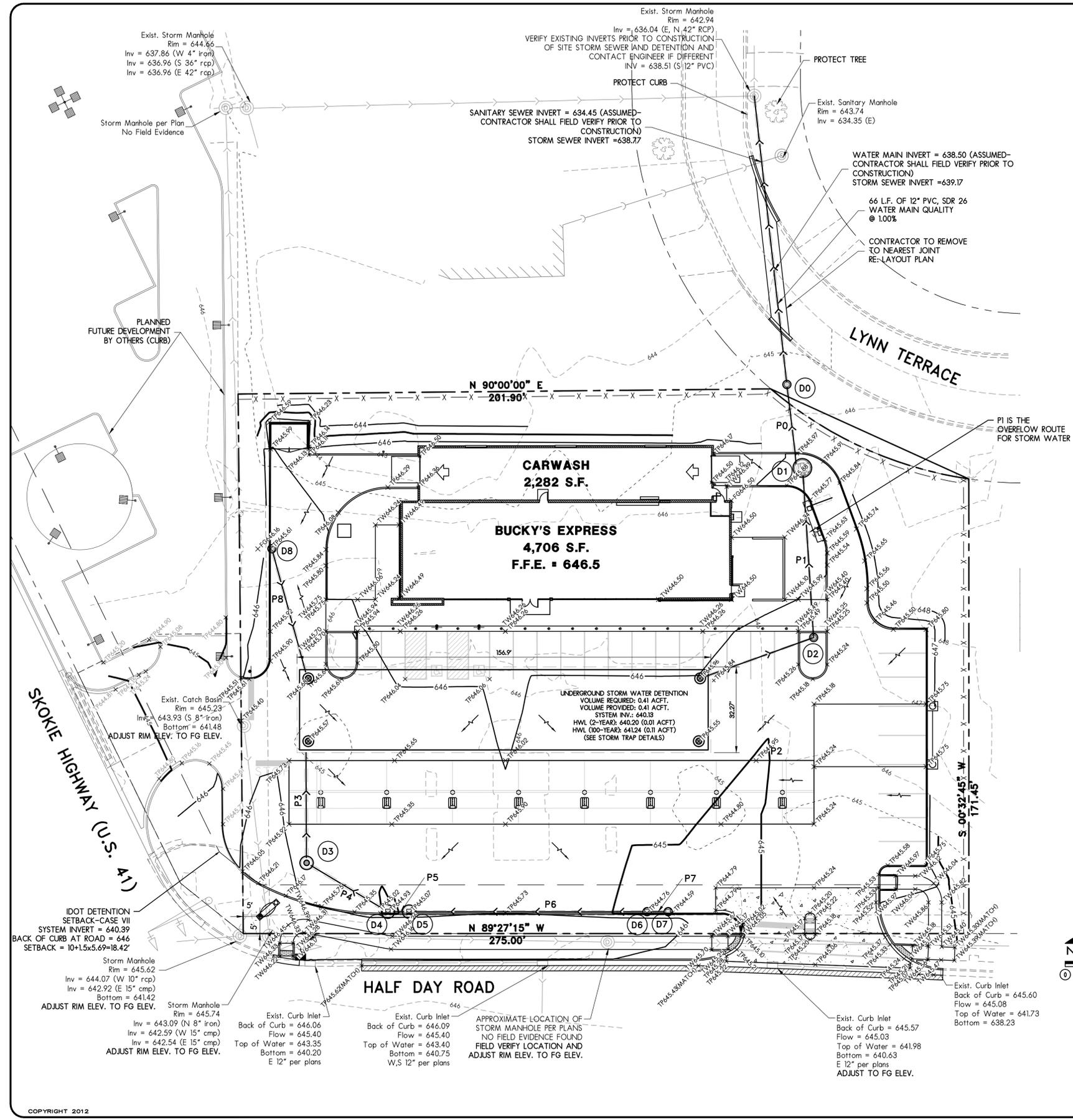
TYPE	DIA. (IN)	LENGTH (LF)	SLOPE	
P0	PVC, SDR 26 W/MQ	12	30	1.00%
P1	RCP	12	61	1.64%
P2	RCP	12	45	0.49%
P3	RCP	15	42	0.50%
P4	RCP	15	36	1.00%
P5	RCP	15	5	1.00%
P6	RCP	12	87	1.00%
P7	RCP	12	5	1.00%
P8	RCP	12	46	1.00%

**STRUCTURE TABLE**

TYPE	CASTING	RIM ELEV.	SUMP	INV. ELEV.	INV. ELEV.	CONNECTION
				IN	OUT	
D0	INLET TYPE A	645.5	N/A	639.61	639.61	12" RCP (N, S)
D1	DOWNSTREAM DEFENDER (4')	SEE DETAIL	SEE DETAIL	638.91	639.91	12" RCP (N, S)
D2	CATCH BASIN TYPE A, 5' DIA.	R2540C	645.45	639.91	639.91	12" RCP (SE, N)
D3	CATCH BASIN TYPE A, 4' DIA.	R2540C	645.54	640.60	640.60	15" RCP (N, SE)
D4	CATCH BASIN TYPE A, 4' DIA.	R3032B	644.93	640.96	640.96	15" RCP (NW), 15" RCP (E)
D5	CATCH BASIN TYPE A, 4' DIA.	R3032B	645.07	641.26	641.01	15" RCP (W), 12" RCP (E)
D6	INLET TYPE A	R3032B	644.76	641.88	641.88	12" RCP (W,E)
D7	INLET TYPE A	R3032B	644.59	641.93	641.93	12" RCP (W,E)
D8	INLET TYPE A	R3032B	645.61	640.81	640.81	12" RCP (S)

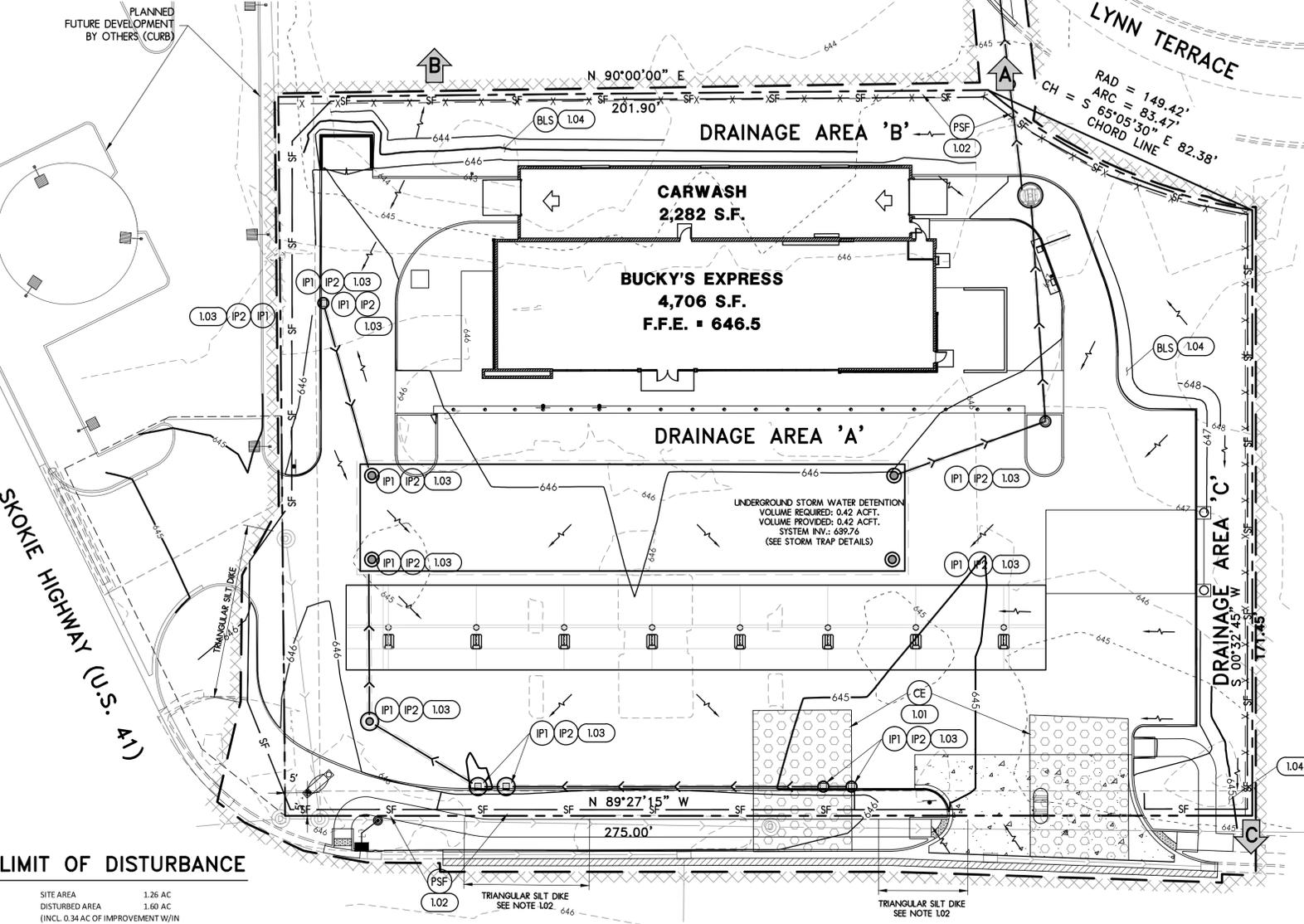
- STORM SEWER**
- ALL STORM SEWER SHALL BE RCP PIPE UNLESS OTHERWISE NOTED.
  - ALL STORM SEWERS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED PAVEMENT SHALL BE BACKFILLED WITH GRANULAR BACKFILL MATERIAL IDOT GRADATION FA-6 OR APPROVED EQUAL. (GRADE 8 OR GRADE 9).
  - ANY FIELD TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE STORM SEWER SYSTEM. THE SIZE, LOCATION, AND DEPTH OF THE TILES SHALL BE RECORDED BY THE CONTRACTOR AND IMMEDIATELY REPORTED TO THE OWNER, CITY, AND THE ENGINEER.

- GRADING NOTES**
- THE CONTRACTOR SHALL CONTACT THE CITY OF HIGHLAND PARK, A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY GROUND DISTURBING ACTIVITIES. THE CITY RESERVES THE AUTHORITY TO INSPECT CONSTRUCTION ACTIVITIES CALLED FOR IN THIS PLAN SET.
  - THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
  - ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  - THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 4 HORIZONTAL TO 1 VERTICAL.
  - PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
  - ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
  - STOCKPILING OF SOIL SHALL BE AT LOCATIONS APPROVED BY THE OWNER OR AS SHOWN ON THE DRAWINGS. CUT OR FILL SLOPES SHALL HAVE A MAXIMUM RATIO OF 3 HORIZONTAL TO ONE VERTICAL. THESE SLOPE CONSTRAINTS APPLY TO TEMPORARY STOCK PILES AS WELL AS FINISHED SLOPE CONDITIONS.
  - THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PROOF ROLLING, PLACING TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES TO FINISHED GRADE IN THE PARKWAYS AND PARK DETENTION AREAS, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
  - THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.



## SEQUENCE OF CONSTRUCTION

1. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. CONSTRUCT DETENTION BASIN AND INSTALL INLET CONTROL PROTECTION.
4. BEGIN SITE DEMOLITION AND REMOVALS.
5. BEGIN GRADING THE SITE.
6. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS.
8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
10. PAVE AREA OF SITE.
11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION HAS BEEN APPROVED BY THE ENGINEER.



## LIMIT OF DISTURBANCE

SITE AREA	1.26 AC
DISTURBED AREA	1.60 AC
(INCL. 0.34 AC OF IMPROVEMENT W/IN THE PUBLIC R.O.W.)	
PRE-CONSTRUCTION PERVIOUS AREA	0.71 AC
IMPERVIOUS AREA	0.55 AC
RUNOFF COEFFICIENT	0.51
POST-CONSTRUCTION PERVIOUS AREA	0.33 AC
IMPERVIOUS AREA	0.93 AC
RUNOFF COEFFICIENT	0.72

CONTRACTOR SHALL ADJUST EROSION CONTROL MEASURES TO ACCOMMODATE REMOVAL OF EXISTING FEATURES AND CONSTRUCTION OF PROPOSED FEATURES. AT NO TIME SHALL TURBID RUNOFF FROM THE SITE BE PERMITTED TO TRACK ONTO HALF DAY ROAD OR ADJACENT PROPERTIES. ADJUSTMENT OF EROSION CONTROL MEASURES, INCLUDING TRACKS IMPLEMENTED, SHALL BE NOTED ON THIS SWPPP SITE MAP DURING CONSTRUCTION. SEE INTERMEDIATE SILTFENCE / TRIANGULAR SILT DIKE REQUIREMENTS DETAIL FOR MORE INFORMATION.

## HALF DAY ROAD (IL RTE 22)

## LEGEND

- EXISTING CONCRETE CURB AND GUTTER
- CONCRETE CURB AND GUTTER
- 800 — PROPOSED CONTOUR LINE
- - - 800 - - - EXISTING CONTOUR LINE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- ⊙ EXISTING MANHOLE OR CATCH BASIN
- ⊙ PROPOSED DOWNSPOUT CONNECTION
- ⊙ PROPOSED MANHOLE
- ⊙ PROPOSED CLEANOUT
- DIRECTION OF SHEET FLOW
- ← DIRECTION OF OVERLAND FLOOD ROUTE
- ▨ LIMIT OF DISTURBANCE

## EROSION CONTROL KEY LEGEND

- ⊙ PSF SILT FENCE (PERIMETER)
- ⊙ CE CONSTRUCTION EXIT AND CONCRETE TRUCK WASHOUT
- ⊙ BLS SLOPE PROTECTION BLANKET NAG S150 OR EQUAL
- ⊙ IP1 SILT FENCE INLET PROTECTION
- ⊙ IP2 GRAVEL AND WIRE MESH INLET SEDIMENT FILTER
- ⊙ ALL SLOPES 4:1 AND STEEPER SHALL RECEIVE (BLS) SLOPE PROTECTIONS.

## STORMWATER OUTFLOWS

- A** FROM SITE - DRAINAGE AREA 'A' (0.97 AC) CONSISTING OF PARKING LOT, DRIVES, ROOFS AND LANDSCAPED AREAS. ALL FLOWS TREATED BY TEMPORARY INLET PROTECTION DEVICES OR PERIMETER SILTFENCE DURING CONSTRUCTION. PERMANENT BMP'S WILL TREAT THE RUNOFF IN AN UNDERGROUND DETENTION BASIN WITH CONTROLLED RELEASE TO THE ADJACENT REGIONAL DRAINAGE DITCH.
- TO RECEIVING WATERS - DISCHARGE WILL CONVEYED UNDERGROUND TO THE NORTH VIA EXISTING STORM SEWER. THE STORM SEWER ULTIMATELY DISCHARGES TO THE SKOKIE RIVER APPROXIMATE ONE-FOURTH OF A MILE NORTHEAST OF THE SITE.
- B** FROM SITE - DRAINAGE AREA 'B' (0.18 AC) PERIPHERAL TO MAIN SITE DEVELOPMENT AND CONSISTING PRIMARILY OF LANDSCAPED AREAS ALONG THE NORTH PROPERTY LINE. ALL FLOWS TREATED BY TEMPORARY BEST MANAGEMENT PRACTICES INCLUDING PERIMETER CONTROLS DURING CONSTRUCTION.
- TO RECEIVING WATERS - DISCHARGE WILL CONVEYED OVERLAND THROUGH EXISTING TURF TO THE NORTH UNTIL IT ENTERS AN EXISTING STORM SEWER SYSTEM APPROXIMATELY 250 FEET NORTH OF THE SITE. THE STORM SEWER ULTIMATELY DISCHARGES TO THE SKOKIE RIVER APPROXIMATE ONE-FOURTH OF A MILE NORTHEAST OF THE SITE.
- C** FROM SITE - DRAINAGE AREA 'C' (0.22 AC) PERIPHERAL TO MAIN SITE DEVELOPMENT AND CONSISTING PRIMARILY OF LANDSCAPED AREAS ALONG THE EASTERN PROPERTY LINE AND ACCESS IMPROVEMENTS ALONG HALF DAY ROAD. ALL FLOWS TREATED BY TEMPORARY BEST MANAGEMENT PRACTICES INCLUDING PERIMETER CONTROLS DURING CONSTRUCTION.
- TO RECEIVING WATERS - DISCHARGE WILL ENTER EXISTING PUBLIC STORM SEWER ALONG THE NORTHERLY RIGHT-OF-WAY OF HALF DAY ROAD. THE STORM SEWER ULTIMATELY DISCHARGES TO THE SKOKIE RIVER APPROXIMATE ONE-FOURTH OF A MILE EAST OF THE SITE.

## EROSION CONTROL NOTES

1. CONTRACTOR SHALL BE ABIDE BY ALL REQUIREMENTS SET FORTH BY THE LATEST REVISION OF THE ILLINOIS NPDES GENERAL PERMIT (ILRI0) FOR STORM WATER POLLUTION PREVENTION. LOCAL, STATE, AND FEDERAL AUTHORITIES RESERVE THE RIGHT TO REVIEW THE SITE FOR COMPLIANCE AND IMPOSE APPLICABLE PENALTIES FOR NON-COMPLIANCE.
2. CONTRACTOR SHALL NOTE ANY CHANGES OR ADDITIONS TO THE SWPPP AND THE DATES OF SAID CHANGES OR ADDITIONS ON THIS SITE MAP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING BMP'S INCLUDING INTERMEDIATE BMP'S AS WARRANTED BY SITE CONDITIONS.

## EROSION CONTROL REFERENCE NOTES

- 1.01** SEE CONSTRUCTION EXIT DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 28' IN WIDTH AND 40' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02** PERIMETER SILTFENCE SHALL FORM A PERIMETER AROUND THE ENTIRE SITE EXCEPT WHERE CONSTRUCTION EXITS ARE INSTALLED. USE TRIANGULAR SILT DIKE PER DETAIL IN LIEU OF SILTFENCE ON PAVED SURFACES. THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION. THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03** SEE INLET PROTECTION DETAILS. NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04** PERMANENT EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 4:1 OR GREATER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.

## CONTRACTOR CERTIFICATION STATEMENT

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) ILLINOIS GENERAL PERMIT (ILRI0) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR EMPLOYEE NAME \_\_\_\_\_ TITLE \_\_\_\_\_

COMPANY NAME \_\_\_\_\_ PHONE NUMBER \_\_\_\_\_

BUSINESS ADDRESS \_\_\_\_\_ CITY, STATE ZIP \_\_\_\_\_

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CITY REVIEW	05-20-2013
IDOT APPROVAL	08-19-2013
CITY APPROVAL	08-23-2013
CITY APPROVAL	09-25-2013
IDOT APPROVAL	05-19-2014
IDOT APPROVAL	08-22-2014

NO.	ITEM	DATE
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SHEET TITLE

**SWPPP SITE MAP**

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PM	PM

PROJECT NUMBER  
SHEET NUMBER

**12013**

**C7**

**LEGEND**

- PROPERTY LINE
- 8"W EXISTING WATER MAIN
- W PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SAND/OIL SEPARATOR
- G EXISTING GAS MAIN
- G PROPOSED GAS MAIN
- UE/T PROPOSED UNDERGROUND ELECTRIC/PHONE SERVICE
- O/U EXISTING OVERHEAD UTILITY LINES
- ⊙ EXISTING MANHOLE OR CATCH BASIN
- ⊙ PROPOSED MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING LIGHT POLE
- E PROPOSED TRANSFORMER
- ⊗ EXISTING FIRE HYDRANT ASSEMBLY
- ⊗ EXISTING WATER VALVE
- ⊗ PROPOSED WATER VALVE

**UTILITY NOTES**

- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER ARE LOCATED WITHIN THE BUILDING. REFER TO BUILDING PLUMBING PLANS.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.
- ALL TRENCHES WITHIN PAVED AREAS AND A MINIMUM OF 2 FEET BEYOND ALL CURB LINES SHALL BE BACKFILLED WITH AN APPROVED GRANULAR MATERIAL, COMPACTED TO A MINIMUM OF 95% WITHIN 12" OF PAVEMENT.

**SANITARY SEWER**

- SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION. THE WORK WILL BE PERFORMED UNDER THE CITY OF HIGHLAND PARK, IL STANDARD SPECIFICATIONS AND THE STATE AND LOCAL PLUMBING CODE.
- CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
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- BACKFLOW PREVENTION DEVICES AND THE WATER METER ARE LOCATED WITHIN THE BUILDING. REFER TO BUILDING PLUMBING PLANS.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- CAP ENDS OF ANY CONDUITS INSTALLED AND MARK ENDS.
- ALL SANITARY SEWERS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED STREET PAVEMENT, SIDEWALK OR CURB SHALL BE BACKFILLED WITH GRANULAR BACKFILL MATERIAL IDOT GRADATION FA-6 OR APPROVED EQUAL (GRADE 8 OR GRADE 9).
- SANITARY SEWER SERVICES SHALL BE 6" PVC/WATERMAIN QUALITY SDR 26 IN ACCORDANCE WITH ASTM D-2241, OR SOLVENT WELDED SCH. 40 PVC. ALL SERVICES SHALL BE SLOPED FROM THE MAIN AT 1% MINIMUM UNLESS OTHERWISE NOTED.

**WATER MAIN**

- WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION. THE WORK WILL BE PERFORMED UNDER THE CITY OF HIGHLAND PARK, IL STANDARD SPECIFICATIONS AND THE STATE AND LOCAL PLUMBING CODE.
- THE MINIMUM COVER FOR ALL WATERMAIN AND WATER SERVICE PIPE IS SIX FEET (6'-0") FROM FINISHED GRADE TO TOP OF PIPE.
- ALL WATERMANS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED STREET PAVEMENT, SIDEWALK OR CURB SHALL BE BACKFILLED WITH GRANULAR BACKFILL MATERIAL IDOT GRADATION FA-6 OR APPROVED EQUAL (GRADE 8 OR 9). TRENCH AND BACKFILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY.
- MAXIMUM ALLOWABLE LEAKAGE SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- WATERMANS AND SEWERS SHALL BE SEPARATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER, LATEST EDITION.
- THE WATER SERVICE PIPE SHALL BE 1 1/2" TYPE K COPPER. THE CORPORATION COCK, CURB STOP, AND THE SERVICE BOX SHALL BE OF A TYPE AND MANUFACTURE ACCEPTABLE TO THE CITY.

**KEY NOTES**

- EXIST. SAN. SWR., 8" PVC
- 18 LF SAN. SWR., 6" PVC, CONNECT AT EXISTING SERVICE LOCATION, MIN SLOPE OF 1.00%
- SAN. MH., 4' DIA., RIM, INV. 6" PVC (W) 638.08 (FIELD VERIFY PRIOR TO MATERIAL ORDER), INV. 6" PVC (N) 638.18
- 48 LF SAN. SWR., 6" PVC @ 1.00%
- SAN. MH., 4' DIA., RIM, INV. 6" PVC (S) 638.64, INV. 6" PVC (NE) 638.74
- 30 LF SAN. SWR., 6" PVC @ 1.00%
- SAN. MH., 4' DIA., RIM, INV. 6" PVC (SW) 639.04, INV. 6" PVC (N) 639.14, INV. 6" PVC (NE) 639.14, INV. 6" PVC @ 639.14
- GREASE TRAP (RE: ARCH.) INV. (OUT) = 639.50 (INSTALL 5 LF 4" SAN. SWR. DISCHARGE PIPE @ 1.0% TO SAN. MH.)
- 10 LF 4" SAN. SWR. @ 4.0%. DOUBLE WYE CLEANOUT 5' FROM BUILDING WALL. INV @ WALL = 639.90
- 29 LF 4" SAN. SWR. @ 1.38%. DOUBLE WYE CLEANOUT 5' FROM BUILDING WALL. INV @ WALL = 639.90
- 40 LF SAN. SWR., 6" PVC @ 2.50%
- WATER RECLAMATION SYSTEM, 6" DISCHARGE PIPE INV = 640.14, (RE: CARWASH VENDOR DETAILS)
- WATER RECLAMATION SYSTEM DISCHARGE AND RETURN PIPING (RE: CARWASH VENDOR DETAILS)
- SECONDARY ELECTRICAL BY GENERAL CONTRACTOR FROM TRANSFORMER TO BUILDING. RE: ARCH. FOR ENTRY AND METER REQUIREMENTS.
- PAD MOUNTED TRANSFORMER, PAD CONSTRUCTION BY GENERAL CONTRACTOR, RE: ARCH. FOR ENTRY, COORD. REQUIREMENTS WITH SERVICE PROVIDER
- TELEPHONE SERVICE. CONNECTION W/ SERVICE PROVIDER.
- ELECTRIC SERVICE. COORD. CONNECTION W/ SERVICE PROVIDER.
- GAS MAIN SERVICE. COORD. CONNECTION W/ SERVICE PROVIDER. RE: ARCH. FOR ENTRY AND METER REQUIREMENTS.
- 4" WATER SERVICE ENTRY, RE: ARCH.
- 4" WATER SERVICE, DIP WATER SERVICE AT STORMSEWER CROSSINGS. MAINTAIN 18" VERTICAL SEPARATION PER IEPA REQUIREMENTS.
- GATE VALVE WITHIN 2' OF PROPERTY LINE
- FIELD VERIFY LOCATION OF 12" WATERMAIN. CONNECT 4" WATER SERVICE TO EXISTING WATERMAIN WITH 4" CORP STOP AND 12" TAPPING SLEEVE

**ARC DESIGN**  
RESOURCES INC.

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
ROCKFORD, IL 61107  
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

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REVISIONS

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SHEET TITLE

**SITE UTILITY PLAN**

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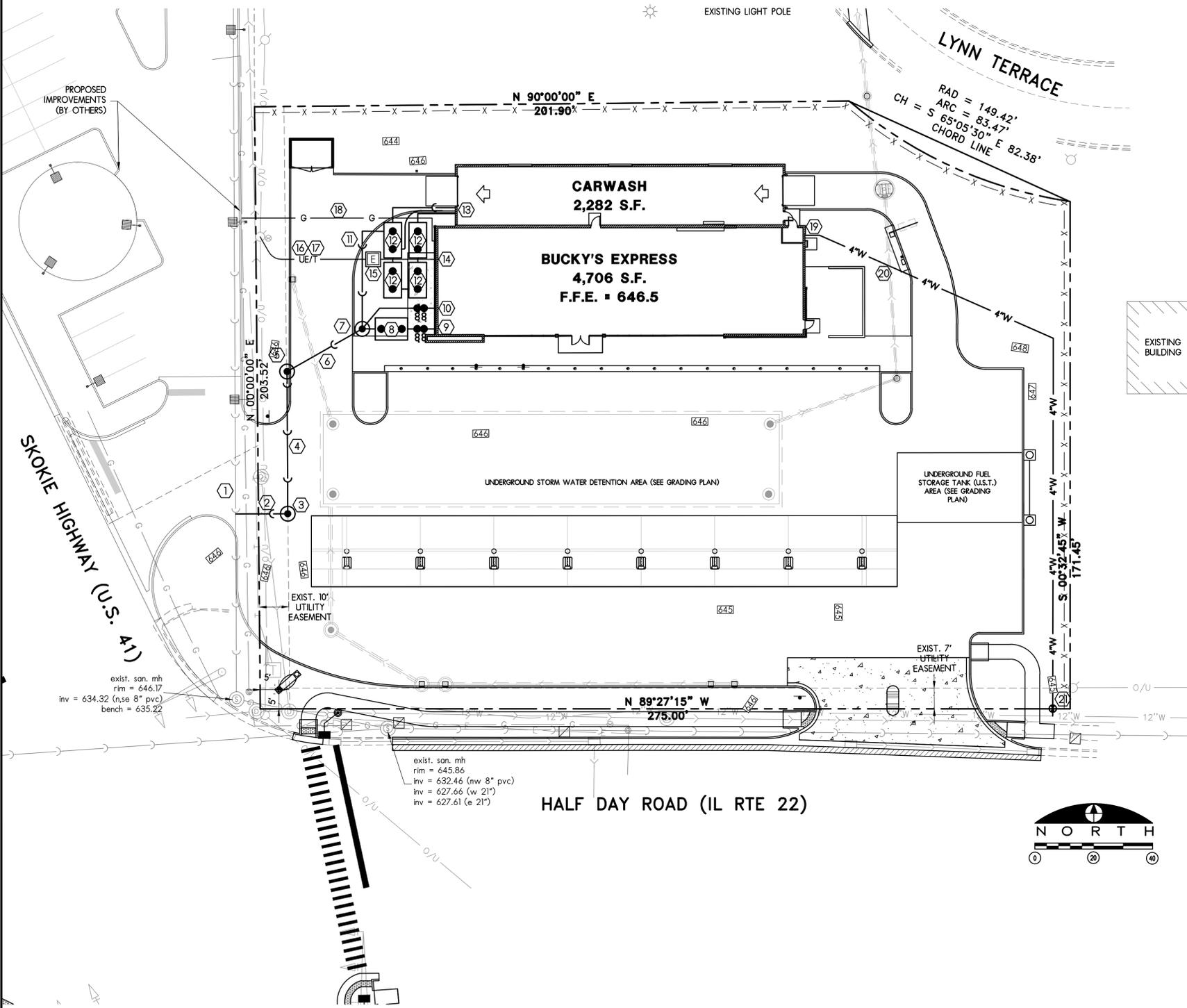
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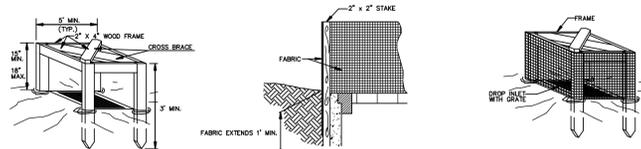
PROJECT NUMBER  
SHEET NUMBER

**12013**

**C8**

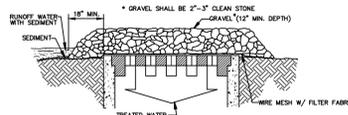






**TEMP. SILT FENCE INLET PROTECTION**

NOT TO SCALE



**TEMP. GRAVEL AND WIRE MESH INLET SEDIMENT FILTER**

NOT TO SCALE

**ARC DESIGN RESOURCES INC.**

5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
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**SHEET TITLE**

**STANDARD DETAILS**

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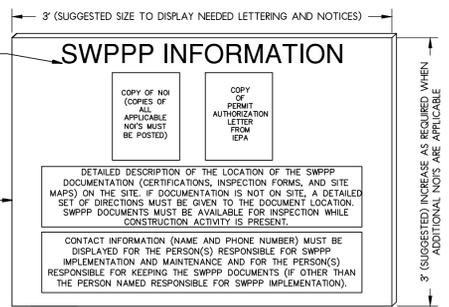
**CHECKED** \_\_\_\_\_

**PM** \_\_\_\_\_

**PROJECT NUMBER  
SHEET NUMBER**

**12013**

**C10**



- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION (NOT) IS FILED FOR THE PERMIT.
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

COPIES OF NOI COPIES OF ALL APPLICABLE NOIS MUST BE POSTED.

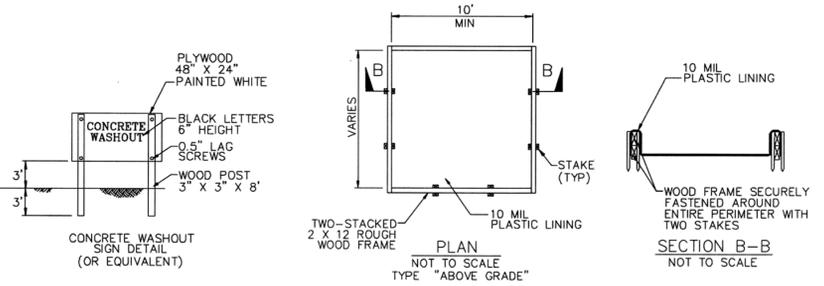
COPIES OF PERMIT AUTHORIZATION LETTER FROM IEPA.

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (CERTIFICATIONS, INSPECTION FORMS, AND SITE MAPS) ON THE SITE. IF DOCUMENTATION IS NOT ON SITE, A DETAILED SET OF DIRECTIONS MUST BE GIVEN TO THE DOCUMENT LOCATION. SWPPP DOCUMENTS MUST BE AVAILABLE FOR INSPECTION WHILE CONSTRUCTION ACTIVITY IS PRESENT.

CONTACT INFORMATION (NAME AND PHONE NUMBER) MUST BE DISPLAYED FOR THE PERSON(S) RESPONSIBLE FOR SWPPP IMPLEMENTATION AND MAINTENANCE AND FOR THE PERSON(S) RESPONSIBLE FOR KEEPING THE SWPPP DOCUMENTS (IF OTHER THAN THE PERSON NAMED RESPONSIBLE FOR SWPPP IMPLEMENTATION).

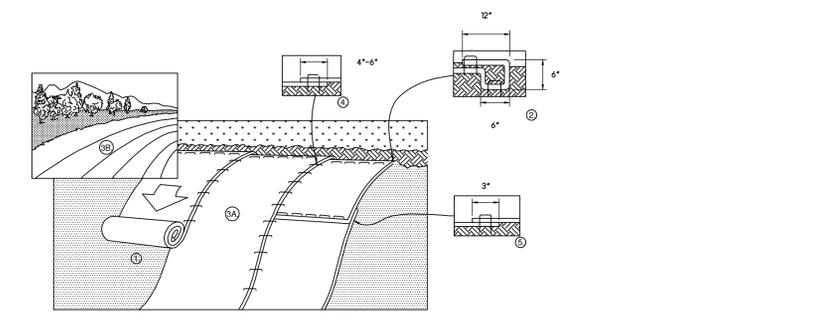
3' (SUGGESTED INCREASE AS REQUIRED WHEN ADDITIONAL NOIS ARE APPLICABLE)

**SWPPP INFORMATION SIGN**



**TEMP. CONCRETE TRUCK WASHOUT DETAIL**

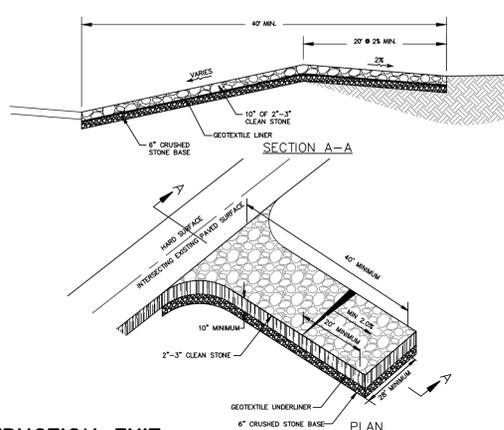
NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPACED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STILES) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. 6. PLACE STAPLES/STAKES PER MANUFACTURER RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
7. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION COPYRIGHT 2009

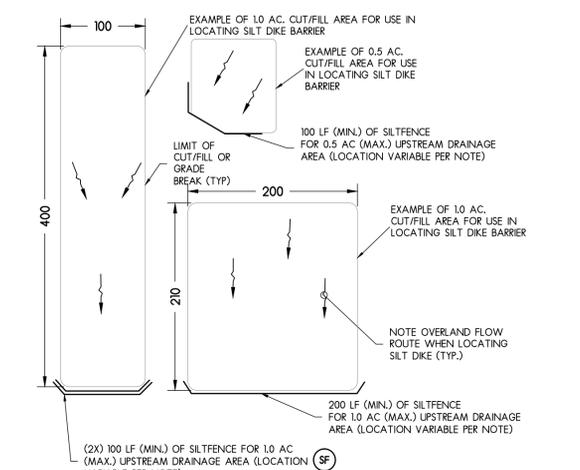
**EROSION CONTROL BLANKET (SLOPE INSTALLATION)**

NOT TO SCALE



**CONSTRUCTION EXIT**

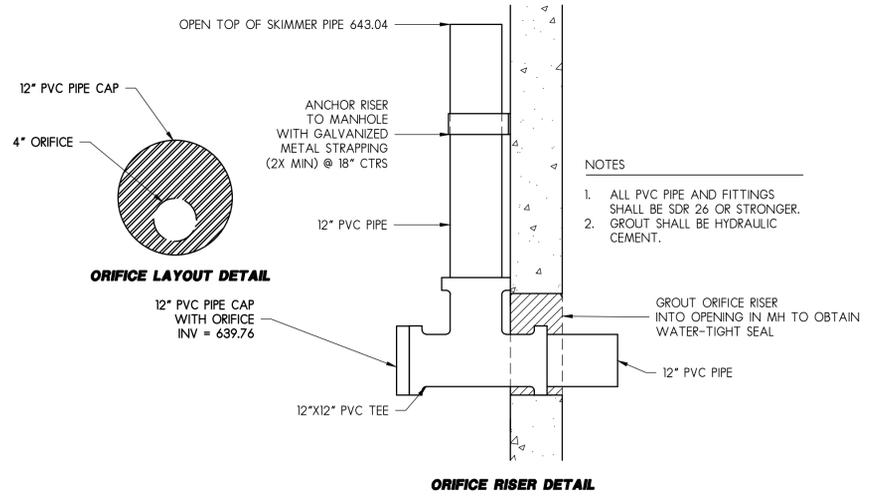
NOT TO SCALE



- SEE SILTFENCE DETAIL (SF). A MINIMUM OF 100 LF OF SILT DIKE SHALL BE REQUIRED FOR EVERY 0.5 AC OF DISTURBED UPSTREAM AREA. LOCATION AND QUANTITY OF SF IS VARIABLE. A DOUBLE ROW OF SF MAY BE UTILIZED AT THE DOWNSTREAM END OF A DISTURBED AREA IF CONDITIONS WARRANT. FOR EXAMPLE, TWO ROWS OF SF (EACH 100 LF IN LENGTH) COULD BE USED AT THE DOWNSTREAM END OF A CUT/FILL SITUATION WHERE THE UPSTREAM DISTURBED AREA MEASURES 100'X400' (WITH THE 400' LENGTH EXTENDING UPSTREAM). WHERE CONTRACTOR SHALL NOTE SF LOCATION AND QUANTITY OF SF AND RELATIVE CUT/FILL LIMITS ON THE SWPPP SITE MAP. WIRE BACKED SILT FENCE (SF) MAY BE SUBSTITUTED FOR SF AT THE CONTRACTOR'S DISCRETION. LENGTH AND LOCATION REQUIREMENTS REMAIN THE SAME WHETHER SF OR SF IS UTILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MARKING CUT AND FILL OPERATIONS AS WELL AS RESPECTIVE INTERMEDIATE BMP'S ON SHEETS C3 AND C4 WITH RESPECT TO PHASE AND LOCATION.

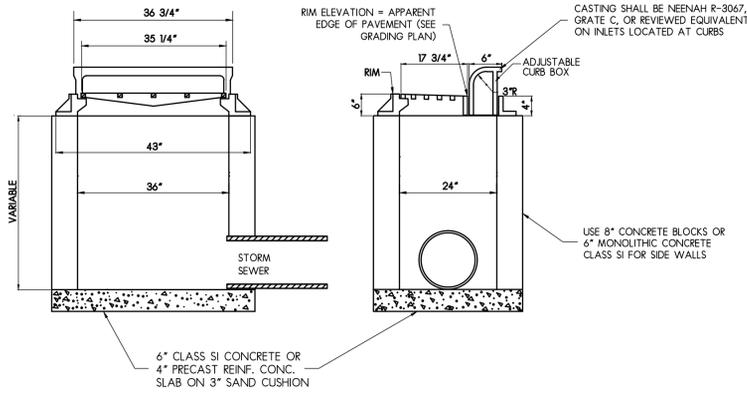
**INTERMEDIATE SILTFENCE / TRIANGULAR SILT DIKE REQUIREMENTS**

NOT TO SCALE



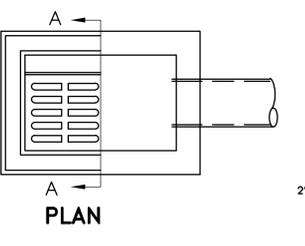
**OUTLET CONTROL STRUCTURE RISER PIPE DETAIL**

NOT TO SCALE

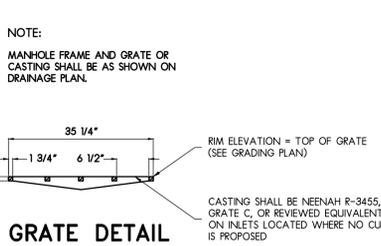


**LONGITUDINAL SECTION**

**SECTION A-A**



**PLAN**



**GRATE DETAIL**

**INLET TYPE 700**

NOT TO SCALE

PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
ROCKFORD, IL 61107  
PHONE (402) 718-6724

CONSULTANTS

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IDOT APPROVAL	06-22-2014

REVISIONS

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SHEET TITLE

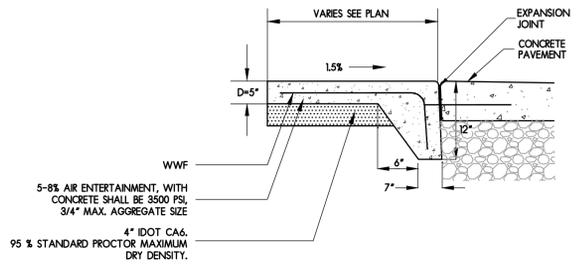
**STANDARD DETAILS**

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CHECKED -----  
PM PM

PROJECT NUMBER  
SHEET NUMBER

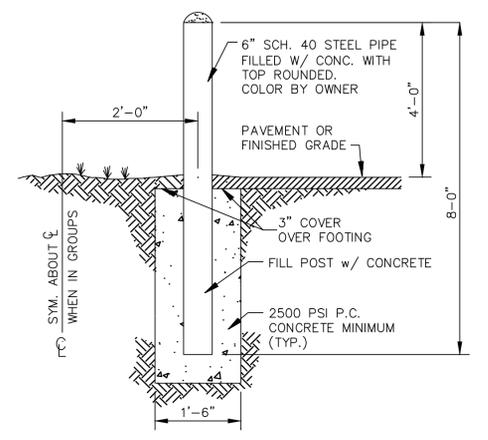
**12013**  
**C11**

CONCRETE WALK  
5" CONCRETE WALK WITH 6 X 6 -10/10 W.W.M. CONTINUOUS. USE LIGHT BARN BROOM FINISH WITH  
4" RETOOL JOINTS AND EDGES.



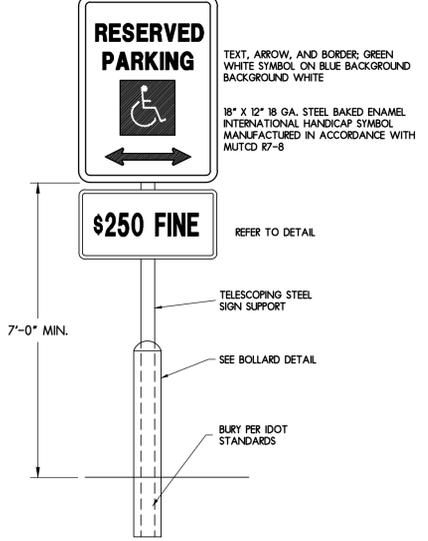
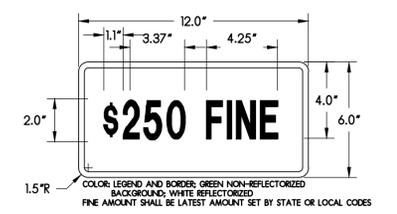
**FLUSH CONCRETE CONCRETE SIDEWALK**

NOT TO SCALE



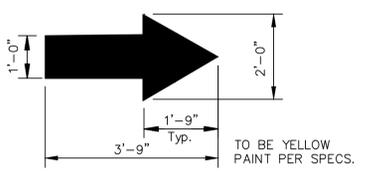
**STANDARD BOLLARD DETAIL**

NOT TO SCALE



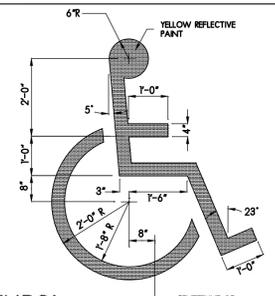
**ACCESSIBLE PARKING SIGN DETAIL**

NOT TO SCALE



**DIRECTIONAL ARROW PAVEMENT MARKING**

NOT TO SCALE



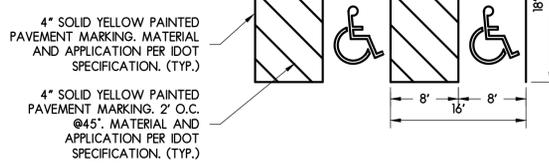
**A.D.A. SYMBOL PAVEMENT MARKING**

NOT TO SCALE

**90° STANDARD STALLS**



**90° A.D.A. STALLS**



**TYPICAL 90 DEGREE PARKING STRIPING DETAILS**

NOT TO SCALE

SECTION A-A

STONE BASE PER PROJECT SPECIFICATIONS

REVISION HISTORY

REV	BY	DATE	DESCRIPTION
A	JLL	8/9/12	Added Note 3

Drawn: EMH, Checked: MRJ, Approved: MRJ

Title: 4-FT (122m) DIAMETER DOWNSTREAM DEFENDER

GENERAL ARRANGEMENT

Hydro International

Stormwater Solutions  
84 Hutchins Drive  
Portland, Maine 04102  
Tel: (207) 756-6200  
Fax: (207) 756-6212  
stormwater@hydro-int.com

CAD Ref: D4GA\_SI  
Project No.  
Drawing No. D4GA\_SI Rev. A

Parts List

ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	48 in
2	FRAME AND COVER	30 in
3	INLET PIPE (BY OTHERS)	12 in
4	OUTLET PIPE (BY OTHERS)	12 in
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHAFT AND CONE	
10	BENCHING SKIRT	

CAPACITIES:

- Peak treatment flow: 3.0 cfs (85 l/s)
- Sediment storage capacity: 0.70 Cu. yd. (0.54 cu. m.)
- Oil storage capacity: 70 Gal. (265 liters)

ADDITIONAL DESIGN INFORMATION:

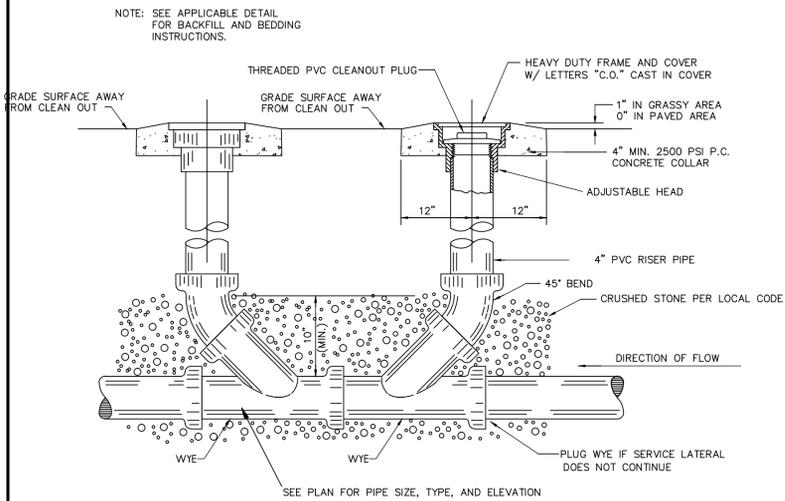
- The outlet pipe stub (not shown) is a roto-molded product with an I.D. of 12 in. that cannot be modified. To avoid the use of a reducer or expander on the outlet a 12 in. outlet pipe should be used if possible. The orientation of the outlet pipe can be adjusted to suit site conditions.
- Maximum pipe size is 12 in. The inlet pipe invert should be placed one inlet pipe diameter below the outlet pipe invert. The I.D. of the inlet pipe should be placed tangent to the I.D. of the manhole. The orientation of the inlet pipe can be adjusted to suit site conditions. Headloss at 3.0 cfs with a 12 in. inlet: 8 in. (203 mm). Headloss will increase with smaller inlet pipes.
- Sediment shall be stored in a zone that is isolated from the main flow path and protected from re-entrainment by the benching skirt.
- Dimensions are general and intended for guidance only.

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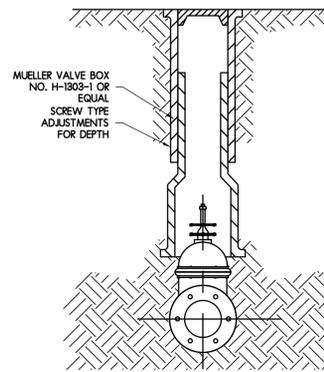
**4' DIAMETER DOWNSTREAM DEFENDER**

NOT TO SCALE



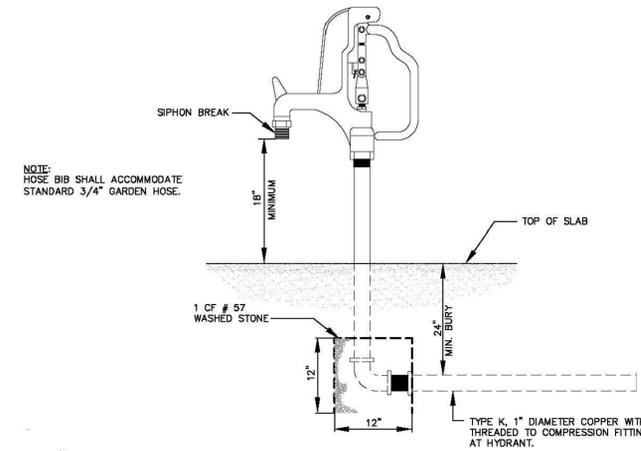
### DOUBLE (TWO-WAY) CLEANOUT

NOT TO SCALE



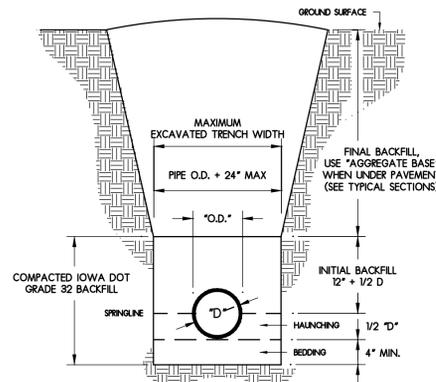
### VALVE BOX DETAIL

NOT TO SCALE



### YARD HYDRANT NON-FREEZING WOODFORD IOWA Y1 HEAD ASSEMBLY

NOT TO SCALE

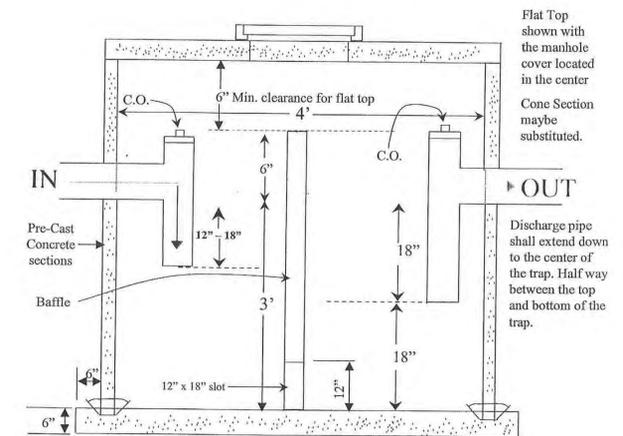


### PIPE EMBEDMENT DETAIL

NOT TO SCALE

Lake County  
LAKE COUNTY PUBLIC WORKS  
650 Winchester Road  
Libertyville, IL 60044  
847-377-7500

Grease Trap: 250 Gallon



Chicago Standard Frames & Seal Tight Lid, frame shall be embedded in mortar and placed in the center of the trap. Flat Top preferable, adjustment rings are to be sealed. External or internal chimney seal required for Cone or barrel section.

Trap can be constructed from a concrete basin.

Base 6" thick (Min.) reinforced concrete with #4 bars 12" O.C. both ways. Base to be set on 6" thick sand bed.

TEEs and interior pipe can be PVC or Deep Seal Cast Iron.

Size: Minimum 250 gallon capacity (Minimum 4 Ft Diameter x Minimum 3 Ft Deep). Depth shall be measured from the bottom of the outlet pipe to floor.

Location: Must be easily accessible for cleaning and inspection.

Baffle runs from the top of the inlet Tee and extends down to the floor with a 12" x 18" slot cut in the center at the bottom of the baffle. Baffle maybe constructed out of concrete, fiberglass or plastic.

Drawing is not to scale

### 250 GALLON GREASE INTERCEPTOR

NOT TO SCALE

ARC DESIGN  
RESOURCES INC.

6291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303  
www.arcdesign.com  
Design Firm License No. 184-001334

PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
ROCKFORD, IL 61107  
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

AGENCY REVIEW	DATE
DOT REVIEW	03-21-2013
CITY REVIEW	05-15-2013
IDOT APPROVAL	05-20-2013
CITY APPROVAL	06-19-2013
CITY APPROVAL	06-23-2013
CITY APPROVAL	09-25-2013
IDOT APPROVAL	05-19-2014
IDOT APPROVAL	06-22-2014

REVISIONS

NO.	ITEM	DATE
1		
2		
3		
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SHEET TITLE

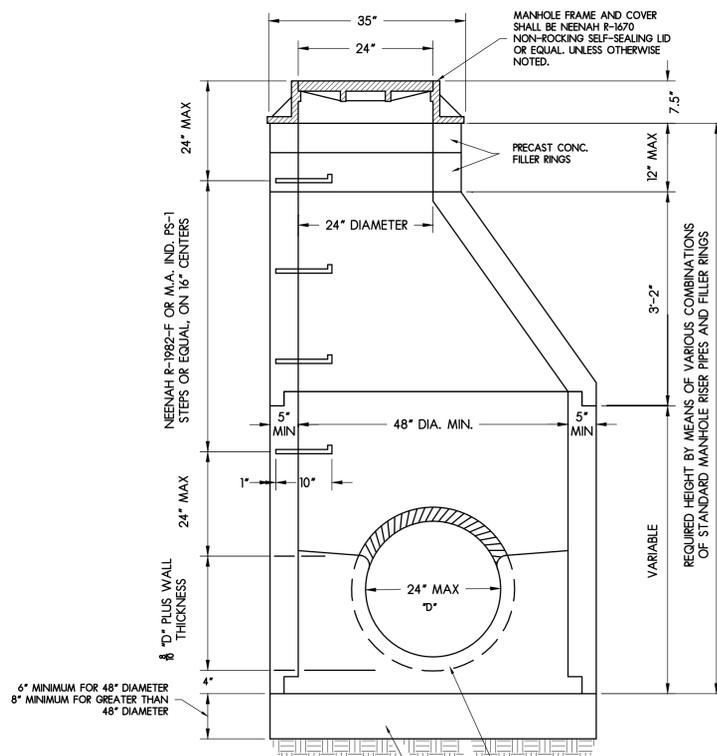
**STANDARD  
DETAILS**

DRAWN  
CHECKED  
PM

PROJECT NUMBER  
SHEET NUMBER

12013

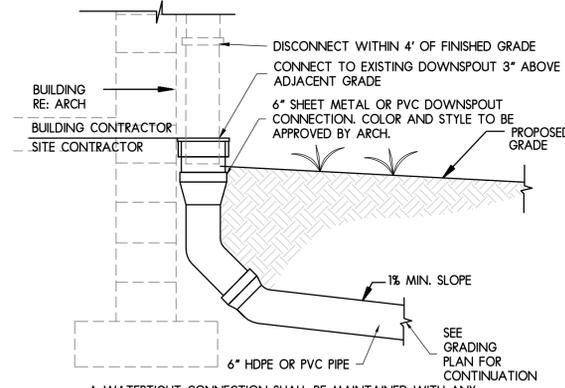
C12



- ALL JOINTS SHALL BE SEALED WATER-TIGHT BY MEANS OF E-Z STIK, KENT-SEAL, OR EQUAL (INCLUDING CAST IRON FRAME TO CONCRETE MANHOLE STRUCTURE)
- MANHOLE STRUCTURE TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE MANHOLE RISER PIPE
- MANHOLE CONSTRUCTION SHALL CONFORM TO A.S.T.M. DESIGNATION C478-80 OR LATEST REVISION.

### SANITARY MANHOLE

NOT TO SCALE



### EXTERIOR DOWNSPOUT CONNECTOR DETAIL

NOT TO SCALE



PROJECT NAME  
OWNER'S NAME

**BUCKY'S EXPRESS**  
HIGHLAND PARK, IL  
HALF DAY ROAD (IL  
RTE 22) & SKOKIE  
HIGHWAY (U.S. 41)

RICHARD MCMAHON  
5412 REGENTS PARK ROAD  
ROCKFORD, IL 61107  
PHONE (402) 718-6724

CONSULTANTS

ISSUED FOR

AGENCY REVIEW	DATE
AGENCY REVIEW	03-21-2013
IDOT REVIEW	05-15-2013
CITY REVIEW	05-20-2013
IDOT APPROVAL	08-19-2013
CITY APPROVAL	08-23-2013
CITY APPROVAL	09-25-2013
IDOT APPROVAL	05-19-2014
IDOT APPROVAL	08-22-2014

REVISIONS

NO.	ITEM	DATE
1		
2		
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SHEET TITLE

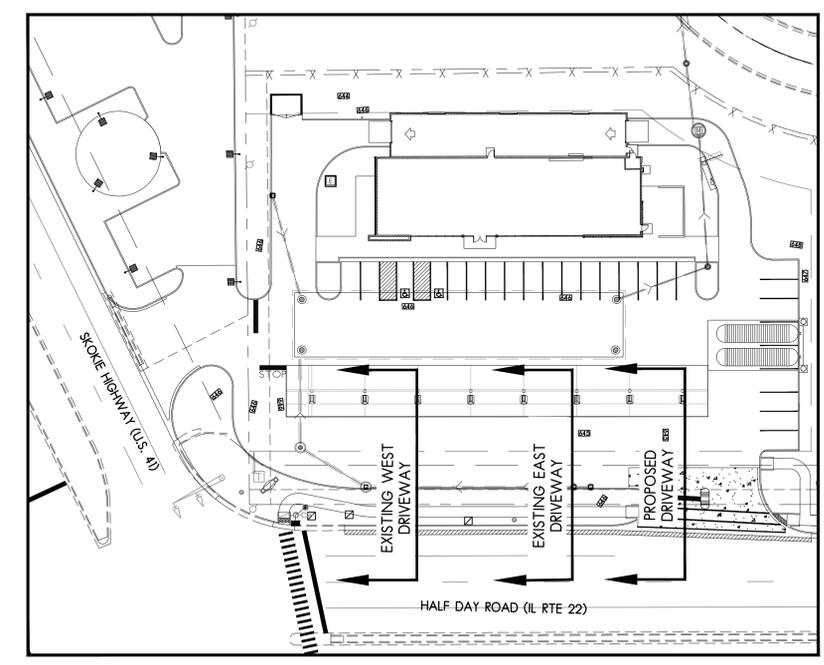
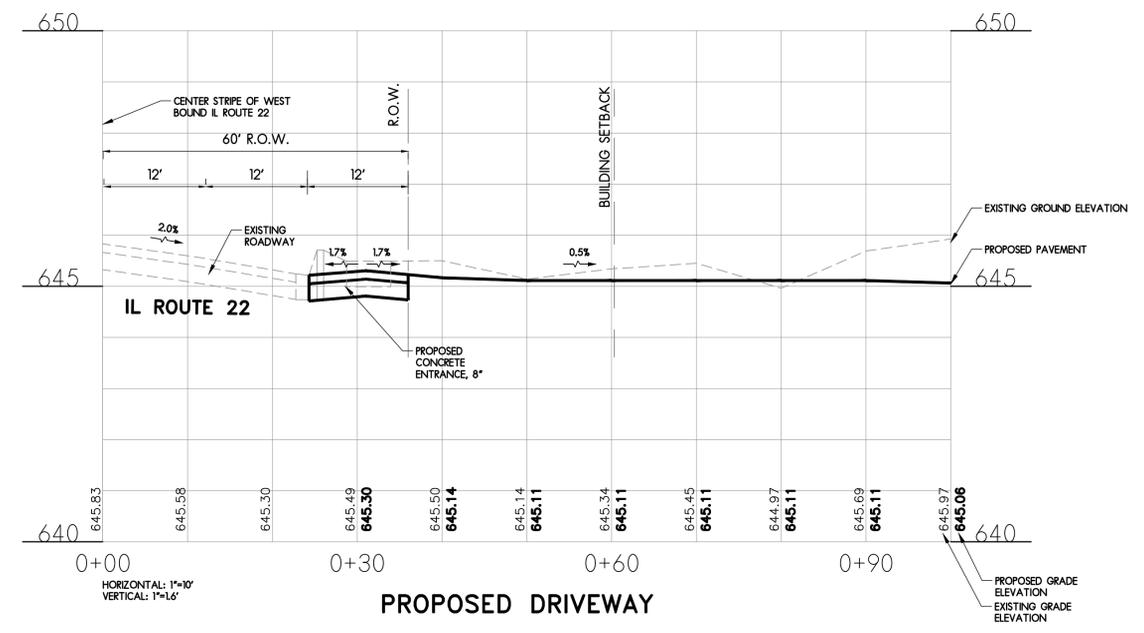
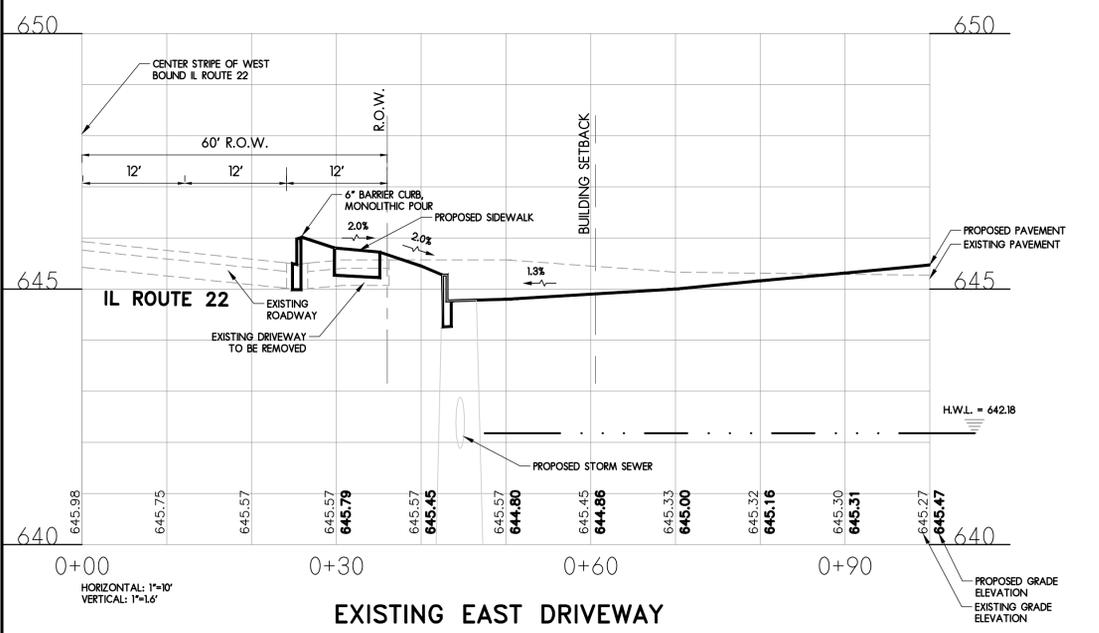
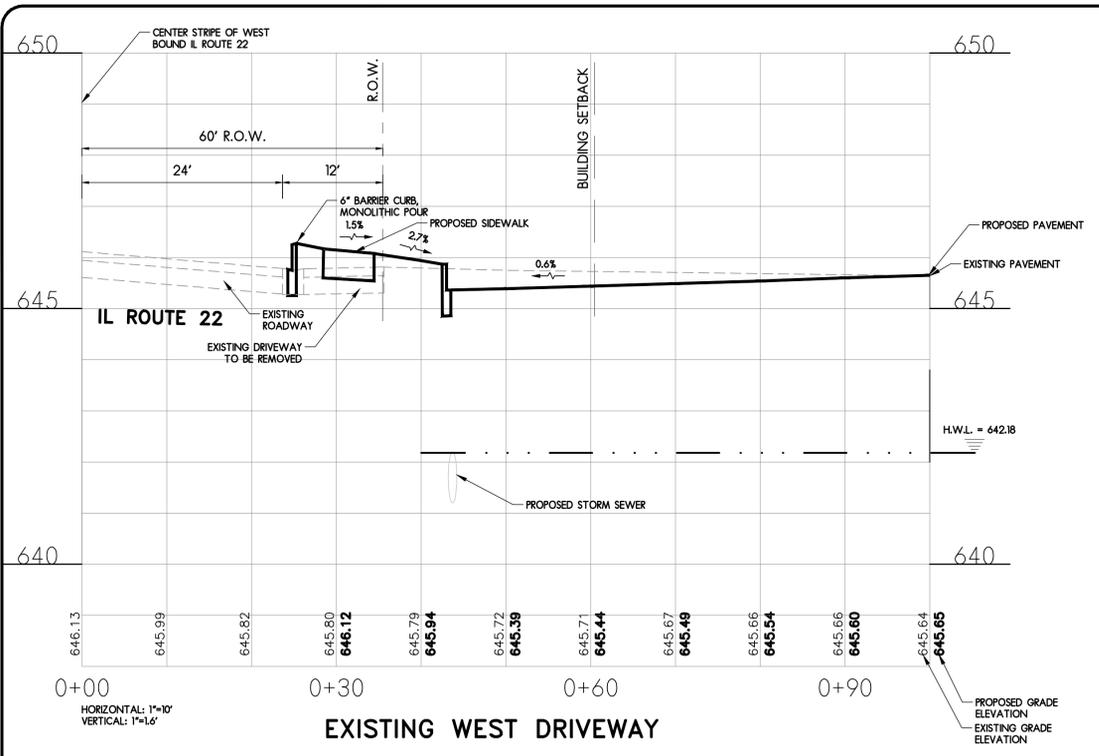
**IDOT PROFILE**

DRAWN -----  
CHECKED -----  
PM PM

PROJECT NUMBER  
SHEET NUMBER

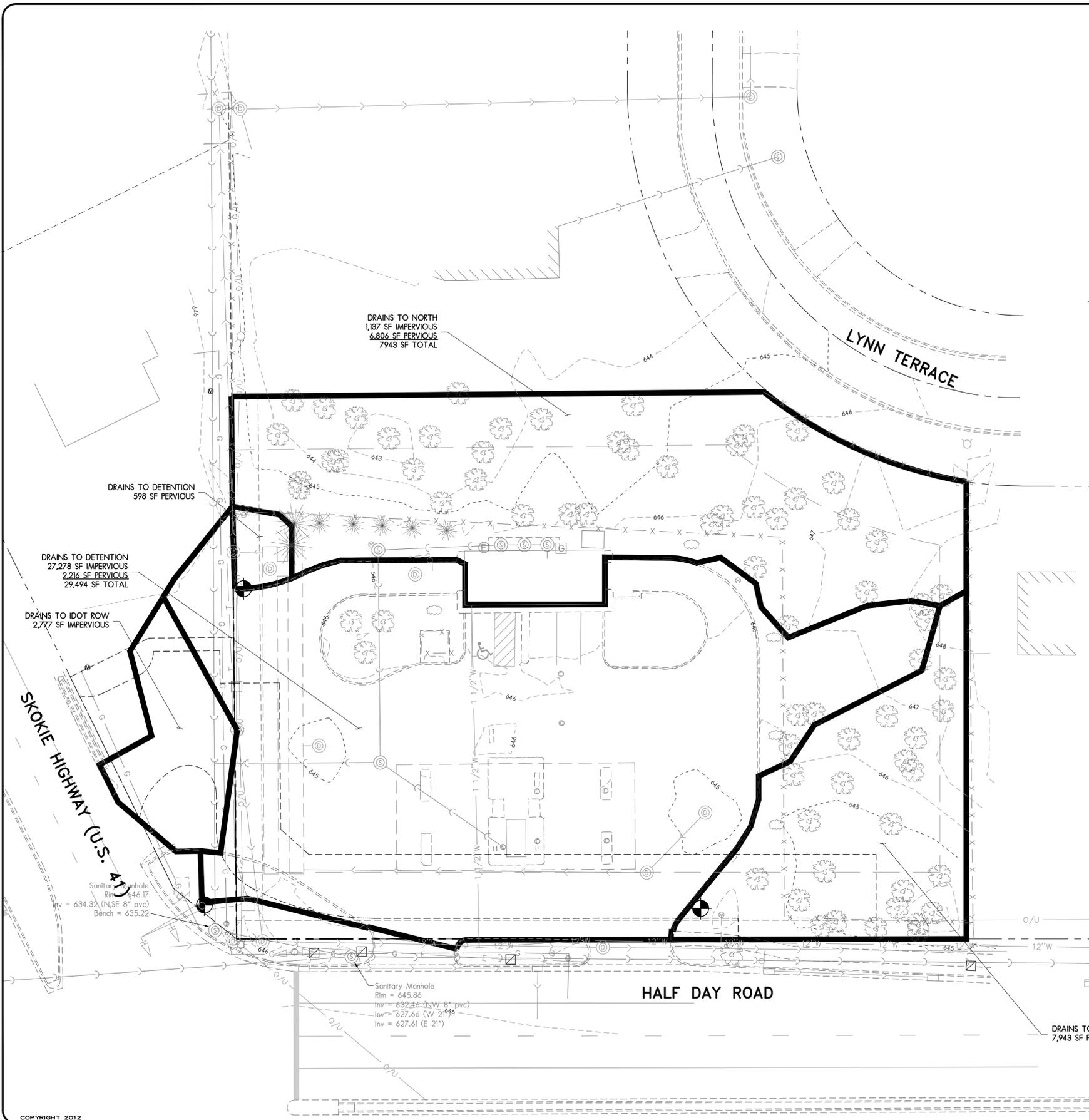
**12013**

**C14**



KEYMAP





**LEGEND**

- EXISTING MANHOLE OR CATCH BASIN
- EXISTING CONTOUR LINE
- EXISTING STORM SEWER
- EXISTING WATERSHED BOUNDARY



**DRAINAGE AREA SUMMARY**

DRAINS TO IDOT RIGHT-OF-WAY

2,777 SF IMPERVIOUS  
 7,943 SF PERVIOUS  
 10,720 SF TOTAL

DRAINS TO DETENTION

27,278 SF IMPERVIOUS  
 2,814 SF PERVIOUS  
 30,092 SF TOTAL

DRAINS TO NORTH

1,137 SF IMPERVIOUS  
 6,806 SF PERVIOUS  
 7,943 SF TOTAL

DRAINS TO NORTH  
 1,137 SF IMPERVIOUS  
 6,806 SF PERVIOUS  
 7,943 SF TOTAL

DRAINS TO DETENTION  
 598 SF PERVIOUS

DRAINS TO DETENTION  
 27,278 SF IMPERVIOUS  
 2,216 SF PERVIOUS  
 29,494 SF TOTAL

DRAINS TO IDOT ROW  
 2,777 SF IMPERVIOUS

DRAINS TO IDOT ROW  
 7,943 SF PERVIOUS

Sanitary Manhole  
 Rim = 646.17  
 Inv = 634.32 (N,SE 8" pvc)  
 Bench = 635.22

Sanitary Manhole  
 Rim = 645.86  
 Inv = 632.86 (NW 8" pvc)  
 Inv = 627.66 (W 21")  
 Inv = 627.61 (E 21")

**ARC DESIGN**  
 RESOURCES INC.

5291 ZENITH PARKWAY  
 LOVES PARK, IL 61111  
 VOICE: (815) 484-4300  
 FAX: (815) 484-4303  
 www.arcdesign.com  
 Design Firm License No. 184-001334

PROJECT NAME  
 OWNER'S NAME

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 HIGHLAND PARK, IL  
 HALF DAY ROAD (IL  
 RTE 22) & SKOKIE  
 HIGHWAY (U.S. 41)

RICHARD MCMAHON  
 5412 REGENTS PARK ROAD  
 ROCKFORD, IL 61107  
 PHONE (402) 718-6724

CONSULTANTS

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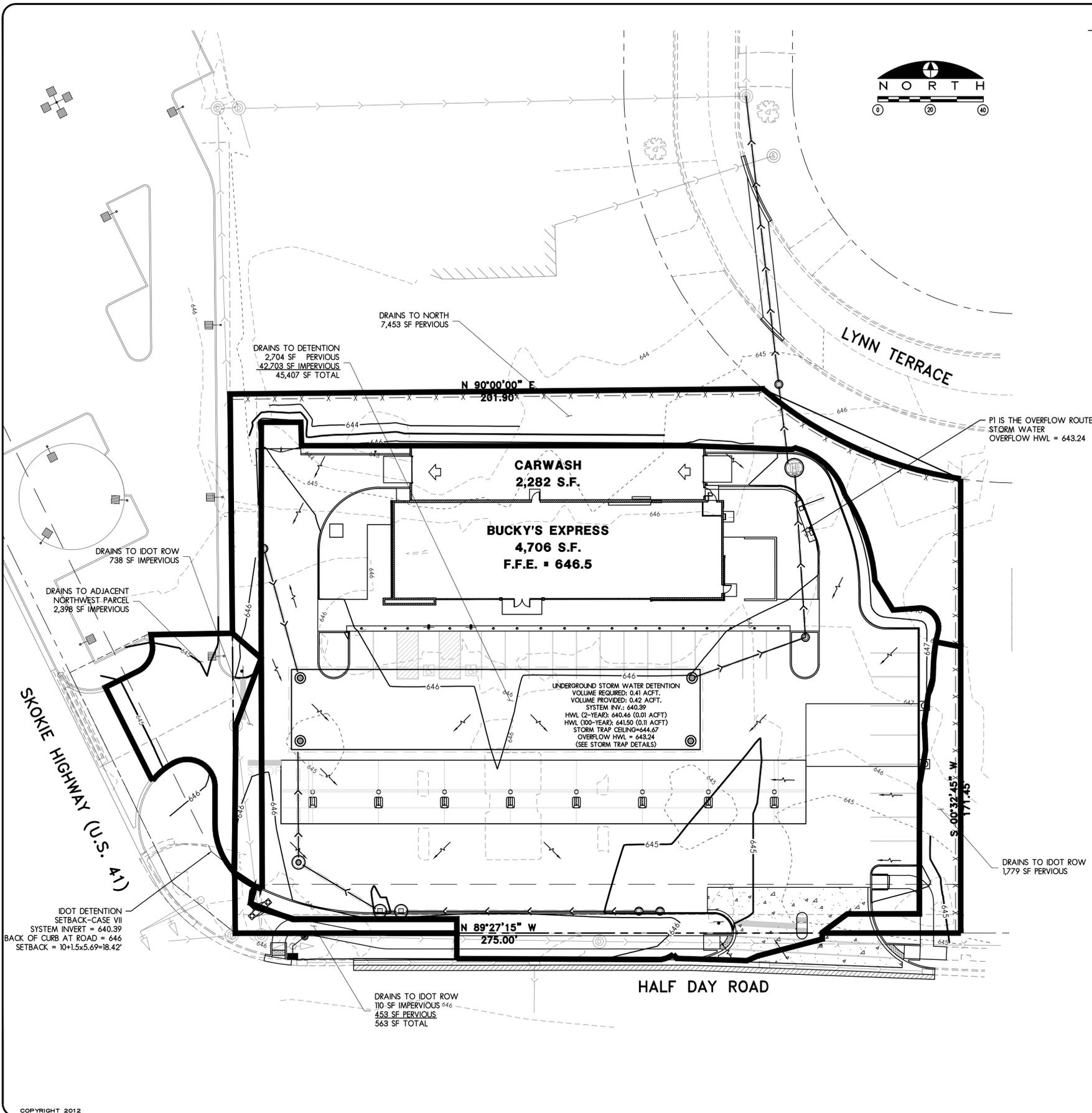
**EXHIBIT-EXISTING GRADING**

DRAWN LND  
 CHECKED RCS  
 PM PM

PROJECT NUMBER  
 SHEET NUMBER

**12013**

**X1**



**LEGEND**

- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCHBASIN, CURB (RIM ELEV. = EDGE OF PAVEMENT ELEV.)
- PROPOSED CATCHBASIN, AREA (RIM ELEV. = TOP OF PAVEMENT ELEV.)
- UNDERGROUND DETENTION
- DIRECTION OF SHEET FLOW
- PROPOSED CONTOUR LINE (800)
- EXISTING CONTOUR LINE (800)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED WATERSHED BOUNDARY

**DRAINAGE AREA SUMMARY**

DRAINS TO IDOT RIGHT-OF-WAY

2,232 SF IMPERVIOUS  
 848 SF PERVIOUS  
 3,080 SF TOTAL

DRAINS TO DETENTION

2,704 SF PERVIOUS  
 42,703 SF IMPERVIOUS  
 45,407 SF TOTAL

DRAINS TO NORTH

7,543 SF PERVIOUS

DRAINS TO NORTHWEST ADJACENT PARCEL

2,398 SF PERVIOUS

**DRAINAGE CHANGES TO IDOT ROW**

EXISTING

2,777 SF IMPERVIOUS  
 7,943 SF PERVIOUS  
 10,720 SF TOTAL

PROPOSED

2,232 SF IMPERVIOUS  
 848 SF PERVIOUS  
 3,080 SF TOTAL

RUNOFF AREA REDUCTION SUMMARY

545 SF IMPERVIOUS RUNOFF REDUCTION  
 7,095 SF PERVIOUS RUNOFF REDUCTION  
 TOTAL RUNOFF REDUCTION AREA OF 7,640 SF

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RESOURCES INC.

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**PROJECT NAME**  
OWNER'S NAME

**BUCKY'S EXPRESS**  
 HIGHLAND PARK, IL  
 HALF DAY ROAD (IL  
 RTE 22) & SKOKIE  
 HIGHWAY (U.S. 41)

RICHARD MCMAHON  
 5412 REGENTS PARK ROAD  
 ROCKFORD, IL 61107  
 PHONE (402) 718-6724

**CONSULTANTS**

**ISSUED FOR**

AGENCY REVIEW	DATE
AGENCY REVIEW	03-21-2013
IDOT REVIEW	05-15-2013
CITY REVIEW	05-20-2013
IDOT APPROVAL	08-19-2013
CITY APPROVAL	08-23-2013
CITY APPROVAL	09-25-2013
IDOT APPROVAL	05-13-2014
IDOT APPROVAL	08-22-2014

**REVISIONS**

NO.	ITEM	DATE
1		
2		
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**SHEET TITLE**

**EXHIBIT-  
PROPOSED  
GRADING**

<b>DRAWN</b>	LND
<b>CHECKED</b>	RCS
<b>PM</b>	PM

**PROJECT NUMBER**  
SHEET NUMBER

**12013**

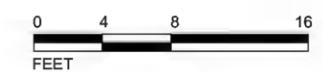
**X2**





**BUCKY'S**  
Highland Park - Revised  
FRONT ELEVATION

$\frac{3}{32}'' = 1'-0''$  02.07.2013





**BUCKY'S**  
Highland Park - Revised  
SIDE ELEVATIONS

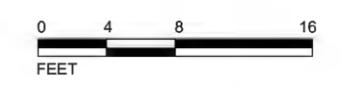
$\frac{3}{32}$ " = 1'-0"      02.07.2013





**BUCKY'S**  
Highland Park - Revised  
BACK ELEVATION

$\frac{3}{32}'' = 1'-0''$  02.07.2013



- DESIGN TYPE
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
  - SINGLE POLE SIGN
  - MONUMENT SIGN
  - DIRECTIONAL
  - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
  - REMODELING
  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
  - CORPORATE CHANGES
  - AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

--	--	--

**NOTICE:**  
 ALL GRAPHIC REPRODUCTIONS ARE SUBJECT BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

**Omaha Neon Sign Co., Inc.**  
 1120 N 18th Street • Omaha 68102 • 402.341.6077 • 402.341.7654 fax  
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Half Day Road & Skokie Highway - Highland Park, IL

DRAWING #: 75380  
 PROJECT I.D.:

SALES DEPT: Troy Panagiotis

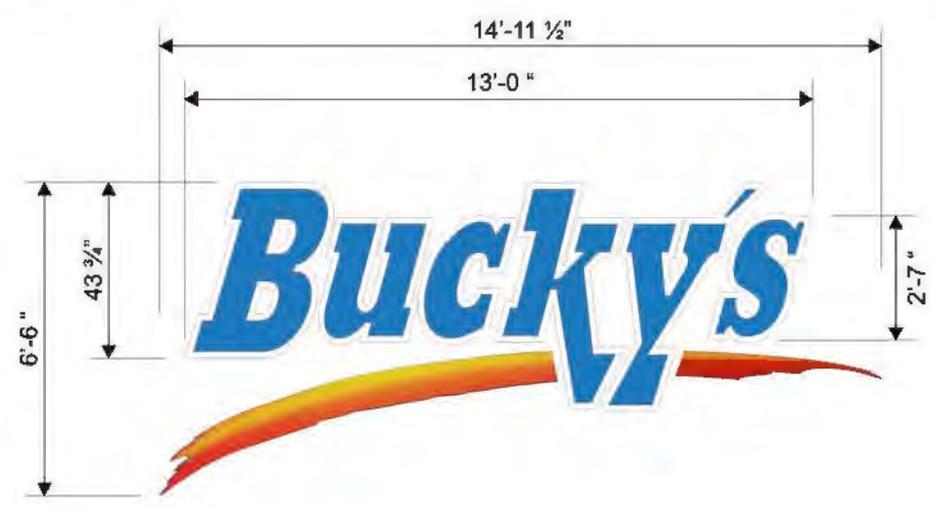
DRAWN BY: Sean Cornett

Date: 08.30.12

INSPECTED BY:

Revised:

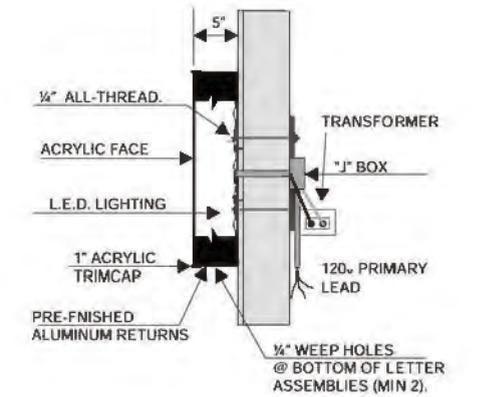
SCALE: 1/4" = 1'-0"



**FLUSH MOUNTED CHANNEL LETTERS:**

FABRICATED FROM .050 BLK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE .1875 WHITE ACRYLIC WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). FACES ARE TO HAVE 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF LETTERS/SWOOSH). INTERNAL ILLUMINATION WITH WHITE LED'S.

LETTERS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS NON-CORROSIVE).



**FRONT ELEVATION**



SCALE: 1/2" = 1'-0"

- DESIGN TYPE**
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
  - SINGLE POLE SIGN
  - MONUMENT SIGN
  - DIRECTIONAL
  - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE**
- NEW CONSTRUCTION
  - REMODELING
  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
  - CORPORATE CHANGES
  - AMENDMENTS TO EXCISING SIGNAGE

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--	--	--

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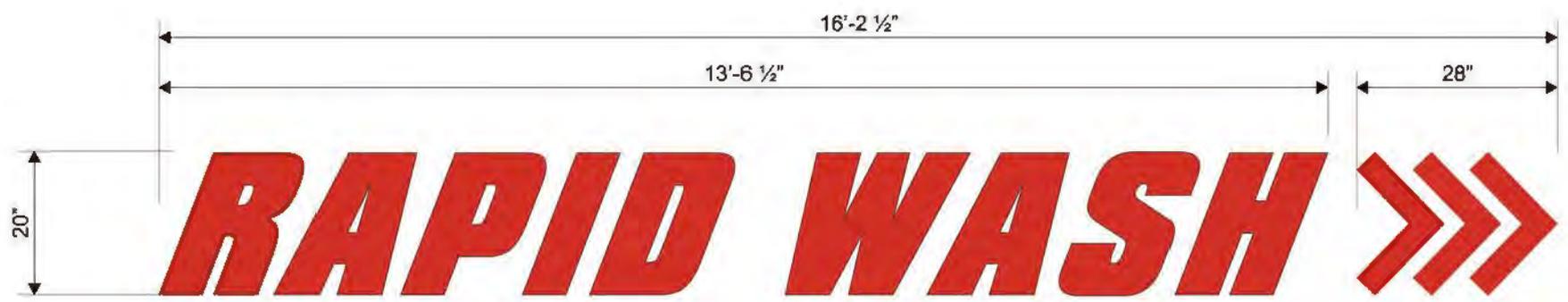
Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

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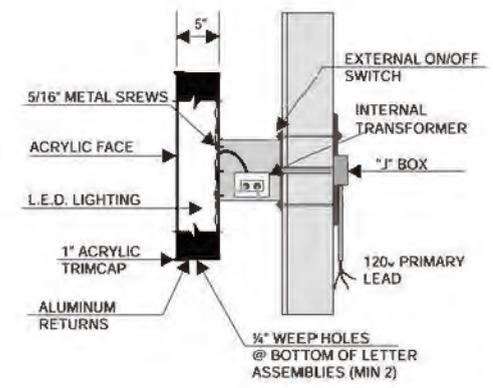
Half Day Road & Skokie Highway - Highland Park, IL

DRAWING #: 75381  
 PROJECT I.D.:  
 SALES DEPT: Troy Panagiotis  
 DRAWN BY: Sean Corbett  
 Date: 08.30.12  
 INSPECTED BY:  
 Revised:



**RACEWAY MOUNTED CHANNEL LETTERS:**

FABRICATED FROM BLACK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE 3/16" RED PLEXIGLAS #2793 WITH 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF FACES. INTERNAL ILLUMINATION WITH RED LED'S. LETTERS ARE MOUNTED TO AN EXTRUDED ALUMINUM RACEWAY (PAINTED TO MATCH FASCIA). SIGNAGE IS TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).



**FRONT ELEVATION**



- DESIGN TYPE
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
  - SINGLE POLE SIGN
  - MONUMENT SIGN
  - DIRECTIONAL
  - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
  - REMODELING
  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
  - CORPORATE CHANGES
  - AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

--	--	--

**NOTICE:**  
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Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

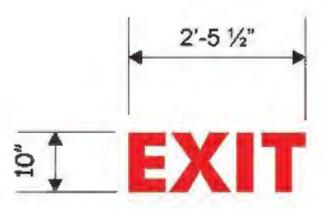
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Half Day Road & Skokie Highway - Highland Park, IL

DRAWING #: 75383  
 PROJECT I.D.:  
 SALES DEPT: Troy Panagiotis  
 DRAWN BY: Sean Cornett  
 Date: 08.30.12  
 INSPECTED BY:  
 Revised:

SCALE: 3/8" = 1'-0"

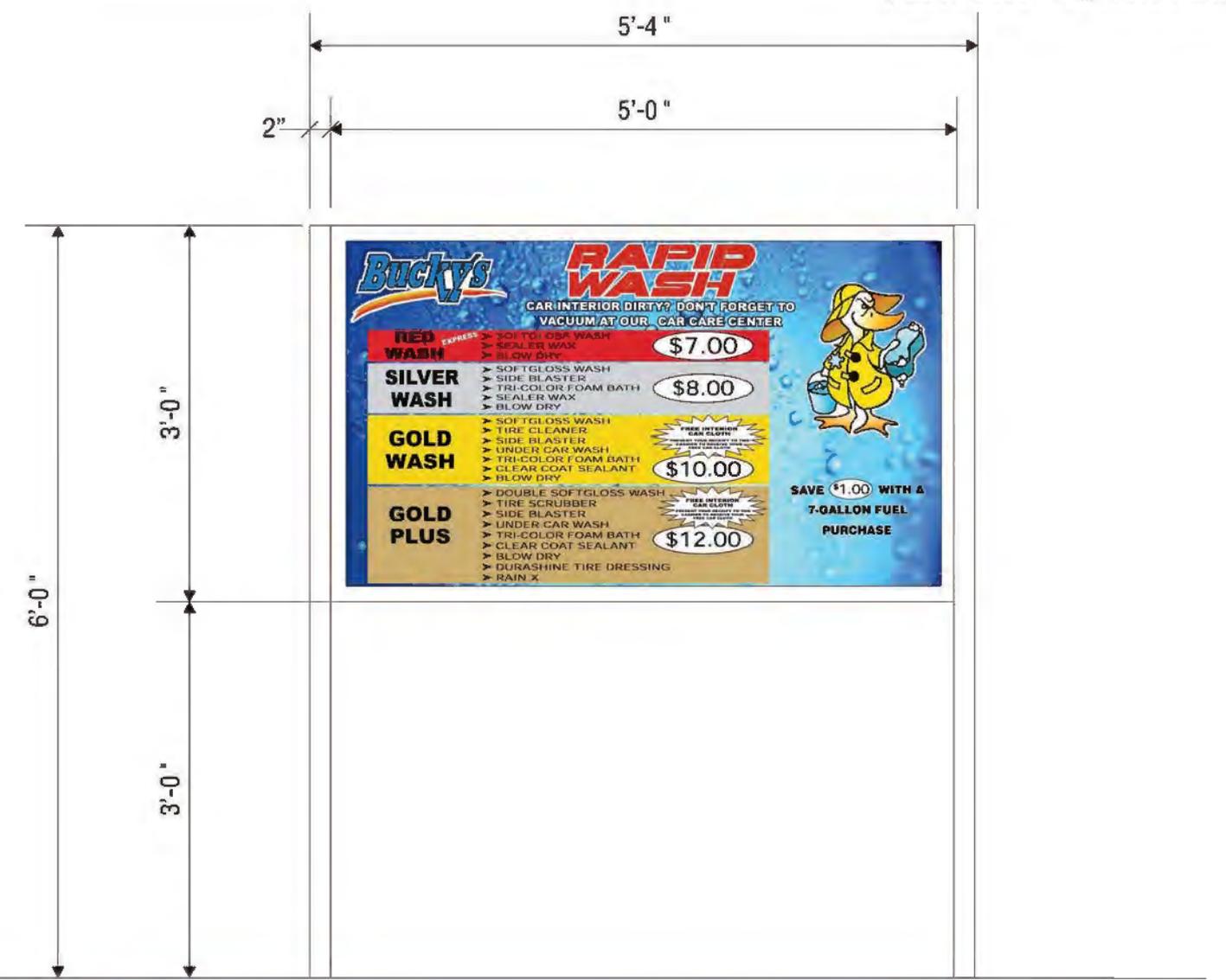


**FABRICATE AND INSTALL (2) TWO NON-ILLUMINATED WALL DISPLAYS**

**INSTALL NON-ILLUMINATED PLASTIC GEMINI LETTERS STUD MOUNTED TO BUILDING FASCIA. LETTER STYLE FUTURA BOLD. PAINTED RED.**



Station #430 - Highland Park, IL



- DESIGN TYPE
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
  - SINGLE POLE SIGN
  - MONUMENT SIGN
  - DIRECTIONAL
  - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
  - REMODELING
  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
  - CORPORATE CHANGES
  - AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

--	--	--

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Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

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Half Day Road & Skokie Highway - Highland Park, IL

DRAWING #: 75382  
 PROJECT I.D.:  
 SALES DEPT: Troy Panagiotis  
 DRAWN BY: Sean Cornett  
 Date: 08.30.12  
 INSPECTED BY:  
 Revised:

SCALE: 1/4" = 1'-0"

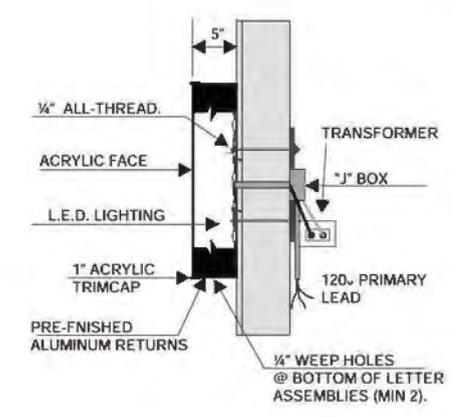


**FLUSH MOUNTED CHANNEL LETTERS:**

FABRICATED FROM .050 BLK PRE-FINISHED ALUMINUM RETURNS ATTACHED TO .063 ALUMINUM BACKS. FACES ARE TO BE .1875 WHITE ACRYLIC WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). FACES ARE TO HAVE 1" BLACK TRIM-CAP ADHERED TO PERIMETER OF LETTERS/SWOOSH). INTERNAL ILLUMINATION WITH WHITE LED's.

LETTERS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS NON-CORROSIVE).

Station #430 - Highland Park, IL



SCALE: 1/4" = 1'-0"

- DESIGN TYPE
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
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- PROJECT TYPE
- NEW CONSTRUCTION
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  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.


**NOTICE:**  
ALL GRAPHIC REPRODUCTIONS ARE SUBJECT BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

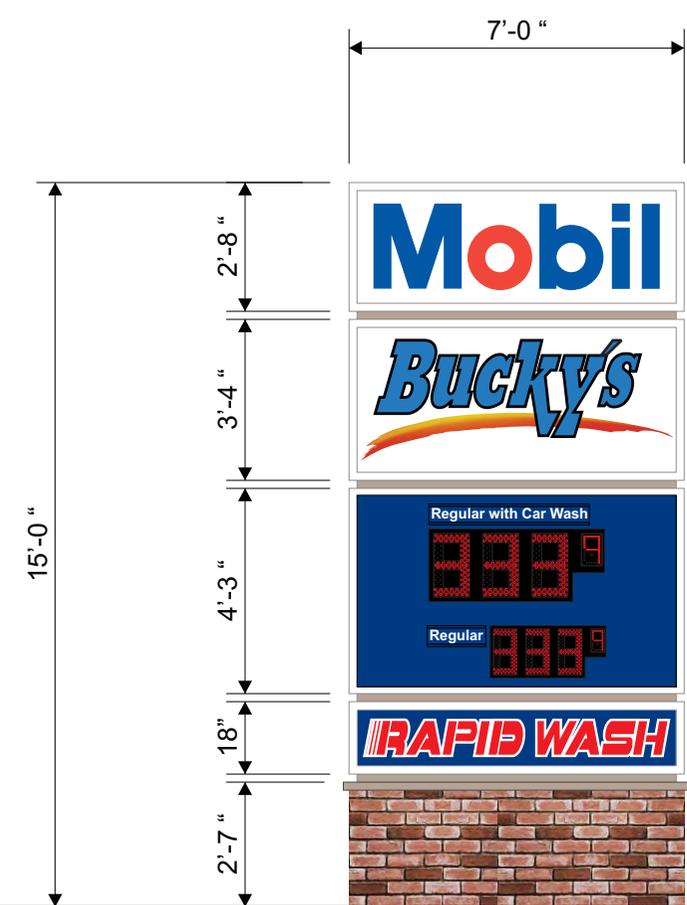
Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

**Omaha Neon Sign Co., Inc.**  
1120 N 18th Street - Omaha 68102 • 402.341.6077 • 402.341.7654 fax  
This design and all material appearing hereon constitute the original unpublished work of Omaha Neon Sign Co., Inc. and may not be duplicated, used or disclosed without written consent.



Half Day Road & Skokie Highway - Highland Park, IL

DRAWING #: 75384  
PROJECT I.D.:  
SALES DEPT: Troy Panagiotis  
DRAWN BY: Sean Cornett  
Date: 08.30.12  
INSPECTED BY:  
Revised:



**D/F MONUMENT SIGN DISPLAY:**  
CABINET FABRICATED FROM WHITE PRE-FINISHED ALUMINUM OVER AN INTERNAL ANGLE IRON FRAME. FACES ARE AS NOTED. INTERNAL ILLUM. WITH CW/HO FLUORESCENT LAMPS. SIGN IS TO BE INSTALLED BY OTHERS.

**FUEL TYPES:**

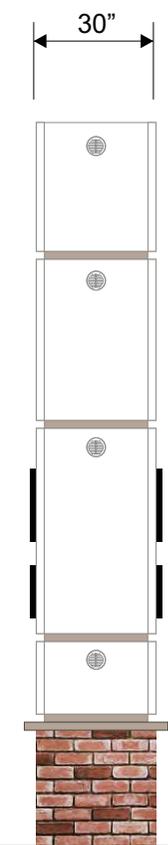
**Regular with Car Wash**

CLEAR ACRYLIC PANEL WITH BLUE VINYL OVERLAY, COPY REVERSE CUT FROM BACKGROUND. ZIP TRACK TO HOUSE PANEL(S). GREEN VINYL AS NOTED FOR DIESEL PANEL(S).

**VINYL COLORS:**

- ARLON BLUE: 2257
- 3M RED: 3630-33

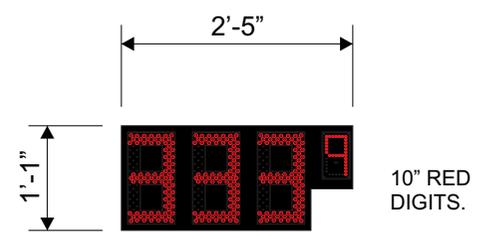
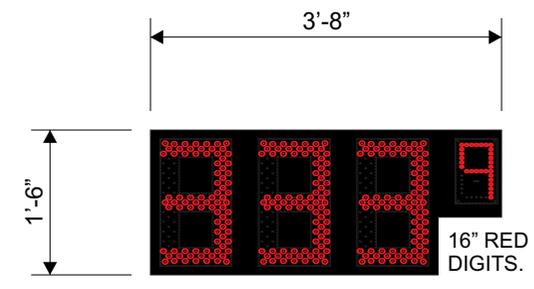
WIDE FORMAT PRINTED VINYL GRAPHICS APPLIED TO THE FIRST SURFACE.



**SIGN A.**

STONE BASE IS TO BE BY OTHERS.  
**NOTE:** STONE TO MATCH BUILDING.

- DELFT BLUE: 230-97.
- PRINTED GRAPHICS.



- DESIGN TYPE
- INTERIOR
  - EXTERIOR
  - NEON DISPLAYS
  - CHANNEL LETTERS
  - NON-ILLUM SIGNAGE
  - REV. CHANNEL LETTERS
  - DUEL POLE SIGN
  - SINGLE POLE SIGN
  - MONUMENT SIGN
  - DIRECTIONAL
  - CHANGEABLE READER BOARD/ ELE. DISPLAYS

- PROJECT TYPE
- NEW CONSTRUCTION
  - REMODELING
  - TENANT CHANGES
  - LANDLORD IMPROVEMENTS
  - CORPORATE CHANGES
  - AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.


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Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

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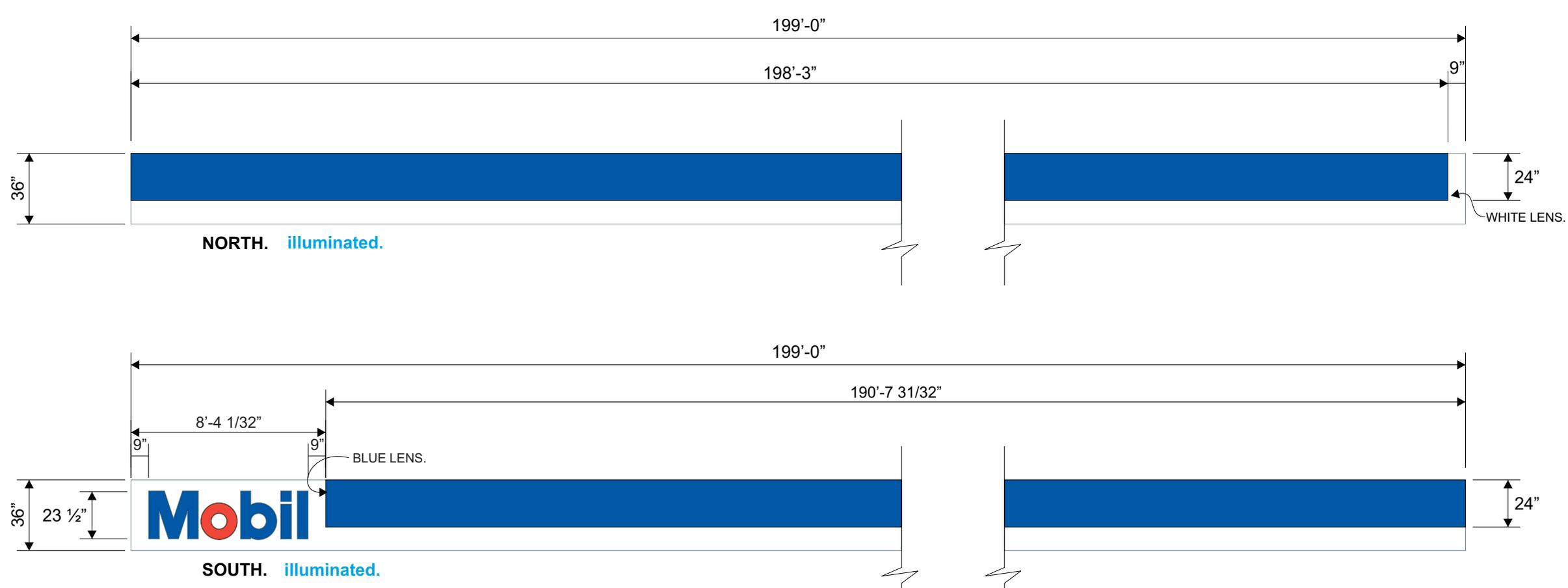
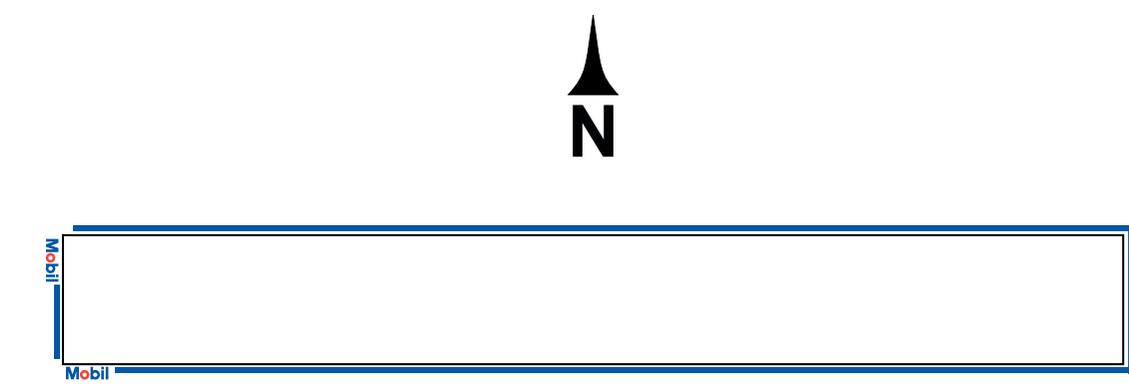
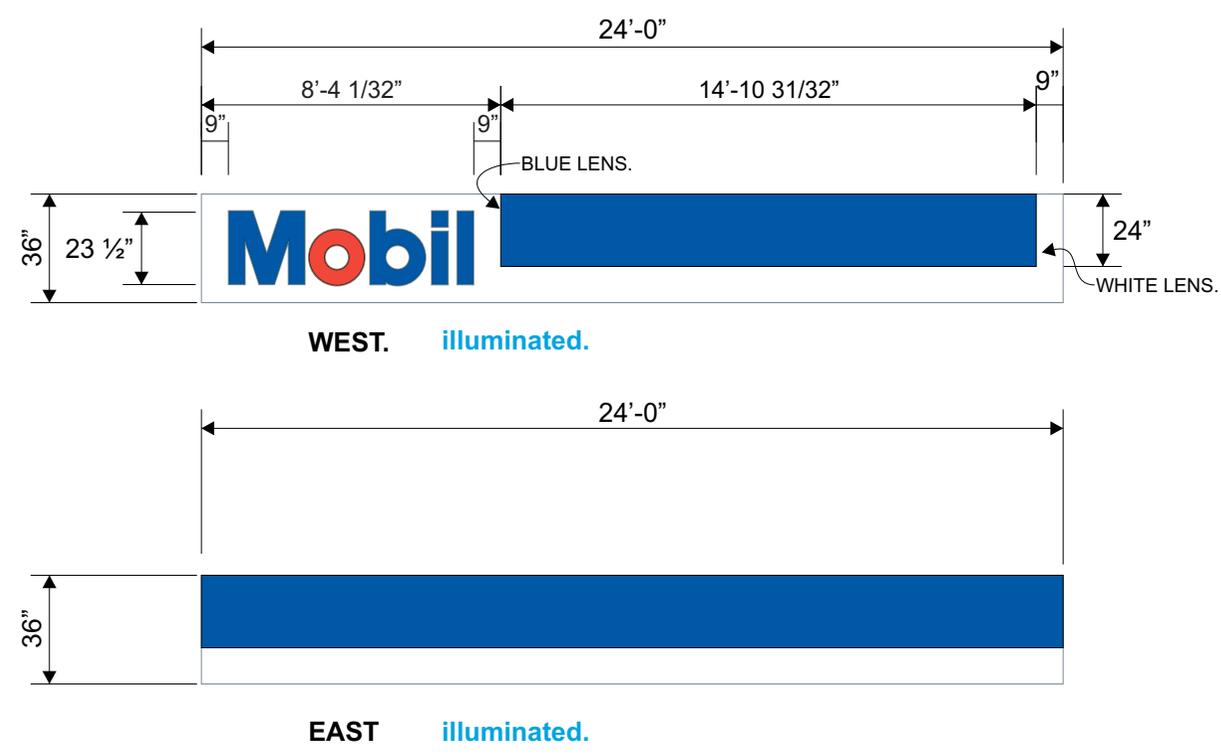


Half Day Road & Skokie Highway - Highland Park, IL

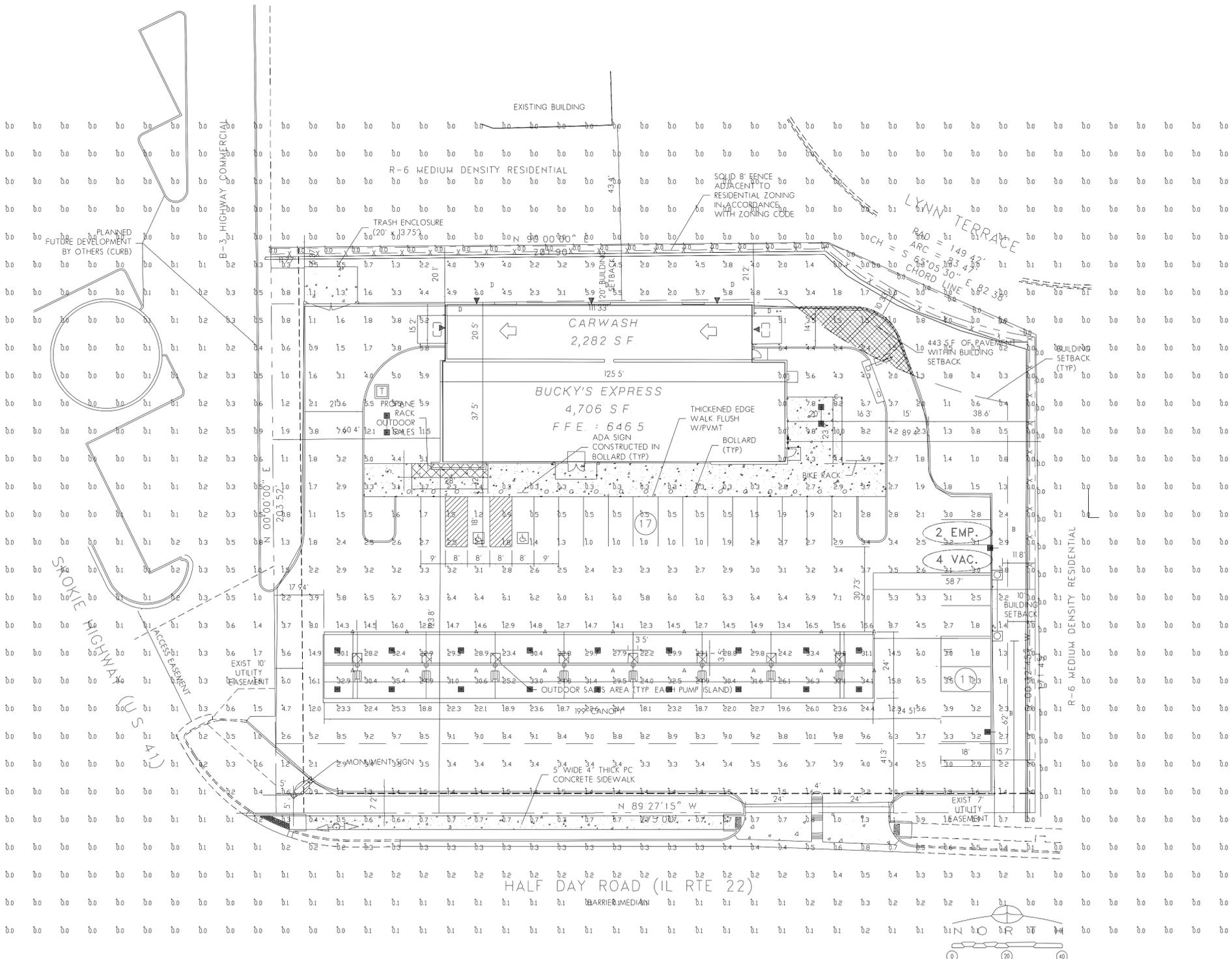
DRAWING #: 75385  
 PROJECT I.D.:  
 SALES DEPT: Troy Panagiotis  
 DRAWN BY: Sean Cornett  
 Date: 08.30.12  
 INSPECTED BY:  
 Revised:

SCALE: 3/16" = 1'-0"

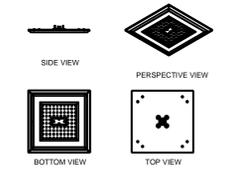
Station #430 - Highland Park, IL



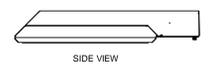
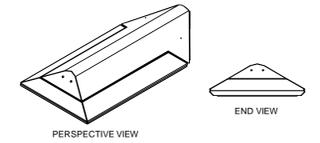




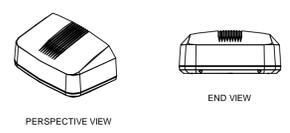
**CRS-SC-LED-84**  
LED Crossover Gold Symmetric Canopy Light



**XAM**  
LED Crossover Area Light



**XPWS3**  
LED Crossover Wall Mount Light



Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	18	A	SINGLE	CRS-SC-LED-84-HD-CW-UE	1.000	N.A.	14570	147
	2	B	SINGLE	XAM3-FT-LED-119-450-CW-UE-HSS13-SINLGE-20' POLE +	1.000	N.A.	8093	184
	2	C	D180	XAM3-FT-LED-119-450-CW-UE-D180-20'POLE+2' BASE	1.000	N.A.	24686	368
	5	D	SINGLE	XPWS3-FT-LED-48-450-CW-UE	1.000	N.A.	4813	67.7

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC PDINTS	Illuminance	Fc	2.54	36.3	0.0	N.A.	N.A.
RESIDENTIAL PL READINGS	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	28.99	36.3	22.2	1.31	1.64
INTERIOR LOT	Illuminance	Fc	8.18	36.3	0.0	N.A.	N.A.

Footcandle levels taken at grade

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts  
Total Watts = 4088.5

**lei INDUSTRIES™**  
2000 ALLIANCE BL. CHICAGO, ILL. 60641 USA  
TEL: 773-208-1100 • FAX: 773-208-0023

LIGHTING PROPOSAL FOR  
BUCKY'S  
HALF DAY ROAD  
HIGHLAND PARK, IL

SCALE: 1"=20'  
DATE: 11/30/12  
BY: AHK

LD-111320-5  
SHEET 1 OF 1