

PUBLIC NOTICE

In accordance with the statutes of the State of Illinois and the ordinances of the City of Highland Park, a *Regular Meeting* of the ***Historic Preservation Commission*** of the City of Highland Park is scheduled to be held at the hour of 7:30 p.m., Thursday, June 9, 2011, at Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which meeting there will be a discussion of the following:

City of Highland Park
Historic Preservation Commission
Thursday, June 9, 2011
1707 St. Johns Avenue, City Hall
7:30 p.m.

REGULAR MEETING AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Minutes**
 - A. May 12, 2011
- IV. **Scheduled Business**
 - A. Demolition Application
 1. 115 South Deere Park Drive (Continued from 5.16.11)
 - B. Request to Remove Local Landmark Designation
 1. 434 Marshman Road
 - C. Certificate of Appropriateness
 1. 147 Central Avenue
 2. 441 Cedar Avenue
- V. **Discussion Items**
 - A. 1894 Lake Avenue
- VI. **Other Business**
 - A. Next meeting scheduled for July 14, 2011
- VII. **Adjournment**

**City of Highland Park
Historic Preservation Commission
Minutes of May 12, 2011
7:30 p.m.**

I. Call to Order

Chairwoman Sogin called to order the Regular Meeting of the Historic Preservation Commission at 7:30 p.m. in the City Hall Pre-Session Room at 1707 St. Johns Avenue, Highland Park, IL.

II. Roll Call

Members Present: Sogin, Bramson, Curran, Fradin, Temkin, Rotholz

Members Absent:

Ex-officio Members Absent: Axelrod

City Staff Present: Cross, Sloan

Others Present: Susan Duman, David Meeks, Andrew Kassof, Cal Bernstein (1346 Waverly Place), Gerard Brown, Sabrina Brown, John Brown, Gary Brown, Marsha Bernstein, Wilma Korn (434 Marshman), Nathan Walters, Jean Nathan Ganchet (115 S. Deere Park Drive), Matt Pollack (521 Clavey Road)

III. Scheduled Business

A. Approval of Minutes

Chairwoman Sogin asked for approval of the minutes of the April 14th and April 27th, 2011 HPC Meetings. Commissioner Temkin made a motion to approve both sets of minutes as submitted, with one correction for the year of Mr. Louis Duman's on Page 2. Commissioner Fradin seconded the motion. The motion was approved by a unanimous vote (6-0)

B. Demolition Application – 521 Clavey Road

Chairwoman Sogin changed to order of the agenda to address this demolition application first. Staff presented a summary of the research available for this property. The architect of the original 1954 house was Edward P. Stein and the house does not appear in any of the City's Historical and Architectural Surveys. The Ranch-style house was owner designed and built. There are no records that Mr. Stein designed any other houses in the City, and no records indicating he belonged to any professional architectural organizations.

- Commissioner Fradin made a motion finding that the house does not meet any of the Landmark Criteria in Chapter 24.
- Second: Commissioner Rotholz
- Vote: 6-0 Motion passes

C. Demolition Application – 1346 Waverly Road ~ continued ~

Chairwoman Sogin summarized the application history and indicated the Commission would be tasked with discussing the importance of the architect, as well as the importance of Samuel Hastings from the perspective of the Landmark Criteria in Chapter 24.

The Commission discussed landmark criteria 5 and 6, debating whether the house was identifiable as the work of George Maher. While a small portion of Maher's original design was visible, the house had clearly undergone major renovations in the past.

Chairwoman Sogin encouraged the Commission to discuss whether or not Samuel Hastings' having lived in the house was grounds for satisfying Landmark Standard #3.

- Commissioner Temkin moves that Landmark Standard #3 is satisfied because of the structure's association with Samuel Hastings.
- Second: Commissioner Curran
- Vote: 6-0 Motion passes

Chairwoman Sogin initiated a discussion about Landmark Standard #5 and whether the structure was identifiable as the work of George Maher. Commissioner Fradin indicated that since there are elements on the house that can be visually identified as indicative of George Maher's work, Landmark Standard #5 is satisfied.

- Commissioner Fradin moves that Landmark Standards #3 and #5 are satisfied by the structure at 1346 Waverly Road, which initiates a 6-month demolition delay.
- Second: Commissioner Curran
- Vote: 6-0 Motion passes

Chairwoman Sogin briefly discussed the possibility of truncating the delay period, but no motion was made to truncate or terminate the demolition delay of six months.

D. Demolition Application – 115 South Deere Park Drive

Staff presented research on the property and the history of the application. The current owners, Nathan Walters and Jean Walters Ganchett, were present to answer questions. Mr. Walters described the deterioration the house had suffered. Commissioner Temkin indicated that the Commission had seen worse conditions in historic properties that were able to be restored adequately enough to preserve the house.

Mr. Walters indicated that no efforts had been made to sell the house at that point, and the demolition application was being sought to present potential buyers with the option of demolishing the house if they desired.

Chairwoman Sogin initiated a discussion about the applicable Landmark Criteria, stating that 3,4, and 5 may be applicable to this house. Number 4 may apply because of the Ranch style, #5 because it was designed by James Eppenstein, and #6 because of the Ranch style. There was consensus that four and five were satisfied. There was debate about #6 and whether the house embodied design elements, materials, and details of James Eppenstein. Chairwoman Sogin requested that staff provide addition research to help answer that question.

Walter Nathan gave staff and the Commission to traverse the subject property to gather additional information.

- Commissioner Curran made a motion to postpone consideration of the demolition application for 115 South Deere Park Drive pending additional research.
- Second: Commissioner Fradin
- Vote: 6-0 Motion passes

E. Request to Remove Landmark Designation – 434 Marshman

Staff presented the petition and the history of the landmarked Bungalow-style house at 434 Marshman. Gary Brown presented the request from the perspective of the property owners, Gerard and Sabrina Brown. Commissioner Curran asked if Mr. Brown was aware of the landmark designation on 434 Marshman when he purchased the property. Mr. Brown answered that he was aware of it. Commissioner Fradin asked staff if Economic Hardship was identified in the Code as grounds for the removal of a landmark designation. Staff answered that it was not.

Marsha Bernstein, neighbor of the petitioners, indicated that larger houses had been built on adjacent lots that were out of scale with the subject property. Wilma Korn, a real estate agent, stated that the 1992 landmark documentation did not provide sufficient historical information to justify the landmark. Chairwoman Sogin indicated that the HPC would not reinvestigate, or “second-guess” the 1992 landmark designation. The process for handling the request would follow the language provided in the Chapter 24.

The Commission discussed Section 24.025(K), which outlines the process for the removal of a landmark designation. The Code was unclear about what motion should be made or how the findings should be presented in order for the petition to be processed. Staff was asked to request clarification from Corporation Counsel as to how Section 24.025(K) should be properly executed.

- Commissioner Temkin made a motion to postpone consideration of the petition to remove the landmark designation for 434 Marshman Road
- Second: Commissioner Bramson
- Vote: 6-0 Motion passes

IV. Other Business

Commissioner Curran indicated that attorneys have been approaching the Commission in an inappropriate manner. The thought was echoed by other Commissioners.

Commissioners Fradin, Rotholz, and Bramson left at 10:08 pm.

V. Adjournment

Chairwoman Sogin adjourned the meeting at 10:20 pm.

MEMORANDUM

Date: June 9, 2011
To: Historic Preservation Commission
From: Andy Cross, Planner II
Subject: Proposed Demolition of 115 South Deere Park Drive

<i>Address:</i>	115 South Deere Park Drive
<i>Built:</i>	1952
<i>Style:</i>	Ranch
<i>Structure:</i>	Single Family Residence
<i>Architect:</i>	James Eppenstein
<i>Historic Name:</i>	Lionel Nathan House
<i>Original Cost:</i>	N/A
<i>Alterations:</i>	<ul style="list-style-type: none">• No major alterations
<i>Staff Recommendation:</i>	Staff recommends that the Commission discuss the structure at 115 South Deere Park Drive and how it may satisfy any of the landmark criteria listed below.



Previous Consideration

The Commission discussed this demolition at the previous meeting on May 12, 2011. The Commission agreed that the structure satisfied Landmark Criteria 4 and 5, but could not determine if Criterion 6 was applicable. Final consideration was postponed pending further research into the property to determine if it ‘embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.’

Detailed photographs from a recent site visit to the house illustrate the architectural details more clearly. Characteristics of the International Style became more evident, as well as the uniqueness of the open-air courtyard facing South Deere Park Drive. The photographs have been included in the attachments to this memo.

As before, the Commission is asked to discuss the demolition application for 115 South Deere Park Drive and how it may meet the Landmark Criteria in Chapter 24, "Historic Preservation."

If the Commission finds that Landmark Criterion #6 is satisfied, then a motion may be made finding that the structure at 115 South Deere Park Drive satisfies Landmark Criteria 4, 5, & 6, and imposing a 365-day demolition delay on the property.

Attachments

Detailed Photographs of 115 South Deere Park Drive

Below is the staff memo for 115 South Deere Park Drive as presented on May 12, 2011

A demolition application has been submitted for the house located at 115 South Deere Park Lane. Known as the Lionel Nathan House, it was built in 1952 and represents an unaltered example of the mid-century Ranch Style. The house has a "S – Significant" rating in the Architectural Survey and was designed by James Eppenstein. There are no records of any alterations or work on the property for the last 60 years, indicating that the house is unchanged from the original design. Photographs of the house are included in the attachments to this memo. The petitioner has indicated that the house requires significant restoration on the interior and will present documentation.

As the graphic above illustrates, the house sits on a double lot. Each lot is over 20,000 square feet, which exceeds the lot size minimum of 12,000 square feet for a buildable lot in the R5 Single-Family zoning district where the South Deere Park Drive neighborhood is located. This means that each lot can be developed separately without requiring any zoning relief.

James F. Eppenstein

Eppenstein was a Chicago-area architect who lived from 1897 to 1955 and is associated with Modernist and International architectural styles. According to information in the 2004 Braeside Area Architectural Resources survey by Granacki Historic Consultants, Eppenstein studied architecture at Harvard University and the Ecole des Beaux Arts. He also studied furniture design in Berlin at the Hochschule für Frei und Angewandte Kunst before returning to Chicago in 1932. Eppenstein has at least ten patents in his name for different types of furniture, including an early hide-a-bed and a unique ashtray.

While none of Eppenstein's work in Highland Park has been landmarked, there are several well-known structures that he designed. 401 Woodland Road is an International style house that was featured in a 1936 issue of Architectural Forum. 214 Cedar, also in the International Style, was built in 1941/42 and has a "Significant" historical status. Importantly, 115 South Deere Park Drive also has a "Significant" status.

In Highland Park’s Architectural Surveys, James Eppenstein is credited with the design of 7 single-family houses in a variety of architectural styles:

Address	Style	Year Built	Condition	Status
1446 Waverly Road	Ranch	1954	good	NC
401 Woodland Road	International	1935	good	C
90 Lakewood Place	Contemporary	1940	Demolished 2010	
115 South Deere Park Drive	Ranch	1952	good	Significant
194 Cedar	French Eclectic	1941	Demolished 1999	
214 Cedar	International	1941	Demolished 1998	
345 Cedar	French Eclectic	1936	good	C

Overall, the stock of Eppenstein houses is in good condition. Only one house, 90 Lakewood Place, has been demolished. The house had undergone two additions that were unsympathetic to the original design, so the Commission approved it for demolition in March, 2010.

The historic name of 115 South Deere Park Drive is the “Lionel Nathan House”. Mr. Nathan passed away recently at the age of 96. According to his obituary, he was the co-founder and president of the Chicago Industrial Supply Company. He was also a longtime board member of the Michael Reese Hospital (now closed) and the Anti-Defamation League.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.

- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.









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MEMORANDUM

Date: June 9, 2011

To: Historic Preservation Commission

From: Andy Cross, Planner II

Subject: **Removal of Landmark Designation for 434 Marshman Street**

The house at 434 Marshman Street was designated as a local landmark in 1992. The current owner of the property, Mr. Gerard Brown, is petitioning the Historic Preservation Commission to remove the landmark status.

Previous Consideration

The Commission discussed this request at the meeting on May 12, 2011. Following the discussion, the HPC requested clarification from City Staff on the required content of a motion to act on the applicant's request as required by Section 24.025(K)(2)¹. The City Code provides a process for removing a landmark designation which is the identical process for designation of a Landmark: Notice, Public Hearing, and Commission Recommendation (finding of fact) to the City Council.

Staff consulted Corporation Counsel and received advice on how to prepare its motion on the request to remove the Landmark designation. The standard for removing a local landmark designation is that "the reasons for which the landmark designation was once appropriate are no longer present." In the form of a Resolution, the HPC will forward its findings of fact and recommendations to the City Council concerning the presence of reasons for initial landmark designation. The two landmark criteria that were used as the reasons for the 1992 landmark nomination are criteria 4 and 6, and the Commission findings of fact should address the presence of those two criteria and may, in addition, address other landmark criteria applicable to the property at 434 Marshman Road.

The HPC's recommendation will be forwarded to the City Council. The Council will consider the recommendation regarding the proposed removal of Landmark Designation, and if the Council finds that the reasons for the Designation are no longer present, then the Designation can be removed by the City Council with adoption of an Ordinance declaring such removal.

Recommended Action

¹ Section 24.025(K)(2) Condition Precedent for City Council Removal of Landmark Designation Under no circumstances shall the City Council remove the Landmark designation for any Property, Structure, Area, Object, or Landscape of Significance unless it finds that the reasons for which the Landmark designation was once appropriate are no longer present. Nothing herein shall be deemed or interpreted as requiring the City Council to remove the Landmark designation upon such a finding.

The Historic Preservation Commission is asked to resume the public hearing regarding the request to remove the Landmark Designation from the structure at 434 Marshman Street.

The Commission is further asked to consider the attached Resolution which finds the reasons for the 1992 landmarking are still present at 434 Marshman. The HPC may approve or not approve the Resolution, or recommend changes or additions to the Resolution prior to approval.

Attachments:

- Resolution Finding Landmark Criteria 4 and 6 Still Present at 434 Marshman Road

Below please find the staff memo as it was presented on May 12, 2011

The landmark nomination process for 434 Marshman was begun in September, 1991. A nomination form was submitted by Irv Wagner, then the Chairman of the Historic Preservation Commission. According to the nomination form, the “low-slung bungalow style house was probably built in the late 20’s and early 30’s. Interesting stained glass and etched glass windows and window configurations make this one of the finest bungalows in Highland Park.” The nomination materials have been included in the attachments to this memo. The landmark nomination found that the structure met Landmark Criteria #4 and #6:

- (4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction or use or indigenous materials;

- (6) It embodies, overall, elements of design, detailing, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative;

The owner of the property in 1991, Ms. Janet Steinberg, consented to the landmark designation. In a letter dated 10/31/91, she indicated that she intended to pursue a tax freeze on the property, but there is no documentation that one was put into effect at that time. Importantly, there is no tax freeze on the property currently.

The current property owner, Mr. Brown, has submitted a formal request to have the landmark designation for 434 Marshman removed. Mr. Brown initiated contact with City Staff earlier this year and was sent a letter dated March 14, 2011 outlining the process and required information to move forward with the request. The letter is included in the attachments.

Mr. Brown has submitted an application that includes a cover letter, the landmark nomination form (revised for this petition), and written material substantiating the home owner’s request. The application materials do not address Landmark Criteria #4 and #6 as they apply to the house currently, or how they may no longer be appropriate or present on the property. The

application addresses current economic hardships associated with the property, an interpretation of Highland Park's Historic Preservation Ordinance, a disagreement with the 1991 Landmark Nomination, concluding remarks, and two exhibits.

Chapter 24 of the City Code, the Historic Preservation Ordinance, contains the following provision for the removal of a landmark designation:

Removal of Landmark Designation.

(1) Automatic Removal of Landmark Designation: The Landmark designation of a Property, Structure, Area, Object, or Landscape of Significance that has been demolished in accordance and compliance with all applicable City ordinances shall be deemed to have been automatically removed as of the date of demolition.

(2) Condition Precedent for City Council Removal of Landmark Designation: Under no circumstances shall the City Council remove the Landmark designation for any Property, Structure, Area, Object, or Landscape of Significance unless it finds that the reasons for which the Landmark designation was once appropriate are no longer present. Nothing herein shall be deemed or interpreted as requiring the City Council to remove the Landmark designation upon such a finding. ←

The process for removing a landmark status is similar to the process for granting it. The Commission, by a majority vote and a resolution, must find that *“the reasons for which the Landmark designation was once appropriate are no longer present.”* The Commission would vote on a Resolution recommending this finding to the City Council. The Council would discuss the recommendation at a future meeting and ultimately vote on an Ordinance to remove the landmark designation, much the same way as when a landmark status is granted.

The Historic Preservation Commission is authorized to discuss the landmark criteria that framed the 1991 landmark nomination for 434 Marshman and whether or not they are still present on the property. The Commission may also comment on the historical background of the structure and discuss any alterations and other topics relevant to the property. The Commission is under no obligation, however, to discuss the legal validity of Chapter 24 of the City Code, “Historic Preservation”, or legal precedent within the State of Illinois as it relates to historic preservation, as presented in the petitioner’s application.

A search of building permits for 434 Marshman revealed that a fence permit was issued in 2005 and tree removal permits were applied for in 2006 and 2009. No other alterations have been undertaken.

**CITY OF HIGHLAND PARK
HISTORIC PRESERVATION COMMISSION**

RESOLUTION NO. 11-02

**A RESOLUTION MAKING A PRELIMINARY LANDMARK DESIGNATION
RECOMMENDATION FOR 434 MARSHMAN ROAD**

WHEREAS, on May 12, 2011, pursuant to Section 24.025(A) of "The Highland Park Code of 1968," as amended ("**City Code**"), the Chairwoman of the Commission received a written petition to remove the landmark designation on a certain structure commonly known as the Albert Campbell House, located at 434 Marshman Road in Highland Park, Illinois, and by this reference made a part of, this Resolution ("**Structure**"); and

WHEREAS, the Historic Preservation Commission adopted a Resolution on November 21, 1991 finding that the Albert Campbell House satisfied landmark criteria 4 and 6, and recommending that the Structure be given a Highland Park Landmark designation; and

WHEREAS, the City Council accepted the recommendation and adopted Ordinance 2-92 on January 13, 1992, designating the Structure as a Highland Park Landmark; and

WHEREAS, pursuant to Section 24.025(K) of the City Code, to remove the landmark designation from a structure, the Commission must (i) find that the Landmark designation of a Property, Structure, Area, Object, or Landscape of Significance that has been demolished in accordance and compliance with all applicable City ordinances shall be deemed to have been automatically removed as of the date of demolition, or (ii) that the reasons for which the Landmark designation was once appropriate are no longer present.

WHEREAS, pursuant to Section 24.025(B)(1) of the City Code, a public meeting of the Commission to consider the removal of a landmark designation for the Structure at 434 Marshman Road was held on May 12, 2011 and June 9, 2011, and

WHEREAS, the Commission has determined that the criteria for landmark designation set forth in Sections 24.015(4) and 24.015(6) of the City Code are still present on the Structure;

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS, as follows:

SECTION ONE: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as the findings of the Historic Preservation Commission.

SECTION TWO: REMOVAL OF LANDMARK DESIGNATION Pursuant to, Section 24.025(K) of the City Code, the Commission finds that the reasons for which the Landmark designation was once appropriate are still present and hereby, make a recommendation to maintain the landmark designation in place at 434 Marshman Road.

SECTION THREE: EFFECT OF DESIGNATION. In accordance with and pursuant to Section 24.025(B)(3) of the City Code, the Property shall remain a "Regulated Structure," as that term is defined pursuant to Section 24.005 of the City Code.

SECTION FOUR: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

[SIGNATURE PAGE FOLLOWS]

AYES:

NAYS:

ABSENT:

PASSED:

APPROVED:

RESOLUTION NO.

Jean Berman Sogin, Chairwoman

ATTEST:

Commission Secretary

147 Central Avenue

Summary of Application for a Certificate of Appropriateness

TO:	The Historic Preservation Commission
DATE:	June 9, 2011
FROM:	Andy Cross, Planner II
SUBJECT:	147 Central Avenue – The Cornelius Field House

PETITIONER:

Mark Icaponi, Construction
Services, Inc.

PROPERTY LOCATION:

147 Central Avenue

HISTORIC STATUS:

Local Landmark and National
Register of Historic Places

PROJECT ARCHITECT:

N. Batistich Architects
16475 S. Frontage Rd, Ste 201
Burr Ridge, IL 60527

OWNER:

Gale Rothner
932 Central Avenue
Highland Park, IL 60035

BACKGROUND

Last year, the Historic Preservation Commission approved a Certificate of Appropriateness for two additions to the Cornelius Field House at 147 Central: a new garage on the west side of the house, and a new solarium off the north side. As work progressed, the need arose for two amendments, which were also approved in 2010. Work has completed and now the home owner has decided on several additional improvements to the house.

SUMMARY OF THE PETITION

The applicant is proposing the following four changes to the property at this time:

1. The house at 147 Central has a screened-in porch running along the south and east sides of the house. The home owner would like to convert the northern 20 feet of the screen porch along the east side of the house into a four season sunroom by replacing the screens with glass. Details of the proposed window type are included in the attachments.
2. Two sets of stairs on the exterior of the house are aging and need repair. The applicant is proposing to remove and replace the steps with new concrete steps clad in bluestone.
3. A patio of stone pavers will be added off the back (north side) of the house and enclosed with a four-foot decorative fence.
4. A low wooden deck will be built on the outside of the one-story cottage north of the main house at 147 Central.

Materials

The plans show that the new glass windows on the sunroom will replace the existing screens, which are located behind the white columns and banister around the porch. The window and patio door frame will be dark green aluminum, and the other framing will be dark green cedar to match the existing cedar frames around the screens.

The steps leading into the house in the front, as well as under the porte cochere are aging and constructed of a mix of concrete and wood. They will be completely replaced with concrete steps and clad in a bluestone. The applicant will supply a sample of the cladding material at the HPC meeting on June 9.

A new patio is proposed in the back of the lot. It will have a surface of concrete pavers and be surrounded by a small decorative fence. Images of the products to be used are included in the attachments to this memo.

Lastly, the new deck on the cottage will be made of 3” cedar planks. The low deck will not have a railing and will extend just nine feet off the front of the cottage.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

The four-acre property had an extensive Victorian-era landscape, but little of that original design remains. Most notable is the foundation of a half-oval-shaped greenhouse. There are two outbuildings on the property: the one-story gardener’s cottage and a two-story garage that is across the ravine to the north (fronts on Park Ave.).

EVALUATION OF CRITERIA IN THE HISTORIC PRESERVATION ORDINANCE

The relevant Standards for Review of additions to historic structures are discussed below, per Section 24.030(D):

(1) Height. The height of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

The proposed improvements will not have an effect on the height of the principle structure at 147 Central. The conversion of part of the screened-in porch to a sunroom will not be visible from Central Avenue because the section of porch to be converted is on the north end of the east elevation.

(2) Proportion of front facade. The relationship of the width to the height of the front elevation of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

The front façade (Central Ave.) of the house will not be affected by the sunroom conversion. The new steps at the front entrance and under the porte cochere may be visible, but will be visually compatible with neighboring properties.

(3) Proportion of openings. The relationship of the width to height of windows and doors of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visually related.

The width and height of the new windows in the porch will be in keeping with the scale of the porch and difficult to detect from the public right-of-way.

(4) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be

visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

The proposed porch conversion will not have an effect on the front façade of the house. The new steps at the front entrance will not interrupt the rhythm of solids to voids.

(5) Rhythm of spacing and structures on streets. The relationship of a Landmark, Regulated Structure, or a Contributing Regulated Structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

The property at 147 Central contains a large amount of open space. The proposed changes will not affect the rhythm of spacing and structures on Central Avenue.

(6) Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections of the proposed new Structure to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

The home has a main entrance facing Central Avenue. Also visible are the porte cochere and the porch on the east side of the house. The proposed changes will neither change how these features are seen from the sidewalk nor will the sunroom conversion be easily visible from the sidewalk.

(7) Relationship of materials and texture. The relationship of the materials and texture of the façade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The materials proposed on the porch will blend in with the existing framing. The Commission may wish to discuss the bluestone cladding proposed on the new steps on the front and west sides of the house.

(8) Roof shapes. The roof shape of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the structures to which it is visually related.

Not applicable.

(9) Walls of continuity. Facades and Property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places to which such elements are visually related.

Not applicable.

(10) Scale of a structure. The size and mass of a Landmark, Regulated Structure, or a Contributing Regulated Structure in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which they are visually related.

The proposed additions will not affect the scale of the existing house.

(11) Directional expression of front elevation. A Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The proposed changes will have no impact on the directional expression of the front elevation.

(12) Destruction or alteration of the historic features. The distinguishing historic qualities or character of a Landmark Regulated Structure or Contributing Regulated Structure and its environment shall not be destroyed. The Alteration of any historic or material or distinctive architectural features should be avoided when possible.

The wrap-around porch is an identifiable part of this landmark, but the proposed conversion of part of the porch to a sunroom will not change the profile or mass of the porch. Additionally, the windows will be installed with materials that are sympathetic to the look of the existing screens.

(13) Archaeological and natural resources. Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

The applicant is not proposing to remove any trees as part of this project. Archaeological resources have never been surveyed on this site.

(14) Architectural Compatibility. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

The proposed design and materials for the proposed changes reflect the design of the existing house.

(15) Use compatibility. Every reasonable effort shall be made to provide a compatible use for a Regulated Structure or Contributing Regulated Structure that requires minimal alteration of the Regulated Structure or a Contributing Regulated Structure and its environment, or to use a Regulated Structure or Contributing Regulated Structure for its originally intended purpose.

Not applicable—no change in use is proposed.

(16) Maintenance of Time Period Appearance. All Regulated Structures or Contributing Regulated Structures shall be recognized as products of their own time and so alterations that have no historical basis and which seek to create an earlier appearance than is properly attributable to the particular Regulated Structure or Contributing Regulated Structure that is being altered shall be discouraged. However, contemporary design for Alterations and additions to Regulated Structures or Contributing Regulated Structures shall not be discouraged when such Alterations and additions do not destroy significant historical, architectural, visual, aesthetic, archaeological or cultural material, and such design is compatible with the size, scale, color, material, and character of the Regulated Structure or Contributing Regulated Structure, neighborhood or environment.

The proposed addition does not conflict with the original design of the house and is consistent with its size, scale, color, material, and character.

(17) Significance of changes made in the course of time. Changes that may have taken place in the course of time are evidence of the history and development of Regulated Structure or Contributing Regulated Structure and their environments. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

There are no significant changes made over time.

(18) Sensitivity to distinct features. Distinctive stylistic features or examples of skilled craftsmanship or artistry, which characterize a Regulated Structure or Contributing Regulated Structure, shall be treated with sensitivity.

Not applicable—distinct features will not be altered.

(19) Repair to deteriorated features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;

The steps leading to the house from the south entrance and under the porte cochere will be replaced as part of this project. The Commission may wish to discuss whether the proposed new cladding in bluestone will be harmonious with the historic character of the house.

(20) Surface cleaning. The surface cleaning of the Regulated Structure or Contributing Regulated Structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or archaeologically significant materials used in such Landmark, Regulated Structure, or a Contributing Regulated Structure shall not be undertaken;

Not applicable—there is no proposed surface cleaning.

(21) Wherever possible, additions or Alterations to a Regulated Structure or Contributing Regulated Structure shall be done in such manner that if such additions or Alterations were to be removed in the future, the essential form and integrity of the Landmark, Regulated Structure, or Contributing Regulated Structure would not be impaired.

The windows installed with the sunroom conversion can be removed in the future without impairing the form and integrity of the wrap-around porch on the house. The steps could also be removed and replaced in the future without damaging the house.

RECOMMENDATION

Based on the findings presented above, staff recommends that the Historic Preservation Commission approve the application for a Certificate of Appropriateness, or recommend changes to the plans to further meet the criteria listed above.

ATTACHMENTS

- Applicant Narrative
- Site Plan Showing the Scope of Work
- Plans and Elevations of Proposed Porch Conversion
- Plans for New Deck on Cottage
- Product Samples for the Patio Pavers and Fence
- Photographs of Existing Conditions and Proposed Work Areas
- Product Brochure for Window and Door Design

147 Central Main House

It is our intention to turn the back half of the screened in porch into a four season's room. This will be accomplished by adding windows and glass doors to the existing structure while keeping the architectural theme of the house. The windows and patio doors will be dark green aluminum clad, and the framing will be dark green cedar keeping with the existing structure.

The partial wood, partial concrete steps on the south and west side of the house will be replaced with concrete, clad in bluestone. This will give the entrances a more consistent and decorative look. The existing handrails and balustrades will remain.

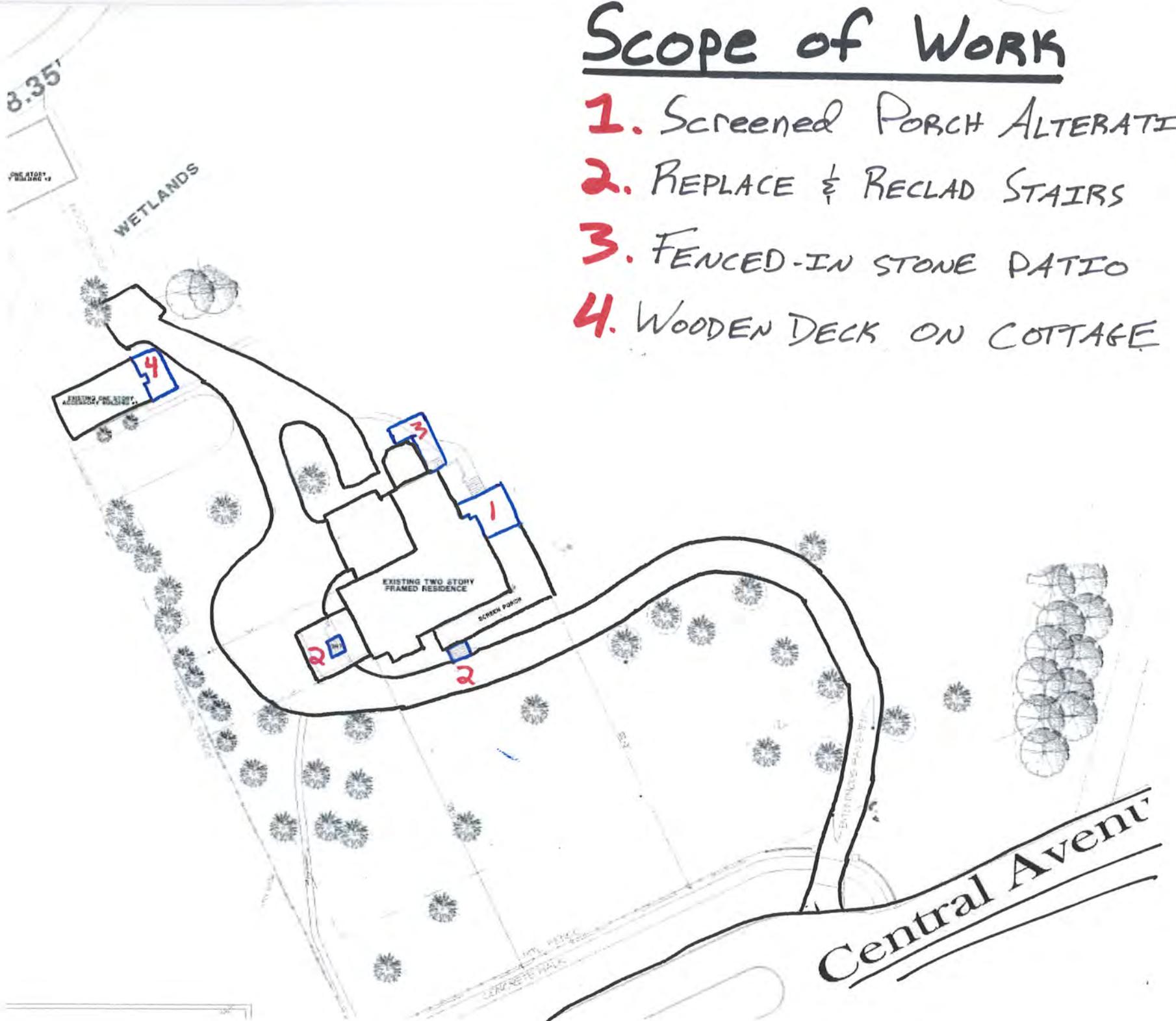
We would also like to install a small stone patio with a decorative garden fence of the east rear side of the house, creating a small semi-private sitting area.

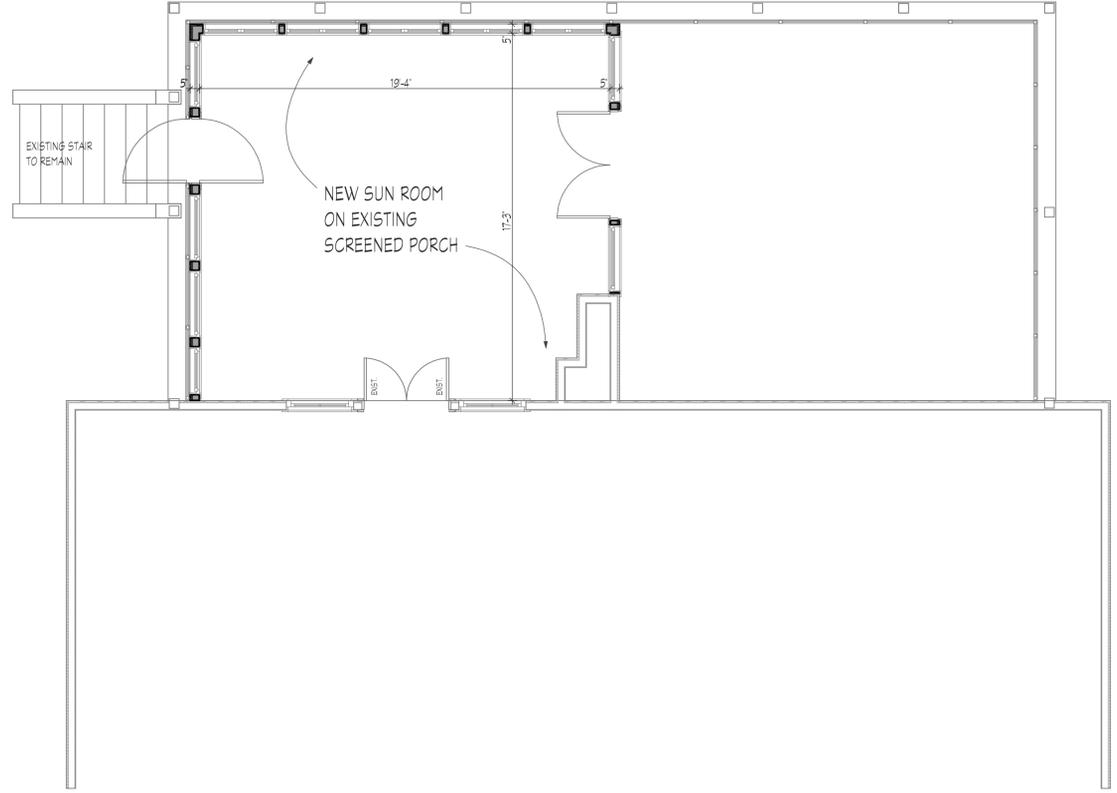
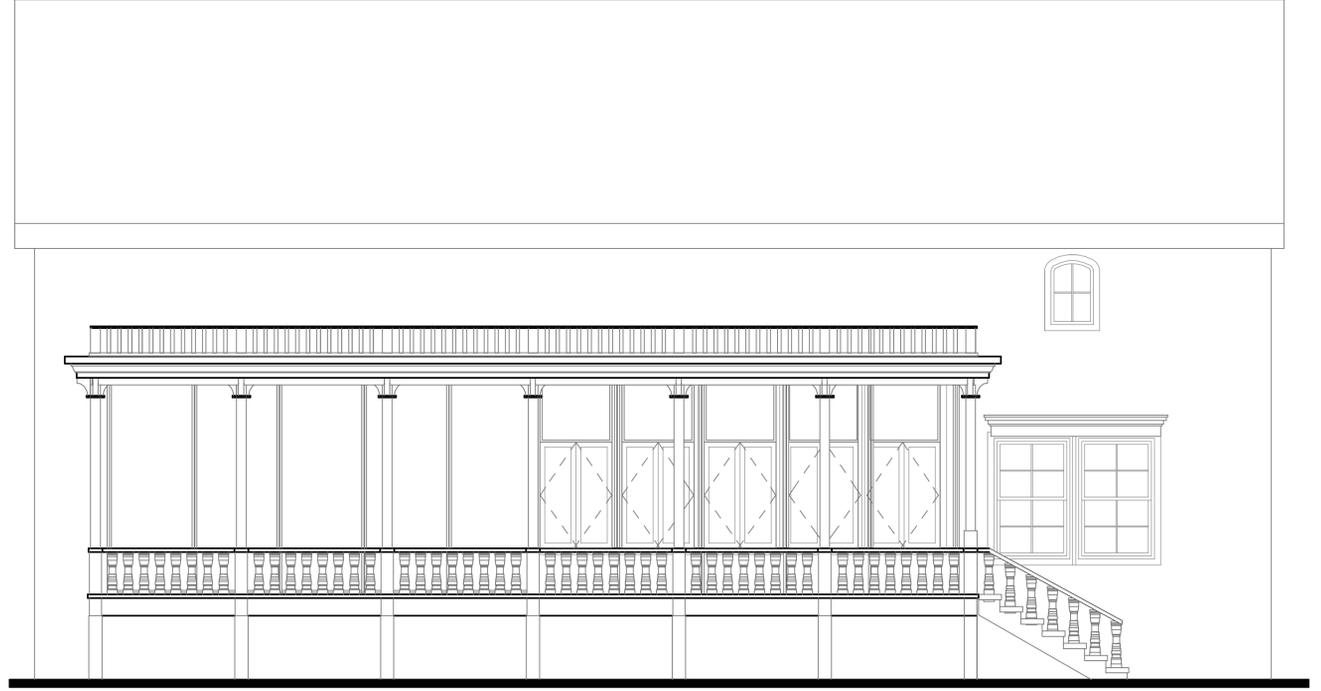
147 Cottage

Installation of a small deck on the east side of the cottage will be constructed to create a sitting area.

Scope of Work

1. Screened Porch Alteration
2. Replace & Reclad Stairs
3. Fenced-in Stone Patio
4. Wooden Deck on Cottage





PLAN No. NB-422-11
SHEET No.

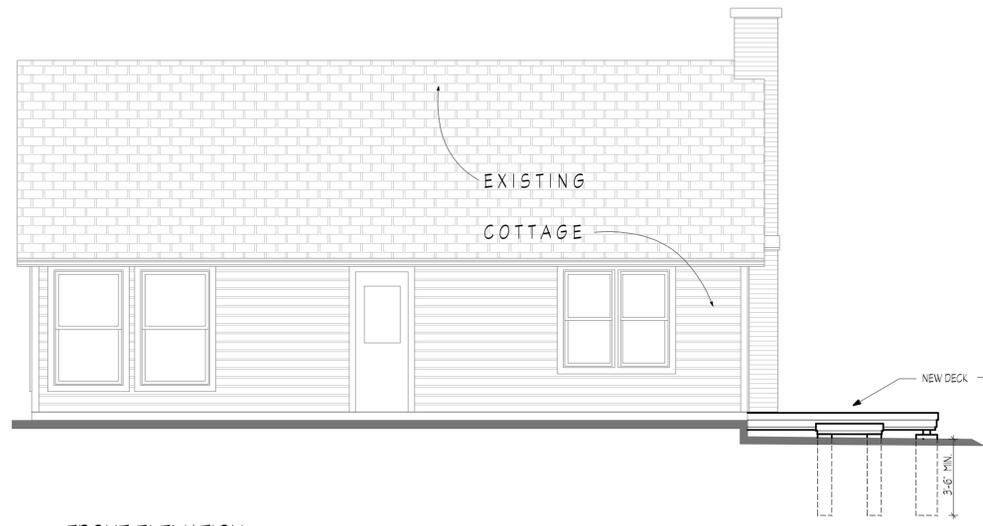
REVISIONS

DATE: APRIL 22, 2011
DRAWN BY:
SCALE:
APPROVED BY:

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLAN AND DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.

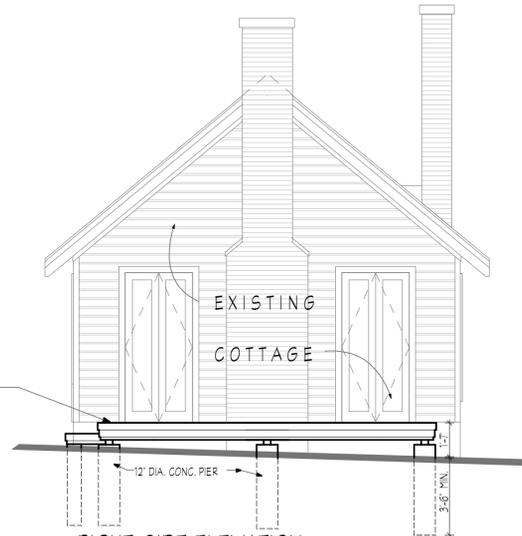
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE BUILDING CODE.

n. batistich, architects
MEADOWBROOK OFFICE CENTER
16W475 S. FRONTAGE RD., SUITE 201
BURR RIDGE, IL 60527 (630) 986-1773



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

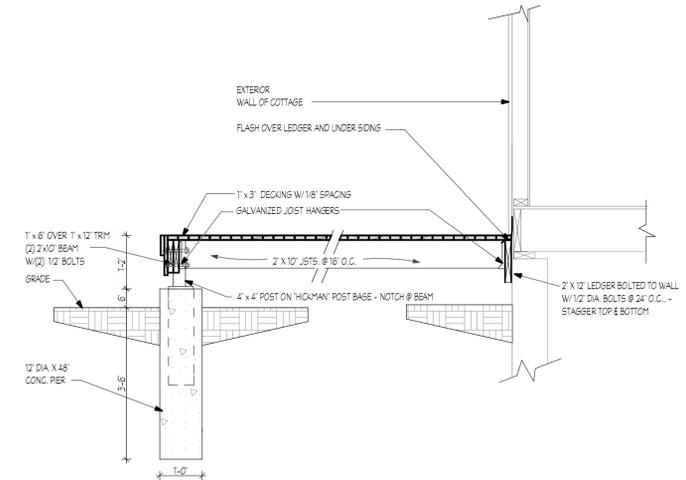


RIGHT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

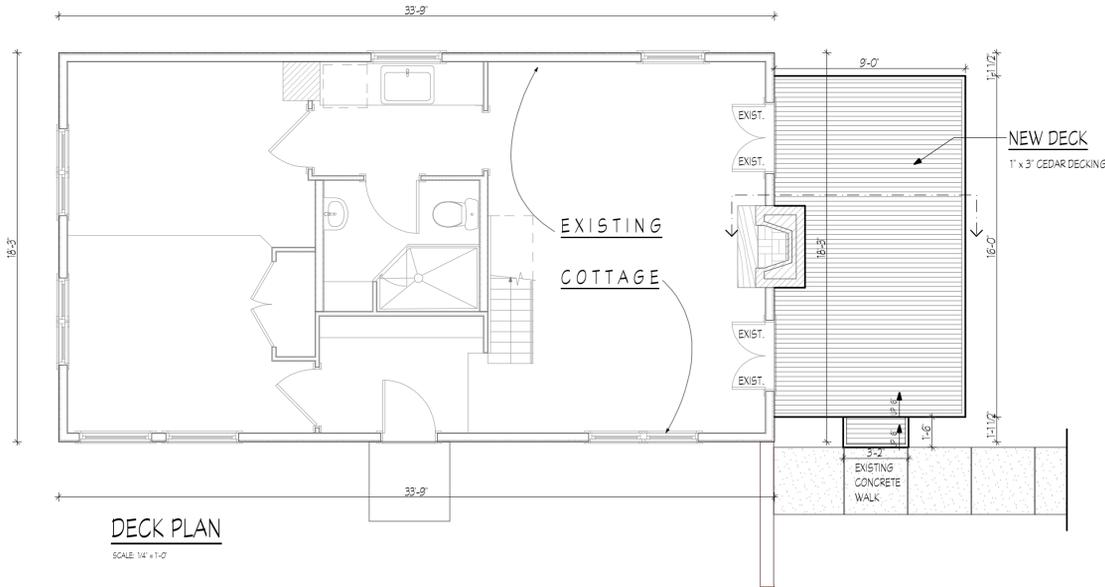
GENERAL NOTES:

- SOIL ASSUMED TO HAVE A BEARING CAPACITY OF 3,000 P.S.F.
- CONCRETE TO BE 3,000 P.S.I. IN 28 DAYS.
- ALL STRUCTURAL GRADE LUMBER TO BE STRUCTURAL GRADE FIR OR S.P.F., MIN. 1,050 F_b.
- ALL FRAMING LUMBER TO BE 'PRESSURE TREATED'
- ALL EXPOSED FINISH WOOD TO BE CEDAR
- STAIR RISERS SHALL BE 7-3/4" MAXIMUM AND STAIR TREAD TO BE 10" MINIMUM CLEAR OF TREAD ABOVE. MINIMUM WIDTH TO BE :



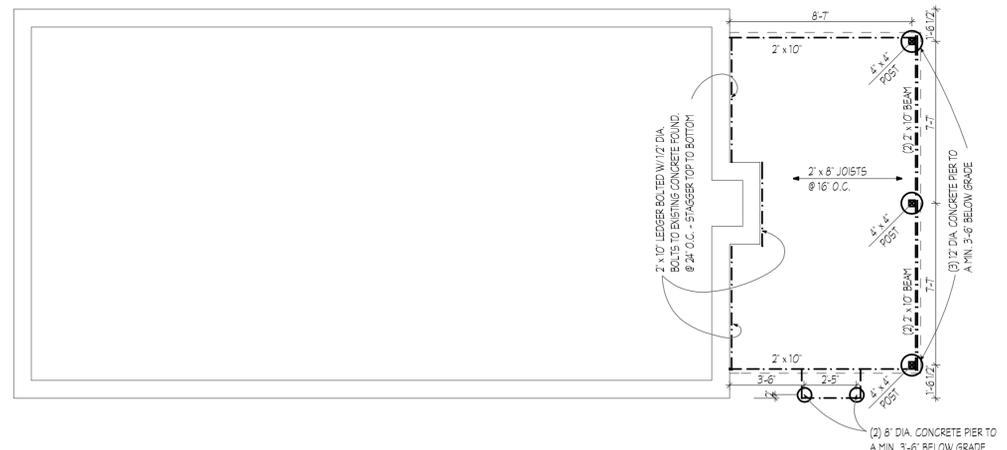
DECK SECTION

SCALE 1/2" = 1'-0"



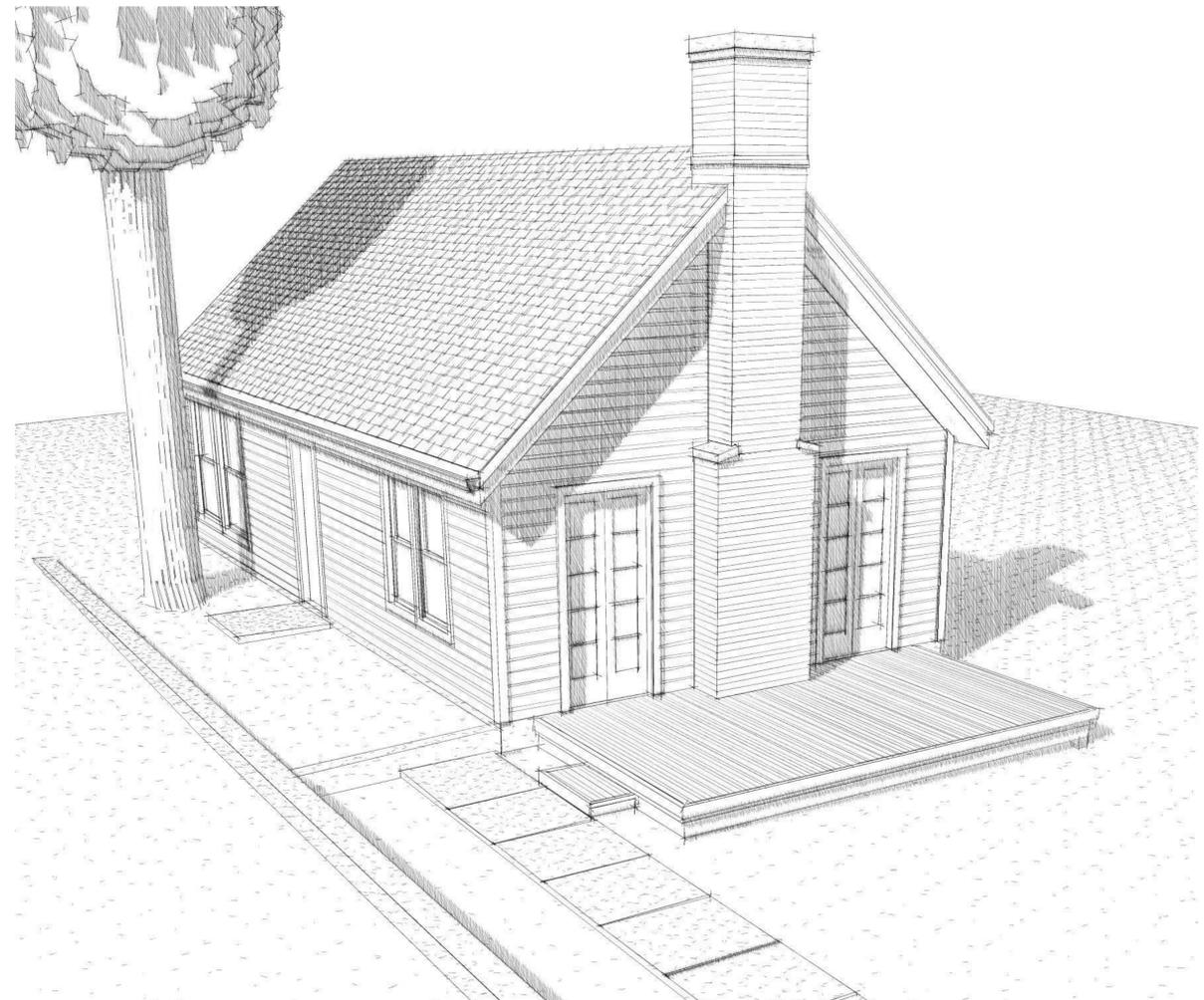
DECK PLAN

SCALE: 1/4" = 1'-0"



DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE BUILDING CODE

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLAN AND DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME

DATE: APRIL 22, 2011
 DRAWN BY:
 SCALE:
 APPROVED BY:

REVISIONS

PLAN No.: NS-422-11
 SHEET No.: 1 of 1



Proposed Fence Style for
Patio



Gate Style for Patio



Decorative Trellis
Example



Transformed LANDSCAPES

147 Central
ROSETTA[®]
THE LOOK AND FEEL OF NATURE

DIMENSIONAL
WALL
pg 9

GRAND
FLAGSTONE
pg 11



DIMENSIONAL
FLAGSTONE
pg 13



STEP
COLLECTION
pg 15



Rosetta Hardscapes accurately creates *the look and feel of nature* in any application you imagine. This boutique line of landscape products truly amazes even the most discerning craftsman or homeowner. The textures, colors and shapes of these stones are like nothing else on the market today.

By crafting Rosetta stones with architectural-grade *wet-cast* concrete as opposed to the much more common *dry-cast* concrete, Rosetta Hardscapes captures a level of detail in texture

previously unavailable in landscape block materials. Also, the use of *wet-cast* concrete allows Rosetta to offer significantly improved durability over most competitive products.

Thank you for taking the time to review the Rosetta line of products on the following pages. Imagine the possibilities of a Rosetta solution for your next project! Let Rosetta be the catalyst that inspires your creative process.























Discover the pride of our craftsmen. The one and only. The true original in-swing French casement. You may find look-a-likes but only Belisle makes the original. When customers want this window they ask for a Belisle Ancestral.

The pure essence of Old Europe, offered to you with all the modern features that you deserve. More options, more concepts, more flexibility than any other casement window. The unique cremone bolt system and lift off hinges for a one-step operation to take the sashes off the frame. No central post for maximum opening and air flow, the easiest window to clean!

These are just a few of all the advantages of being the proud owner of a Belisle Ancestral window.

Solid Wood Construction

Clear Pine, Western Red Cedar, Red Oak, Alder or Honduran Mahogany.
Solid wood only, no laminates, finger joints or veneer are used

Exterior Casing or Brickmold

Available upon request in standard or custom sizes and profiles
Interior casing is also available

Glass

Factory glazed with single lite or with 7/8" double insulated glass units
Low-E, Argon filled, Tempered, Laminated and historical glass available
Other options available upon request

1 3/8" X 5 1/2" Jamb, Standard Size

Solid wood frame
10 degree sloped sill
Incredible strength, stability and durability
Custom jamb depth available upon request

1 3/4" Sash

Mortise and tenon construction

Unique design and triple weather-strip at meeting stiles

High performance and classic lines

Muntins

7/8" Simulated divided lite (SDL) and 1 1/4" True Divided lite (TDL) options

With choice of colors for perimeter and internal spacer bars

Hardware

Unique rustic cremone bolts and matching hinges

Standard black finish or many other finishes upon request

Screen

Wood frame screen with Fibreglass, stainless steel or bronze mesh

Roll-up screens available upon request on special orders

Don't forget that our Ancestral windows are all custom made. You can use your imagination and create your own design. We will be more than happy to satisfy your request.



Muntins

SDL or TDL type with choice of colors for perimeter and internal spacer bars

Hardware

Unique rustic cremone bolts and matching hinges with finishes available

Screen

Wood frame screen with Fibreglass, stainless steel or bronze mesh

In-swing opening

Unique design, high performance and triple weather-strip at meeting stiles



441 Cedar Avenue

Summary of Application for a Certificate of Appropriateness for a Historical Restoration

TO:	The Historic Preservation Commission
DATE:	June 9, 2011
FROM:	Andy Cross, Planner II
SUBJECT:	441 Cedar Avenue – The Battledeck House

PETITIONER:

Meg Kindeln, Walker Johnson
Johnson Lasky Architects

PROPERTY LOCATION:

441 Cedar Avenue

HISTORIC STATUS:

Local Landmark and National
Register of Historic Places

PROJECT ARCHITECT:

Johnson Lasky Architects
180 N. Michigan Avenue
Chicago, IL 60601

OWNER:

Lydia Hankin, Theodore Chung
441 Cedar Avenue
Highland Park, IL

441 CEDAR AVENUE – THE BATTLEDECK HOUSE

Henry Dubin's Battledeck House at 441 Cedar Avenue is one of the best examples of the International Style of architecture in Highland Park. Built in 1930, the house appeared in a 1931 edition of *The Architectural Forum*. The article is included in the attachments to this memo and provides original photographs and extensive information about the unique structural system inside the house. The floors were built with steel beams and plates, the walls largely masonry, and the floors were slate and cork. Dubin built the house for his family and designed it with both fire safety and cost savings in mind. There have been no major alterations to the structure, though there have been several small modifications over the years. A two-story art studio was built on the property in the 1970's, but it is located at the rear of the property and not connected to the main house.

The house was added to the National Register of Historic Places in 1982 and landmarked locally in 1985.

SUMMARY OF WORK

The applicants are proposing a historical restoration of 441 Cedar Avenue. They have provided a detailed narrative describing the scope of work. The exterior of the house is aging and requires restoration and upkeep in many locations, and several small alterations made over the years will be undone and restored to the original Dubin designs. Plans included with application materials provide details about the proposed work and show photographs documenting the deterioration around the exterior.

Part of the work includes redesigning the driveway to improve its functionality, as well as removing a 6' wooden privacy fence and replacing it with a new masonry wall that will "match the character of the free-standing brick wall attached to the garage."

Proposed alterations to note include maintaining an enclosed porch on the house, as well as the installation of an under-floor heating and cooling system. The under-floor heating system will be enclosed entirely within the house and will not impact the outside appearance at all. The porch on the west side of the house is shown on the original 1930 drawings as a terrace with a slate floor, removable screens, and a battledeck roof. It was enclosed with glass many years ago. The current owners are proposing to keep the glass and expand the porch by about four feet along the west wall of the house. **Sheet A-5.0** in the plan set shows a detailed drawing of this.

EVALUATION OF CRITERIA IN THE HISTORIC PRESERVATION ORDINANCE

Section 24.030 of the City Code contains the criteria for a Certificate of Appropriateness on projects like the proposed restoration at 441 Cedar. The applicants have addressed each of the criteria in the project narrative, which is included in the attachments to this memo.

RECOMMENDATION

Staff recommends that the Historic Preservation Commission discuss the proposed restoration of 441 Cedar Avenue, recommend changes, and approve the proposal or continue discussion to a future meeting.

ATTACHMENTS

- Project Narrative
- Plan Set for Restoration Project (12 pages)
- 1931 Article from *Architectural Forum* about 441 Cedar Avenue

APPLICATION FOR HISTORIC PRESERVATION REVIEW



CITY OF HIGHLAND PARK
1150 Half Day Road
Highland Park, IL 60035
phone: 847/ 432-0867 fax: 847/432-0964
www.cityhpil.com

OFFICE USE ONLY

Submission Date: _____

Case No.: _____

Hearing Date: _____

441 Cedar, Highland Park, IL
Address: _____ **Within a District or an Individual Landmark:** Individual Landmark

Description of Project: (use additional sheet if necessary) _____
See attached Response to COA Criteria and Narrative in Support of Project.

Petitioner's Name (s): Lydia Hankins and Theodore Chung

Address: 441 Cedar, Highland Park, IL Daytime Phone: _____

Home Phone: 847-433-0663 Fax: _____

Email: lydiachankins@gmail.com, chungtheodore@gmail.com

Title Holder's Name (s): Lydia Hankins and Theodore Chung

Address: 441 Cedar, Highland Park, IL

Phone: 847-433-0663 Fax: _____

Email: lydiachankins@gmail.com, chungtheodore@gmail.com

If Petitioner Is Different From Title Holder, Explain:

Attorney's Name: na

Address: _____

Phone: _____ Fax: _____

Architect/Builder: Johnson Lasky Architects Contact: Walker Johnson

Address: 180 North Michigan Avenue, Ste. 401, Chicago, IL

Phone: 312-357-1221 Fax: 312-357-0737

Email: wjohnson@jlarchitects.com, mkindelin@jlarchitects.com

AFFIDAVIT

I HEREBY DEPOSE AND SAY THAT I HAVE READ THE REQUIREMENTS AND PROCEDURES OUTLINED IN CHAPTER 24 OF THE 1997 HIGHLAND PARK HISTORIC PRESERVATION ORDINANCE, AS AMENDED, AND ALL OF THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN MY APPLICATION PACKET ARE TRUE.

Theodore Chung
Property Owner(s)

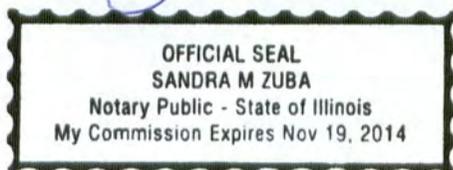
Petitioner, if different from Property Owner

Sworn to before me this 20th day of May, 2011.

Sworn to before me this _____ day of _____, 20____.

Sandra M. Zuba
Notary

Notary



APPLICATION FOR HISTORIC PRESERVATION REVIEW CHECKLIST



CITY OF HIGHLAND PARK

1150 Half Day Road
Highland Park, IL 60035
phone: 847/ 432-0867 fax: 847/432-0964
www.cityhpil.com

TYPE OF REVIEW REQUESTED: (check all that apply)

- Certificate of Appropriateness
 Certificate of Economic Hardship (see staff for additional requirements)
 Letter of Support
 Other (please describe)

TYPE OF WORK PROPOSED: (check all that apply)

- Addition
 Alteration
 New Construction
 Restoration/Rehabilitation
 Relocation
 Demolition

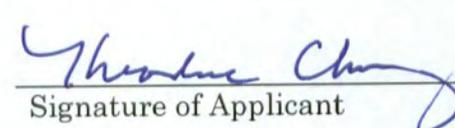
CHECKLIST: (Full-sized copy and reduced 11x17 copy to be submitted)

For Alteration/Additions

- Existing and Proposed Floor plans
 Existing and Proposed Elevations
 Photographs of all exterior elevations which will be impacted
 Building materials described in relation to existing materials
 Other supporting documentation (please describe below)
Landscape and site plans, scans of original 1930 documents, photos of specific existing conditions.

For New Construction

- Floor plans for each level of proposed construction
 Front, side yard and rear yard elevations
 Site plan showing existing trees, driveway, walkways, required ravine setbacks, zoning information (setbacks and FAR calculations, etc.)
 Photographs of the site and its surroundings within 250' radius
 Samples of major building materials
 Typical building details
 Model (optional)
 Other supporting documentation (please describe below)


Signature of Applicant

5-20-11
Date

**Response to
CITY OF HIGHLAND PARK
CERTIFICATE OF APPROPRIATENESS STANDARDS**

Narrative in support of the Restoration of Henry Dubin's Battledeck House (1930) located at 441 Cedar Street in Highland Park, Illinois.

Submitted by Johnson Lasky Architects, Chicago, Illinois, on behalf of Lydia Hankins and Theodore Chung, Owners.

Date: May 18, 2011

Introduction to the project

The Battledeck House was designed in the late 1920's by Henry Dubin and construction was completed in 1930. Dubin designed and built the Battledeck House as a home for his wife and family. The house is a very early example of International Style Modernism in a residence. Dubin traveled to Europe in the 1920s and met with prominent avant garde architects and likely toured examples of their work. Returning to Illinois he adopted the formal attributes of the style to the residential program, and also used an innovative structural system for the project. This kind of experimentation was in keeping with the forward looking approach of the architects of the day who sought innovative solutions to the challenges of housing and building. The Battledeck name describes the steel floor system of the house which is comprised of steel beams and decks that were welded as prefabricated units in a factory and then trucked to the site for assembly. The floor units were lifted into place on the brick masonry walls with a crane. The steel system remained exposed only in the basement and below exterior overhangs; elsewhere is it enclosed by a conventional roof or plaster ceiling system.

The house survives today and is intact, though the exterior is in great need of restoration. There have been no major alterations to the house and it retains its historic character throughout. Slight modifications include a mid-century addition to the west porch, the removal of the railings at the roof deck, and minor changes to the exterior light fixtures. All these will be addressed in the course of the work. The masonry walls that support the steel Battledecks were built using soft Chicago common brick, and this was painted several times over the years. The soft brick wicks water and the latex paint on the exterior face traps that water inside the brick. The brick is cracked and spalled, and in many places has been replaced or parged over. The slate coping stones originally installed along the tops of the walls were an important element that enhanced the horizontality of the design, but these are missing, have been replaced with metal and wood, or they are decayed beyond repair. The house has seen recent work to address bowing in the brick walls over windows and doors and at the parapet walls. The roof has been repaired though there is evidence of leaking in some areas. Water is seeping into the basement, evidence that the concrete foundation needs waterproofing. The most serious conditions are seen at the west porch where there is failure at the window wall, foundation, and structure. The west wall is held closed by stacked concrete pieces and

once open air but was enclosed for many years. We will bring back the open feel of the porch while allowing it to be used comfortably by the family.

This building has national as well as local importance, and all work will be undertaken following the Secretary of the Interior's Standards for Restoration. In all cases, the gentlest and most conservative restoration methods will be used.

The restoration project consists of the following work. The brick walls will be cleaned and repaired. We will employ the services of a historic finishes specialist to assist in identifying the original colors as well as in guiding the selection of restoration cleaners and methods. The brick is in very bad condition and we will likely find that a full cleaning of this soft brick will destroy it. We are prepared to remove the latex paint as much as possible (to about 85% clean), repair or replace damaged or failing brick, and then grind and point all facades and apply a mineral coating to even the color of the brick. All repaired copings will be replaced with new slate copings. The foundation will be waterproofed. The steel casement windows are in working order and need only minor repairs and painting. About five windows in the house have been fit with replacement aluminum units, and these will be replaced with steel casements to match the originals. No insulated glass will be used. At the roof deck, the parapet will receive new coping stones and the original handrail will be recreated from historic drawings. The wood doors and steel windows will be repainted their original colors. The garage door will be replaced with one sympathetic to the original as shown on the historic drawings. The west porch, which was enlarged at some point, is failing and will be repaired. The steel is rusted at the column bases although the remainder of the Battledeck system seems in good condition. The connections at the window wall have failed and the wall and perimeter of the floor slab is open to the weather. The wood addition and curtain wall will be removed, we will replicate the steel system at the north side of the porch and create a slight overhang at the back of the house to protect the door way and perimeter from water. The porch will be enclosed with glass. An under floor heating and cooling system that is not apparent from the outside of the house will be installed. The driveway and front stairs have settled, and the drive directs water directly into the basement garage. The drive will be fit with a trench drain and the front stoop and steps will be modified as follows. The front steps will be replaced with new stone steps with a level surface because the current steps are damaged and eroded creating a hazard for pedestrians, and the front stoop will be enlarged to allow room for 2 persons to stand on it.

Below is a listing of the Historic Preservation Commission's Standards for awarding a certificate of Appropriateness for work undertaken on structures governed by the Highland Park Historic Preservation Ordinance. Each item is addressed individually.

- (1) Height.**
No changes will be made to the height of the original structure.
- (2) Proportion of front façade.**
No changes will be made to the proportion of the front façade.
- (3) Proportion of openings.**
No changes will be made to the proportion of openings.
- (4) Rhythm of solids to voids in the front facades.**

Rhythm of solids to voids on the front façade will be maintained. Five modern aluminum windows will be removed and replaced with steel casement windows to match the original windows. The west porch was enlarged and enclosed at some point. We will remove the busy curtain wall system and replace it with a minimal glass enclosure that will not interfere with the lines of the house.

(5) Rhythm of spacing and structures on streets.

No changes will be made to the spacing of the structure to those properties surrounding.

(6) Rhythm of entrance porches, storefront recesses and other projections.

These will not change in form or dimension.

(7) Relationship of materials and texture.

The house will be restored according to the Secretary of the Interior's Standards. Non-original and irrevocably deteriorated coping, roof decking and window hoods will be replaced with slate as originally designed. All non-original windows will be replaced with steel windows based on original design drawings. Window frames and masonry will be refinished to reflect the original design. The west porch will return to the original materials: reuse of the original slate patio floor, steel column supports and roof beams, and steel framing elements in the curtain walls. Glass will be completely transparent, corresponding to the original windows while minimizing visual impact of the addition.

(8) Roof shapes.

No changes will be made to the overall roof shape of the Regulated Structure. As a life safety measure, a railing will be added around the main roof deck. The form, position and materiality of this railing will be based on original design of the house. Replacement of the non-original roof-deck system will also involve removal of a non-original scupper at the northwest facade and construction of two new scuppers in accordance with the original drainage design. Drain screens will be cleaned and flashing at the main roof deck replaced.

(9) Walls of continuity.

No changes will be made to the current continuity of facades, property, and site structures.

(10) Scale of a structure.

Size and mass of the original structure will not be altered.

(11) Directional expression of front elevation.

Directional expression of the front elevation will be maintained.

(12) Destruction or alteration of historic features.

Critical historic features and materials will not be removed. Non-original or irrevocably deteriorated coping, window hoods, and masonry will be replaced to match the original design intent. To avoid further destruction, cleaning of historic masonry will be performed using gentlest means possible.

(13) Archaeological and natural resources.

This project will cause no affects on archaeological resources. Affect on natural resources is isolated to the removal of the oak tree adjacent to the west porch. This tree was planted too close to the original patio and present porch, causing structural and cosmetic damage to the structure. This project proposes removal of this tree and planting of a similar tree further west of its current position.

- (14) Architectural compatibility.**
The west porch maintains general geometry and proportions of the original Modern house and its transparency and visual simplicity allow it blend into its surrounding environment.
- (15) Use compatibility.**
The Regulated Structure will maintain its original use.
- (16) Maintenance of Time Period Appearance.**
The time period will be maintained and the house will be restored to its original appearance.
- (17) Significance of changes made in the course of time.**
The house retains its original design and features to a great degree.
- (18) Sensitivity to distinct features.**
Critical historic features characterizing the regulated structure will be treated sensitively. Façade masonry will be cleaned and refinished according to the original design. Deteriorating and non-original slate window hoods will be replaced based on the original design. Non-original windows will be replaced with those matching the original. The light fixture at the corner of the wing wall will be cleaned and rewired to function properly. The unique wood railing and metal balustrade at the east entrance will be cleaned and refinished.
- (19) Repair to deteriorated features.**
Wherever possible, deteriorated materials will be repaired. Where replacement or restoration is required, new materials are based on original design drawings by Henry Dubin dated 1930. Original façade brick and windows will be retained, cleaned, repaired and refinished. Where bricks are delaminated beyond the possibility of repair, as found at portions of the wing wall, bricks will be replaced in kind with those matching the original in form, scale, and color. Where original windows are missing, they will be replaced with windows to match the originals in size, material, and finish. Existing coping and window hoods are either of non-original material or deteriorated beyond repair. The non-original garage door will be replaced with a new door to emulate the design of the original “Majestic Vertifold” Garage door of circa 1931.
- (20) Surface cleaning.**
Façade masonry will be conducted using the gentlest means possible, such as low pressure water, chemical cleaners appropriate to masonry, and manual agitation of the surface using natural brushes. Masonry surface cleaning tests will be conducted to determine the most effective and least damaging solution. Sand blasting will be strictly prohibited.
- (21) Wherever possible, additions or Alterations to a Regulated Structure shall be done in such manner that if such additions or Alterations were to be removed in the future, the essential form and integrity of the Landmark, Regulated Structure, or Contributing Regulated Structure would not be impaired.**



Landscape Program for Henry Dubin's Battledock House located at 441 Cedar Street, Highland Park, Illinois

Submitted by Craig Bergmann Landscape Design, Wilmette, Illinois,
on behalf of Lydia Hankins and Theodore Chung, Owners.

Dubin's original site plan of the Battledock House showed the house sited in a woodland environment. No additional landscape plans or other documentation showing the landscape is available. There has been no designation of historic significance placed on the landscape. The wooded character of the front yard west of the driveway maintains Dubin's original design intent. The area to the east of the driveway has degraded over time and has no existing trees or significant plantings. In the backyard, the addition of the current free-standing studio/guest house has degraded any of the architect's design intent for the back yard. Additional infill housing development on adjacent properties has changed the surrounding character significantly since the house was built. There have been minimal landscape improvements to the property over the years and maintenance has also been minimal. There is a significant existing drainage issue in the back yard with standing water after heavy rains. This is due to the higher elevation of the surrounding properties versus the lower level of this property.

The home owner's desire is to update and improve the landscape for functionality, esthetics, privacy and drainage. The front yard's woodland character will be enhanced with new understory flowering trees, shade trees, and woodland flowers. The area east of the drive will be landscaped to share the character of the woodland plantings. The current driveway layout is not functional for more than one car. The current parking pull-off will be expanded and the driveway straightened to improve function. Privacy to the east is a priority for the client. The existing 6' height wood fence would be replaced with a new masonry wall that will match the character of the free standing brick wall attached to the garage.

The design intent of the backyard is to create a space that is modern in style contrasted with natural vignettes. The client's priorities are for keeping existing healthy shade trees, screening of the adjacent properties for privacy, screening of the studio/guesthouse and creating usable spaces for family activities. The area surrounding the west porch will be treated as a separate contemplative garden in a modern style to complement the house. Note that for the immediate house surround on all sides of the building: the plantings will be kept to a minimum and grading will be done to minimize any future problems for the house façade and waterproofing.

Craig Bergmann Landscape Design, Inc.
The Art of Fine Gardening™

BATTLEDECK HOUSE RESTORATION & REHABILITATION

441 CEDAR AVE,
HIGHLAND PARK, ILLINOIS

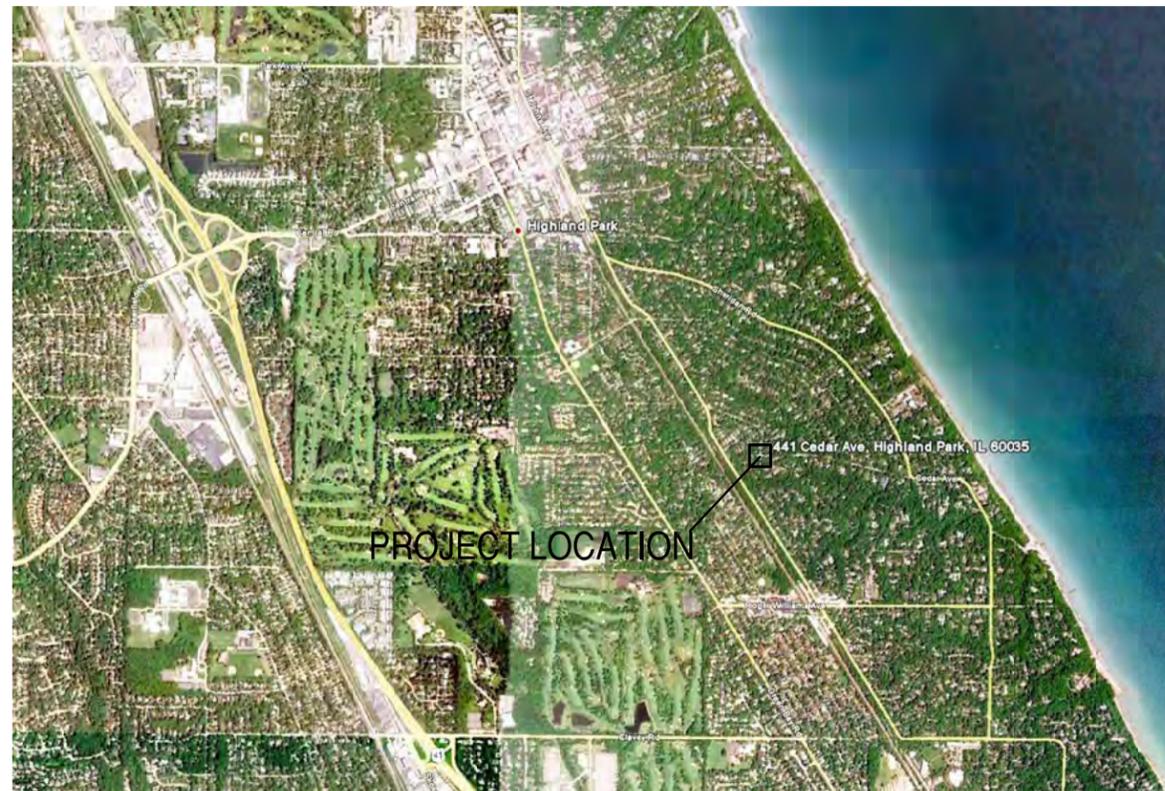
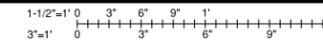
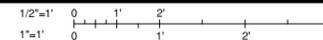
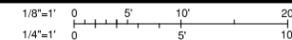
JLA PROJECT # 10818

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- A-1.0 SITE PLANS
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- A-2.1 ELEVATIONS (2)
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- A-6.1 EXISTING CONDITIONS PHOTOS
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- A-6.3 HISTORIC DOCUMENTATION

GENERAL NOTES

1. ALL WORK IS BEING UNDERTAKEN USING THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC PRESERVATION. ALL HISTORIC MATERIAL WILL BE TREATED WITH CARE AND RETAINED AS IS POSSIBLE. CONSULT WITH ARCHITECT WHERE QUESTIONS ARISE IN THE COURSE OF WORK.
2. COORDINATE ALL WORK WITH ARCHITECT & OWNER.
3. ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES OF HIGHLAND PARK, ILLINOIS, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, THE STATE OF ILLINOIS ACCESSIBILITY CODE (IAC), THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA), OSHA REGULATIONS, AND ALL AGENCIES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES.
5. THE CONTRACTOR SHALL PROVIDE INSTALLED MOCK-UPS FOR ARCHITECT REVIEW OF ALL RESTORATION COMPONENTS - INCLUDING BUT NOT LIMITED TO MORTAR REPOINTING, SEALANT REPOINTING (& BACKER ROD INSTALLATION), MORTAR REPAIRS, STONE REPAIRS, MASONRY CLEANING, STEEL WINDOW TREATMENTS, PAINTING, POINTING, ETC. SEE SPECIFICATIONS FOR REQUIREMENTS.
6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY INSPECT ALL FIELD CONDITIONS AFFECTING THEIR WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
7. THE CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THE CONTRACT DOCUMENTS AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO SUBMISSION OF THE BID PROPOSAL. ANY ERRORS OR AMBIGUITIES NOTED DURING SAID EXAMINATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT, PRIOR TO THE SUBMISSION OF A BID. THE ARCHITECT WILL ISSUE AN ADDENDUM OR INTERPRETATION OF THE CITED ERROR OR AMBIGUITY. NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OR ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERABLE FROM, SAID DOCUMENTS AS FURNISHED FOR BIDDING PURPOSES.
8. ALL WORK OF THE PROJECT IS TO BE PERFORMED CAREFULLY AND SKILLFULLY BY WORKERS ADEPT IN THEIR TRADES. SUBCONTRACTORS PERFORMING RESTORATION WORK MUST MEET THE QUALIFICATION STANDARDS REQUIRED BY THE SPECIFICATIONS.
9. ALL AREAS ADJACENT TO THE WORK TO BE PROTECTED AS NEEDED TO PREVENT DAMAGE OR INJURY.
10. CONTRACTOR IS RESPONSIBLE FOR ALL LANDSCAPE DAMAGE. PROPER PROTECTIONS WILL BE SUPPLIED BY THE CONTRACTOR, COORDINATED ALL SITE AND LANDSCAPE WORK WITH LANDSCAPE ARCHITECT.
11. DRAWINGS OF EXISTING CONSTRUCTION ARE INTENDED TO BE AN AID TO RESTORATION AND RECONSTRUCTION AND CANNOT BE ASSUMED TO BE ACCURATE IN DETAIL. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS BEFORE PROCEEDING. DO NOT USE DRAWINGS FOR ESTIMATION PURPOSES OR TAKE-OFFS.



2 LOCATION PLAN
SCALE: NTS



1 SITE PLAN
SCALE: NTS

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Battledeck House
Restoration & Rehabilitation
Highland Park, Illinois

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SHEET TITLE
**COVER, NOTES,
LOCATION PLAN,
SITE PLAN**

SHEET NO.
A-0.0



- INTERIOR NOTES:
- N1. STAIR TO ROOF:
 - A. INSTALL NEW WOOD AND GLASS DOOR, DESIGNATED HARDWARE TO MATCH OTHER INTERIOR DOORS.
 - B. REPAIR PLASTER ADJACENT TO WINDOW AND AT CEILING
 - C. REPAIR PLASTER WALLS AND CEILING. ALTERNATE: ADD SKIM COAT TO SMOOTH THE ROUGH TEXTURE.
 - N2. BATH 3:
 - A. REMOVE SUNKEN TUB, MIRRORED WALLS, TILE STEPS, AND ALL MODERN FINISHES.
 - B. PROVIDE AND INSTALL NEW TUB AND FITTINGS.
 - C. REPAIR PLASTER WALLS
 - D. REPAIR FLOOR AFTER DEMO. INSTALL NEW MOSAIC CERAMIC TILE FLOOR AND ASSUME NEW MOSAIC CERAMIC WALL TILE TO 4' AFF AT SOUTH AND EAST WALL.
 - N3. BOY'S ROOM: PLASTER REPAIRS AT CEILING AND WINDOW SOFFIT.
 - N4. MASTER BEDROOM: PLASTER REPAIRS AT CEILING AND WINDOW SOFFIT.
 - N5. HALL 202: PLASTER REPAIR AT CEILING
 - N6. BASEMENT FAMILY ROOM: INSTALL NEW INSULATED METAL DOOR AT FIREPLACE CLEAN OUT - INSULATE AND SEAL PERIMETER. FIREPROOF DOOR AND MATERIALS ONLY.
 - N7. GARAGE: REMOVE BULKHEAD. REMOVE CORK AND OTHER FIREPROOFING AND INSULATION MATERIAL AT SOFFIT ABOVE GARAGE DOOR. REPAIR WOOD SUPPORTS AND INSTALL NEW RIGID BOARD INSULATION
 - N8. SUPPLY AND INSTALL NEW FIREPLACE SURROUND. CLEAN SOAP STONE INTERIOR.
 - N9. BASEMENT STAIRS: REMOVE NAILS, SCRAPE AND PAINT TREADS & RISERS. ADD RUBBER TREADS.
 - N10. FILL HOLES ALL MISCELLANEOUS HOLES AT BASEMENT WALLS AT PIPE AND CONDUIT PENETRATIONS -- MAKE WATER TIGHT.
 - N11. FILL CRACKS AT GARAGE FLOOR.
 - N12. INTERIOR BRICK WALL AT WEST PORCH: TREAT AS ALL OTHER EXTERIOR WALLS, SEE EXTERIOR NOTE 1.
 - N13. CEILING AT M. BATH: REPAIR PLASTER & PAINT.
 - N14. NEW GARAGE DOOR.
 - N15. NEW LOCK AND WEATHERSTRIP ON STEEL DOOR.
 - N16. REFINISH CASEWORK: MATCH FINISH EAST WALL.
 - N17. NEW SCREEN DOOR, WOOD WITH BLACK SCREEN.

- FOUNDATION:
- F1. EXCAVATE EXTERIOR. POWERWASH DEBRIS AND LOOSE MATERIAL FROM FOUNDATION WALLS. APPLY BITUMINOUS DAMP-PROOF COATINGS, RIGID INSULATION, DRAIN TILE IN GRAVEL BED AT FOOTING. RETURN SOILS, SLOPING FINAL GRADE AWAY FROM WALLS. COORDINATE WITH SITE DRAINAGE AND LANDSCAPE ARCHITECT. REGRADING WILL BE NECESSARY ALONG NORTH AND EAST WALLS.
 - F2. EPOXY JOINTS BETWEEN FLOOR AND WALLS TYPICAL AT BASEMENT PERIMETER.
 - F3. NOT USED.
 - F4. AT NORTHEAST CORNER ROSE GARDEN, EXCAVATE AND RETURN SLOPE TO ORIGINAL SLOPE AS SHOWN ON DRAWINGS.
 - F5. MECHANICAL ROOM, NORTH WALL: REPAIR HOLES AND LEAKS AT MECHANICAL ROOM. ADD EPOXY SEALANT AT ALL PIPE PENETRATIONS BEFORE DAMP-PROOFING.
 - F6. CURVED WALL AT LAUNDRY AREA: REPAIR HOLE WITH EPOXY INJECTION.
 - F7. INSTALL NEW SLATE AT PORCH AND STAIR TREADS. VERIFY WITH OWNER.

ISSUE

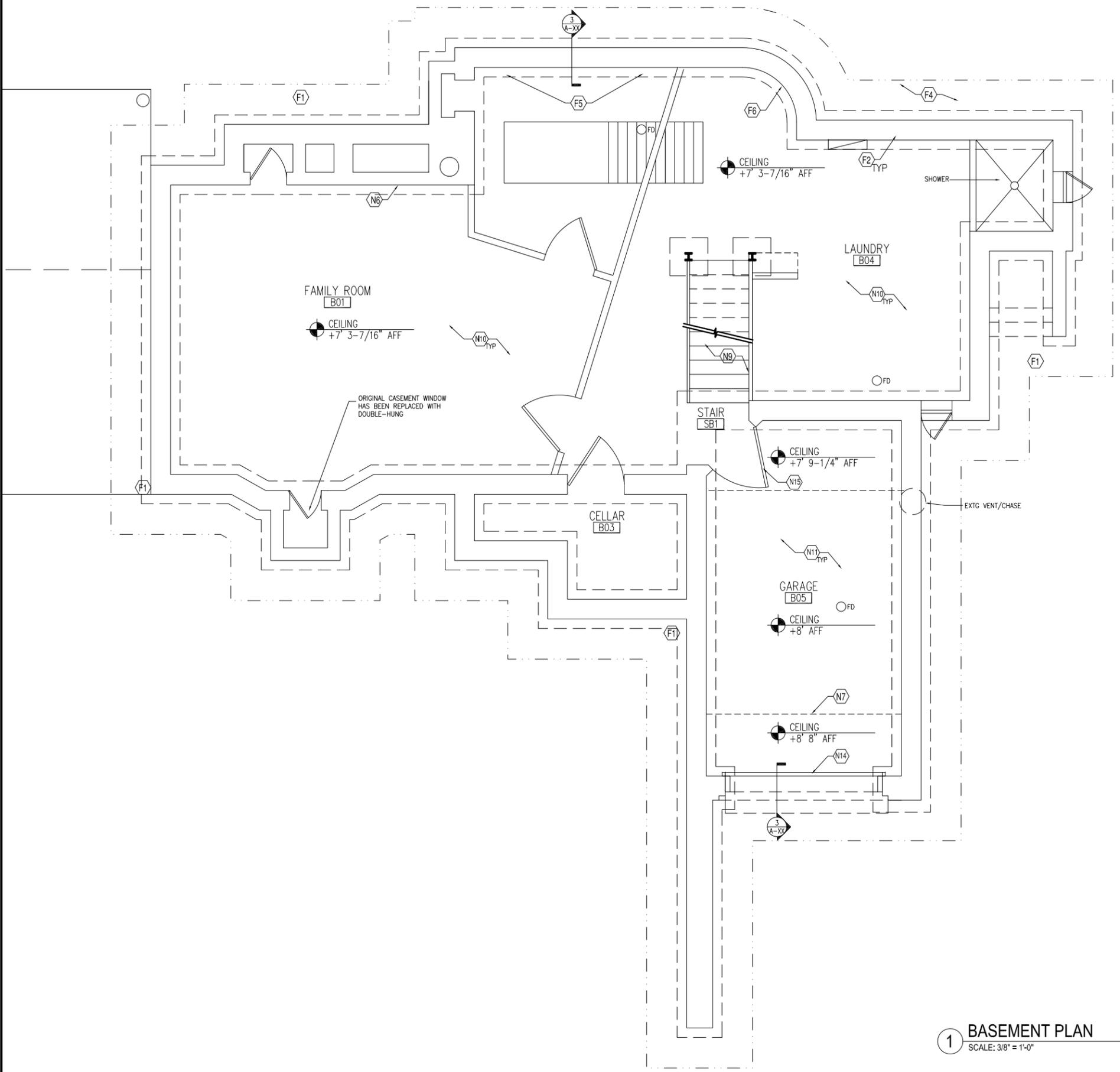
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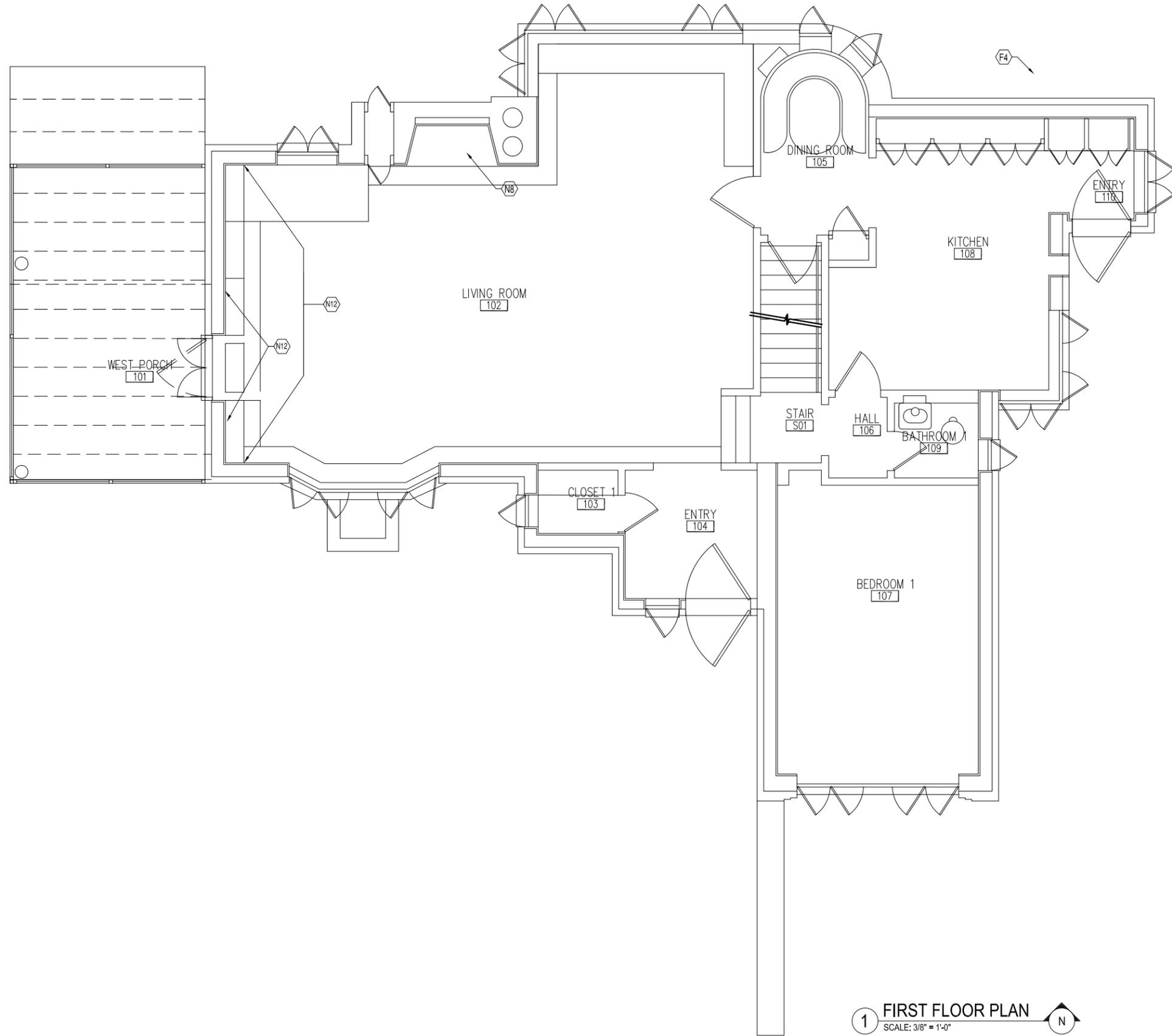
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SHEET TITLE
BASEMENT PLAN

SHEET NO.
A-1.1



1 BASEMENT PLAN
 SCALE: 3/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

- INTERIOR NOTES:
- N1. STAIR TO ROOF:
 - A. INSTALL NEW WOOD AND GLASS DOOR, DESIGNATED HARDWARE TO MATCH OTHER INTERIOR DOORS.
 - B. REPAIR PLASTER ADJACENT TO WINDOW AND AT CEILING
 - C. REPAIR PLASTER WALLS AND CEILING. ALTERNATE: ADD SKIM COAT TO SMOOTH THE ROUGH TEXTURE.
 - N2. BATH 3:
 - A. REMOVE SUNKEN TUB, MIRRORED WALLS, TILE STEPS, AND ALL MODERN FINISHES.
 - B. PROVIDE AND INSTALL NEW TUB AND FITTINGS.
 - C. REPAIR PLASTER WALLS
 - D. REPAIR FLOOR AFTER DEMO. INSTALL NEW MOSAIC CERAMIC TILE FLOOR AND ASSUME NEW MOSAIC CERAMIC WALL TILE TO 4' AFF AT SOUTH AND EAST WALL.
 - N3. BOY'S ROOM: PLASTER REPAIRS AT CEILING AND WINDOW SOFFIT.
 - N4. MASTER BEDROOM: PLASTER REPAIRS AT CEILING AND WINDOW SOFFIT.
 - N5. HALL 202: PLASTER REPAIR AT CEILING
 - N6. BASEMENT FAMILY ROOM: INSTALL NEW INSULATED METAL DOOR AT FIREPLACE CLEAN OUT -- INSULATE AND SEAL PERIMETER. FIREPROOF DOOR AND MATERIALS ONLY.
 - N7. GARAGE: REMOVE BULKHEAD. REMOVE CORK AND OTHER FIREPROOFING AND INSULATION MATERIAL AT SOFFIT ABOVE GARAGE DOOR. REPAIR WOOD SUPPORTS AND INSTALL NEW RIGID BOARD INSULATION
 - N8. SUPPLY AND INSTALL NEW FIREPLACE SURROUND. CLEAN SOAP STONE INTERIOR.
 - N9. BASEMENT STAIRS: REMOVE NAILS, SCRAPE AND PAINT TREADS & RISERS. ADD RUBBER TREADS.
 - N10. FILL HOLES ALL MISCELLANEOUS HOLES AT BASEMENT WALLS AT PIPE AND CONDUIT PENETRATIONS -- MAKE WATER TIGHT.
 - N11. FILL CRACKS AT GARAGE FLOOR.
 - N12. INTERIOR BRICK WALL AT WEST PORCH: TREAT AS ALL OTHER EXTERIOR WALLS, SEE EXTERIOR NOTE 1.
 - N13. CEILING AT M. BATH: REPAIR PLASTER & PAINT.
 - N14. NEW GARAGE DOOR.
 - N15. NEW LOCK AND WEATHERSTRIP ON STEEL DOOR.
 - N16. REFINISH CASEWORK: MATCH FINISH EAST WALL.
 - N17. NEW SCREEN DOOR, WOOD WITH BLACK SCREEN.

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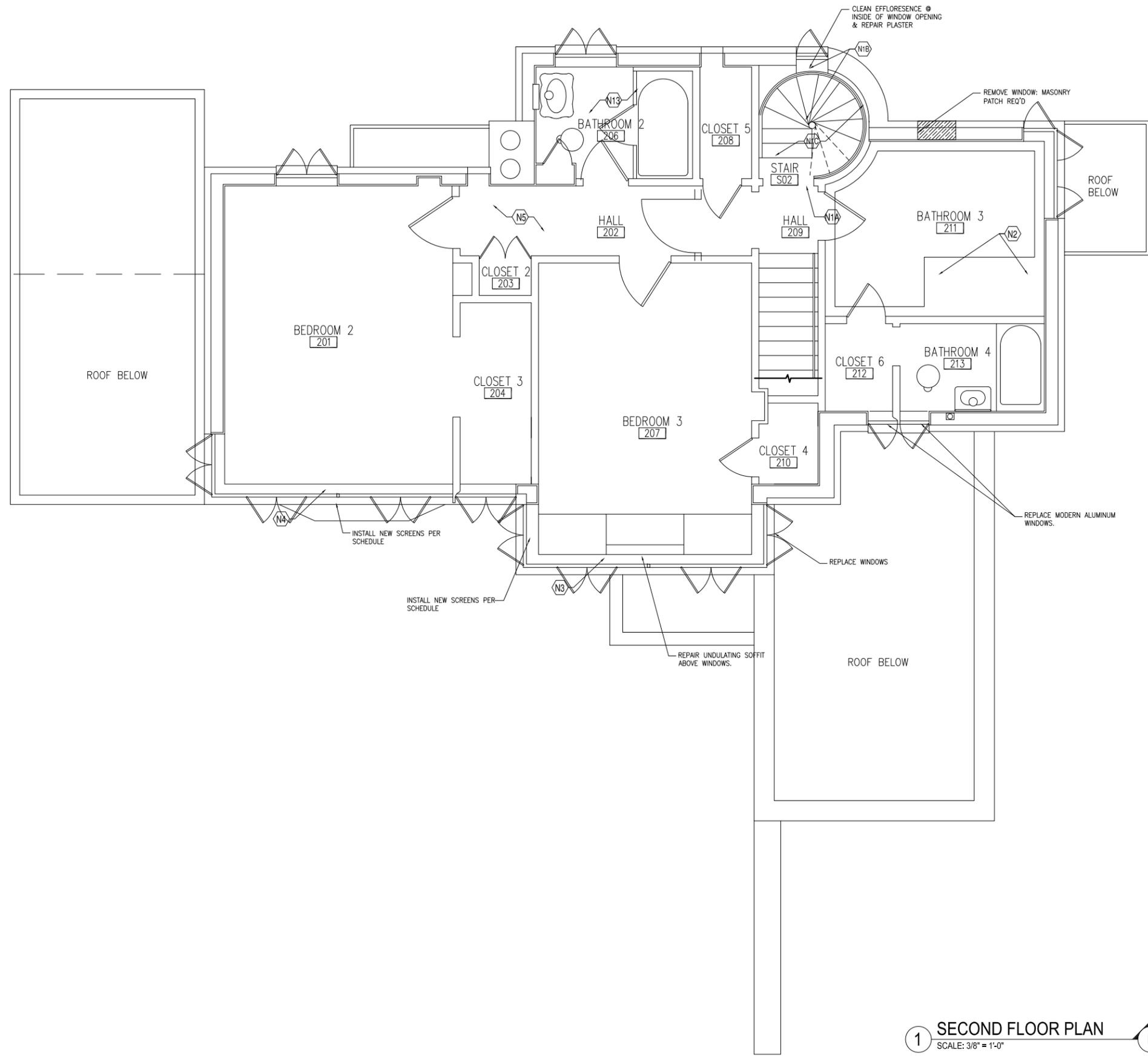
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SHEET TITLE
FIRST FLOOR PLAN

SHEET NO.
A-1.2



- INTERIOR NOTES:
- N1. STAIR TO ROOF:
 - A. INSTALL NEW WOOD AND GLASS DOOR, DESIGNATED HARDWARE TO MATCH OTHER INTERIOR DOORS.
 - B. REPAIR PLASTER ADJACENT TO WINDOW AND AT CEILING
 - C. REPAIR PLASTER WALLS AND CEILING. ALTERNATE: ADD SKIM COAT TO SMOOTH THE ROUGH TEXTURE.
 - N2. BATH 3:
 - A. REMOVE SUNKEN TUB, MIRRORED WALLS, TILE STEPS, AND ALL MODERN FINISHES.
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 - N8. SUPPLY AND INSTALL NEW FIREPLACE SURROUND. CLEAN SOAP STONE INTERIOR.
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 - N10. FILL HOLES ALL MISCELLANEOUS HOLES AT BASEMENT WALLS AT PIPE AND CONDUIT PENETRATIONS -- MAKE WATER TIGHT.
 - N11. FILL CRACKS AT GARAGE FLOOR.
 - N12. INTERIOR BRICK WALL AT WEST PORCH: TREAT AS ALL OTHER EXTERIOR WALLS, SEE EXTERIOR NOTE 1.
 - N13. CEILING AT M. BATH: REPAIR PLASTER & PAINT.
 - N14. NEW GARAGE DOOR.
 - N15. NEW LOCK AND WEATHERSTRIP ON STEEL DOOR.
 - N16. REFINISH CASEWORK: MATCH FINISH EAST WALL.
 - N17. NEW SCREEN DOOR, WOOD WITH BLACK SCREEN.

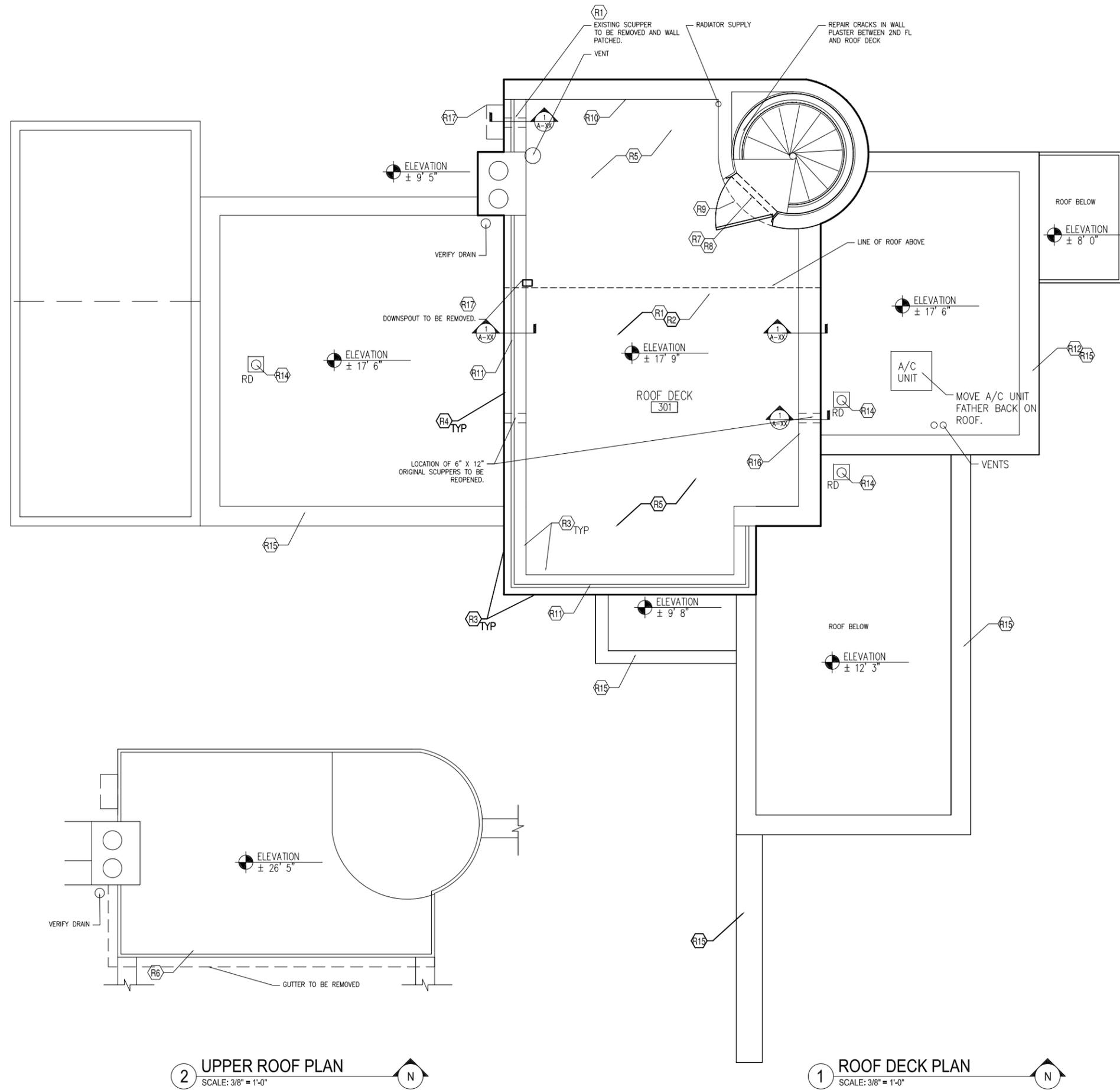
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SHEET TITLE
SECOND FLOOR PLAN

1 SECOND FLOOR PLAN
 SCALE: 3/8" = 1'-0"



- ROOF NOTES:
- R1. NOT USED.
 - R2. ROOF DECK TREATMENT: ROOF TO BE REMOVED AND RETURNED TO ORIGINAL CONFIGURATION. OPEN ORIGINAL SCUPPERS IN WEST AND EAST PARAPET WALLS. FIT WITH METAL SCUPPER LINERS. ADD SPLASH BLOCKS. APPLY NEW RIGID INSULATION BOARD AND FULLY ADHERED MEMBRANE ROOFING WITH TERMINATION BAR AT 12" ABOVE ROOF LEVEL. REMOVE SCUPPER AND DOWNSPOUT AT NORTH WEST SIDE OF ROOF. INFILL HOLE WITH MASONRY TO MATCH ADJACENT.
 - R3. ALTERNATE: REMOVE ALL "MODERN" FACE BRICK AT ROOF DECK PARAPET WALL AND REPLACE WITH COMMON BRICK TO MATCH ORIGINAL.
 - R5. REMOVE AND REHAB WOOD DECKING UNITS. ALTERNATE 1: SUPPLY NEW WOOD OR SLATE DECK UNITS FOR ROOF DECK.
 - R6. UPPER ROOF AT STAIRWELL: REMOVE GUTTER AND DOWNSPOUT.
 - R7. DOOR TO ROOF DECK: REPAIR DETERIORATED AREAS AT BOTTOM EDGE OF DOOR. REPAIR FINISH TO BLEND WITH REST OF DOOR. OIL. REFURBISH HARDWARE.
 - R8. DOOR FRAME: SCRAPE, PRIME, PAINT.
 - R9. DOOR STEP: REMOVE ALL ROOF MATERIAL, REMOVE STONE, RE FLASH IF REQUIRED. CLEAN STONE.
 - R10. BRICK WALL AT NORTH SIDE OF ROOF DECK: TREAT AS REMAINDER OF FAÇADE. RE-CAULK JOINT AT TOP OF WALL AT CEILING.
 - R11. SUPPLY AND INSTALL NEW 42" WOOD (MAHOGANY OR TEAK) HANDRAIL. MATCH PROFILE AND COLOR OF ORIGINAL REMNANT AT NORTH WEST CORNER OF ROOF DECK. ATTACH WITH STEEL SUPPORTS AT INSIDE FACE OF BRICK PARAPET AT 6' OC (VERIFY). PAINT.
 - R12. AT EAST ROOF (ABOVE GIRL'S BATH) REMOVE ZINC COATED COPPER CAP AND ALL METAL CAPS, REMOVE COPING STONES. REPLACE WITH NEW SLATE COPING STONE, FLASHING, DRIP EDGE. SEE DETAIL X/AX.X
 - R13. BRICK PARAPET AT ROOF DECK: CLEAN BRICK, PATCH AND REPAIR AS REQUIRED, APPLY MINERAL PAINT. (SIMILAR TREATMENT TO REST OF HOUSE) SEE EXTERIOR NOTE 1. SEE DETAIL X/AX.X
 - R14. AT EXISTING ROOF DRAINS, ADD 1/2" HARDWARE MESH BOX AT DRAINS.
 - R15. REMOVE ALL METAL CAPS AND MARBLE COPING STONES AT ALL PARAPETS AND AT "WING WALL" AT DRIVEWAY. INSTALL SLATE COPING STONE. CLEAR DEBRIS FROM TOP OF WALL, ADD THIN LAYER MORTAR, LEAD COATED COPPER FLASHING (NO MORTAR ON TOP THIS FLASHING), PIN STONE IN PLACE WITH STAINLESS STEEL PINS, ASSUME THREE PER STONE UNIT. EPOXY STONES INTO SLATE.
 - R16. ADD ELECTRIC OUTLET AT ROOF DECK, EAST WALL PARAPET. CONFIRM WITH OWNER.
 - R17. DOWNSPOUT TO BE REMOVED. PATCH ADJACENT AREAS AS REQUIRED.

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SHEET TITLE
ROOF PLANS

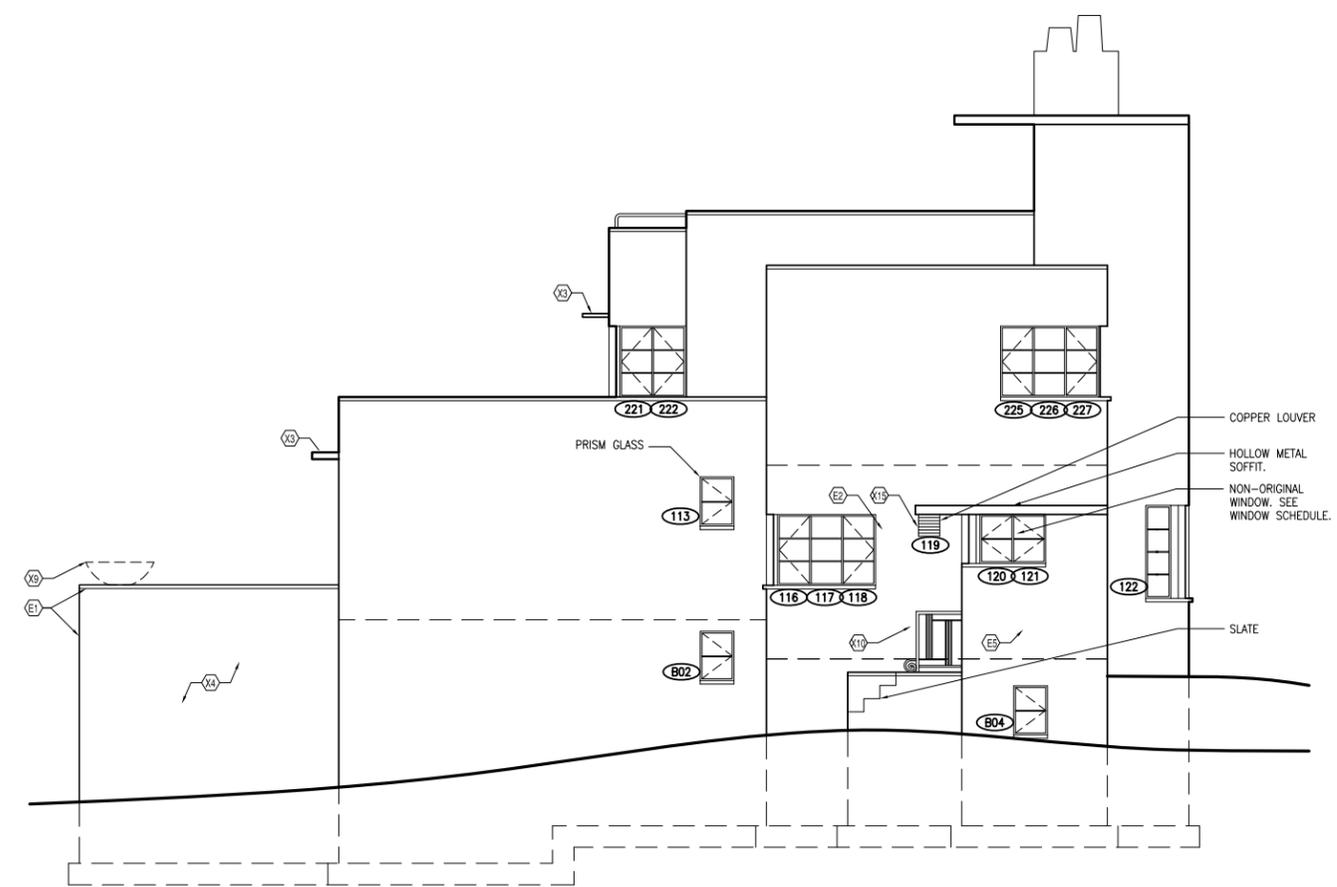
SHEET NO.
A-1.4

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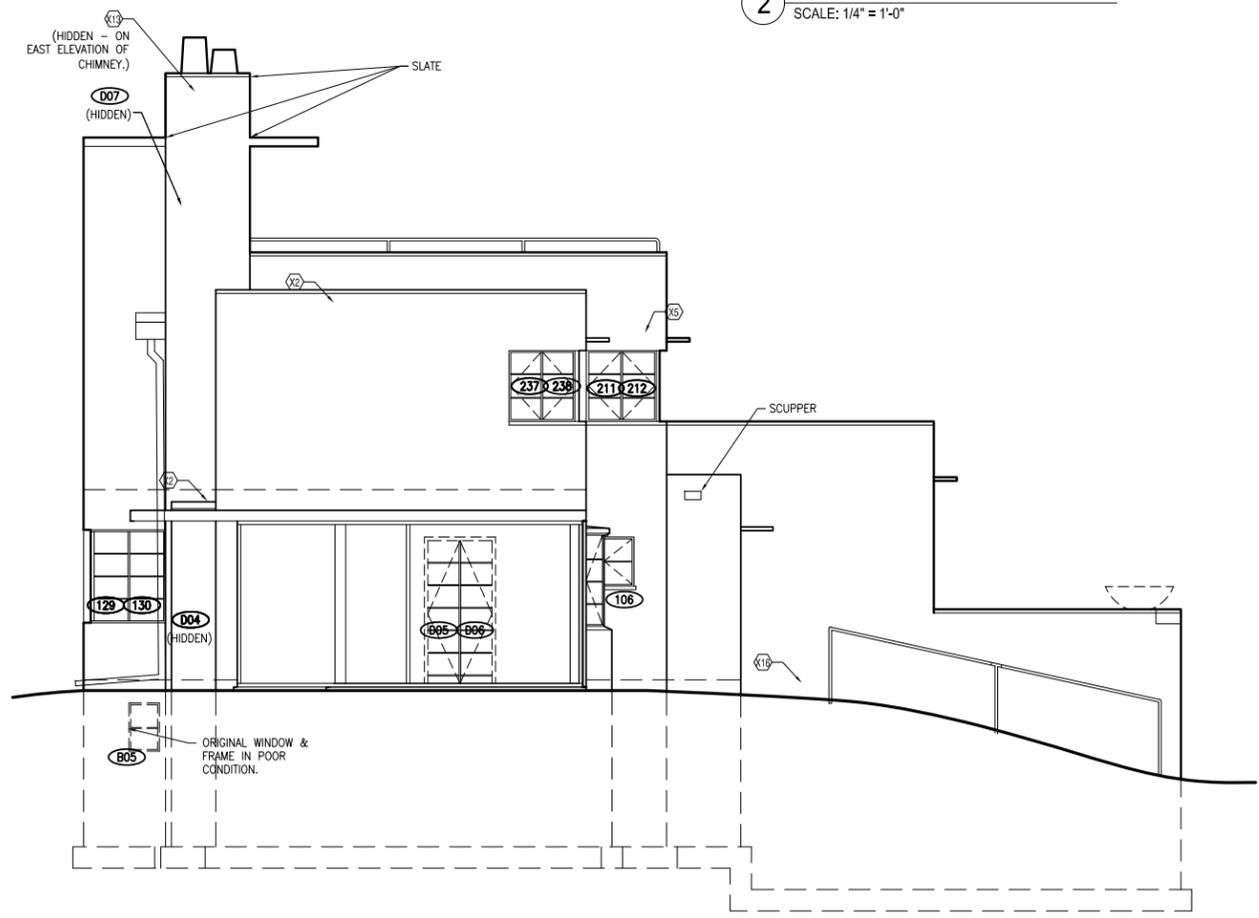
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3/4"=1' 0 1' 2' 4'

1/2"=1' 0 1' 2' 4' 6'
1"=1' 0 1' 2' 4' 6'

1-1/2"=1' 0 3' 6' 9' 12'
3"=1' 0 3' 6' 9' 12'



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR:
- X1. CLEAN ALL MASONRY SURFACES TO REVEAL TRUE CONDITION OF BRICK BEHIND. MORTAR ANALYSIS TO DETERMINE ORIGINAL MAKE UP OF MORTAR. POSSIBLE WORK IN THESE AREAS:
 - A. REPLACE CRACKED OR DETERIORATED BRICK WITH UNITS COMPATIBLE WITH ORIGINAL
 - B. REMOVE LARGE AREAS OF CEMENT PATCH AND REPLACE WITH NEW BRICK COMPATIBLE WITH ORIGINAL.
 - C. GRIND ALL JOINTS AND POINT WITH MORTAR TO MATCH ORIGINAL
 - D. CLEAN MORTAR AND PATCH MATERIAL FROM SURFACE OF BRICK
 - E. APPLY KEIM FINISH (OR SIMILAR MINERAL FINISH). (SOLDILIT SYSTEM)
 - X2. INSTALL NEW FLASHING AT ALL JUNCTIONS BETWEEN ROOF AND WALL

- X3. SLATE WINDOW HOODS: REMOVE ALL SLATE HOODS AND ALL ASSOCIATED PAINTED METAL WORK. REPLACE WITH NEW SLATE HOODS TO MATCH ORIGINAL INSTALLATION. FIT ALL WITH PREFINISHED METAL CAP WITH DRIP EDGE. ADD BEAD SEALANT AT PERIMETER.
- X4. SOUTH WING WALL: EXCAVATE AT WEST AND EAST SIDE DOWN TO CONCRETE BRICK LEDGE AND FIRST BRICK COURSE. CONSOLIDATE AS REQUIRED. BACKFILL ONLY TO LINE OF CONCRETE. DO NOT COVER BRICK COURSE. IF ANY BRICK WILL BE COVERED DUE TO LANDSCAPE SLOPE, PARGE WITH BITUMINOUS COATING AND ADD CUT-IN STEP FLASHING, LAPPED.
- X5. REROUTE CABLES AND CONDUIT AT EAST ELEVATION.
- X6. ADD NEW METAL HOUSE NUMBERS TO MATCH ORIGINAL DESIGN
- X7. ADD NEW MAILBOX TO MATCH ORIGINAL DESIGN.
- X8. NOT USED.
- X9. REMOVE URN AT WING WALL. RETAIN FOR REUSE BY OWNER.
- X10. PAINT METAL PART OF RAIL AT BACK DOOR. REATTACH WOOD RAILING AT TOP.
- X11. PAINT ALL MISCELLANEOUS WOOD OR METAL TRIM.
- X12. DOOR AT WOOD CLOSET WEST OF FIREPLACE: CONSOLIDATE AT BOTTOM, REPAIR AND REPAINT.
- X13. ADD FLASHING AT CHIMNEY
- X14. REMOVE PAINT FROM STONE AT KITCHEN DINING AREA WINDOW.
- X15. REMOVE SMALL VENT AT KITCHEN PORCH. INSTALL NEW, PAINT TO MATCH WALL.
- X16. REMOVE SPIGOT AT FRONT DOOR, EAST WALL.
- X17. INSTALL SPIGOT AT NORTH SIDE OF HOUSE, COORDINATE WITH LANDSCAPE ARCHITECT.
- X18. INSTALL NEW WOOD GARAGE DOOR WITH WINDOWS TO MATCH ORIGINAL DESIGN. CONNECT TO EXISTING OPERATOR.
- X19. PAINT METAL RAILING. WOOD HANDRAIL: DO NOT TREAT, JUST REATTACH.

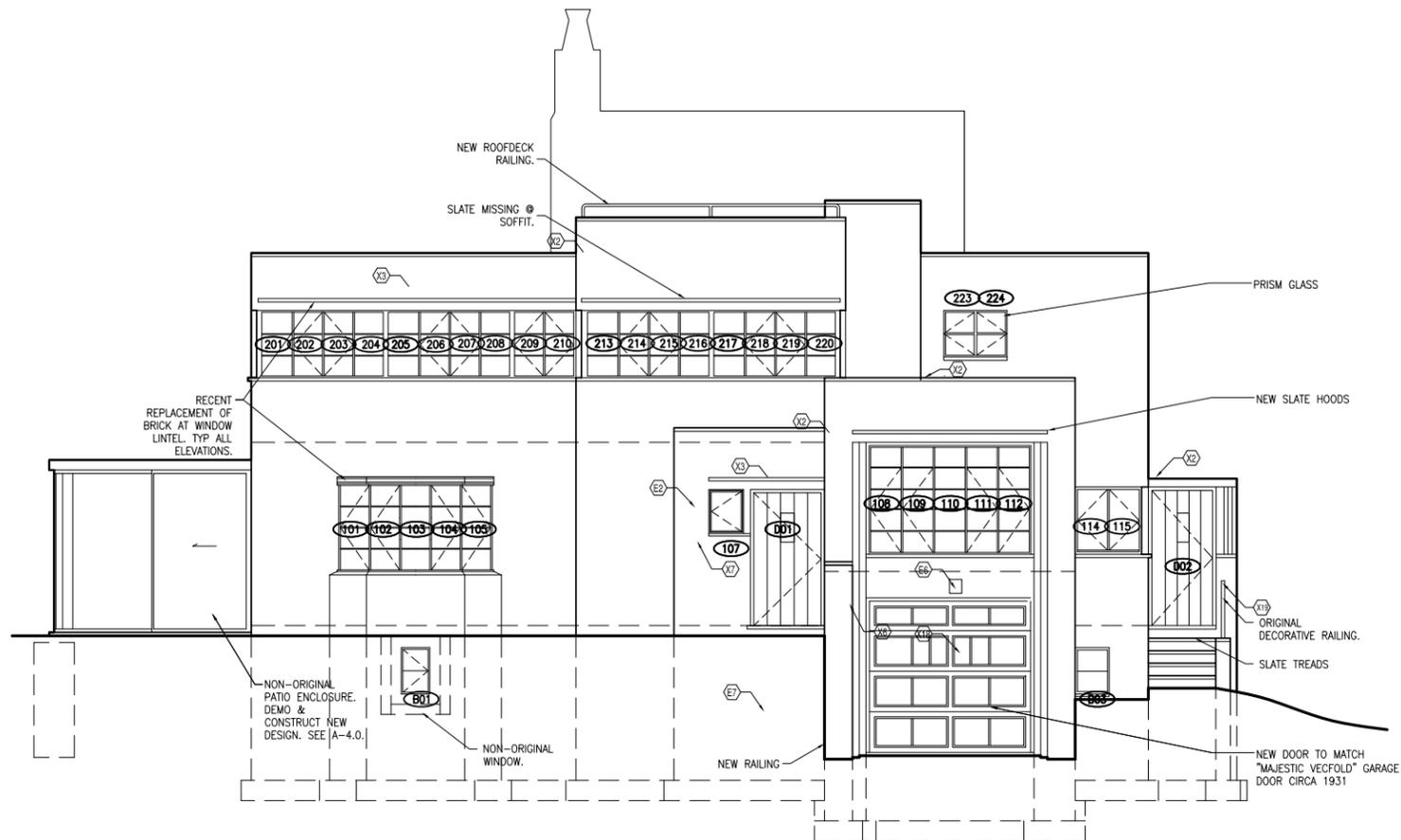
- ELECTRICAL NOTES:
- E1. REFURBISH LIGHT FIXTURE AT WING WALL. CLEAN METAL AND GLASS, REWIRE.
 - E2. PROVIDE AND INSTALL NEW FIXTURE AT FRONT DOOR
 - E3. PROVIDE AND INSTALL NEW FIXTURE AT BACK DOOR
 - E4. NEW CONFIGURATION OF SERVICE AT WEST PORCH
 - E5. REMOVE CONDUIT AND CABLES FROM WEST WALL
 - E6. INSTALL NEW LIGHT ABOVE GARAGE
 - E7. LIGHTING AT FRONT STEPS: COORDINATE WITH LANDSCAPE ARCHITECT
 - E8. LIGHTING AT WEST PORCH DOOR: COORDINATE WITH PATIO LIGHTING AND LANDSCAPE ARCHITECT
 - E9. ADD EXTERIOR OUTLETS (DUPLX WITH CAPS). COORDINATE WITH LANDSCAPE ARCHITECT.

ISSUE		
NO.	DATE	DESCRIPTION
3	02/03/11	ISSUE FOR BUDGET PRICING
2	01/20/11	DESIGN DEVELOPMENT
1	12/1/10	SCHEMATIC DESIGN

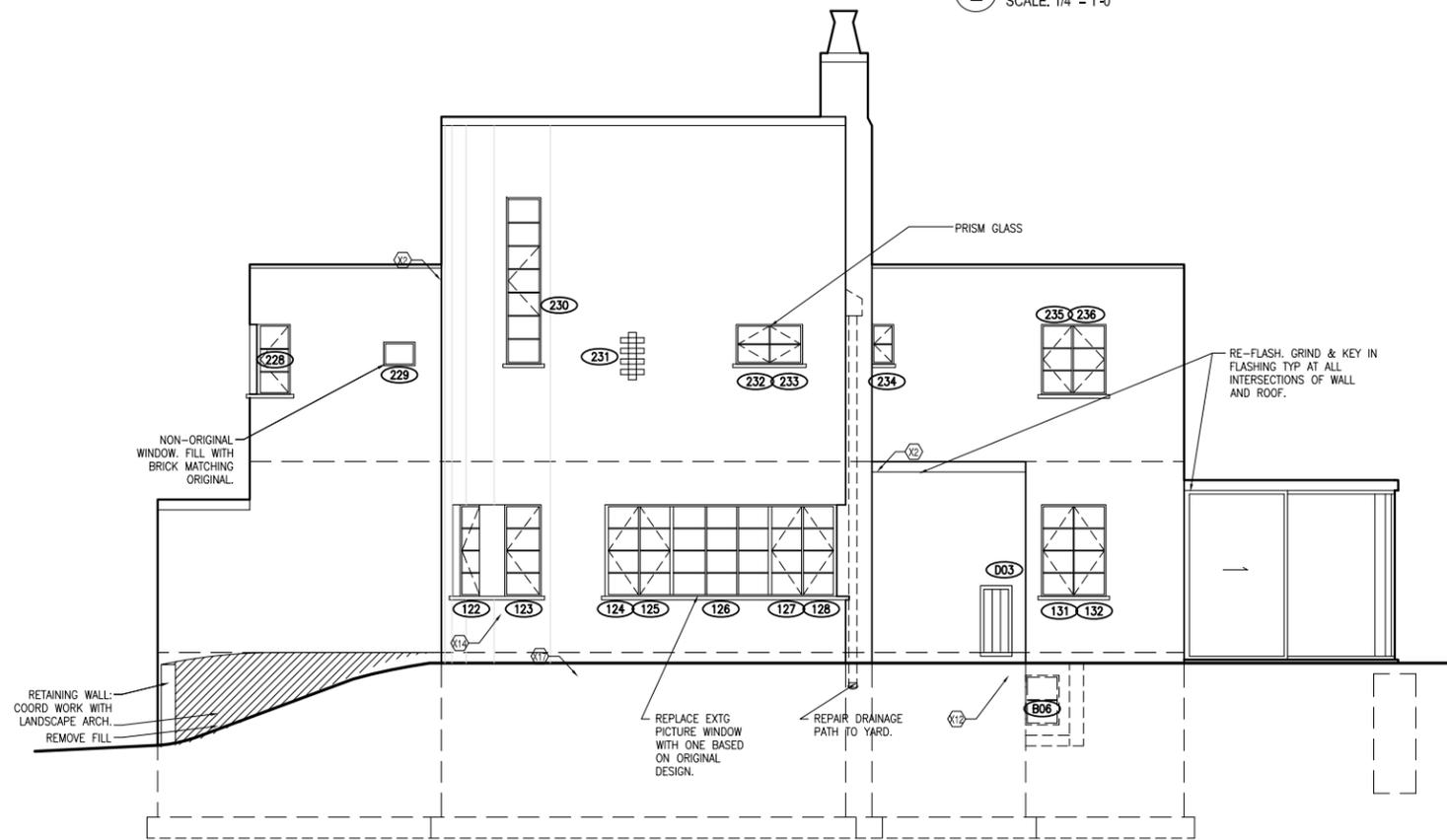
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DATE: VARIES 10818

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SHEET TITLE
ELEVATIONS
SHEET NO.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR:

- X1. CLEAN ALL MASONRY SURFACES TO REVEAL TRUE CONDITION OF BRICK BEHIND. MORTAR ANALYSIS TO DETERMINE ORIGINAL MAKE UP OF MORTAR. POSSIBLE WORK IN THESE AREAS:
 - A. REPLACE CRACKED OR DETERIORATED BRICK WITH UNITS COMPATIBLE WITH ORIGINAL
 - B. REMOVE LARGE AREAS OF CEMENT PATCH AND REPLACE WITH NEW BRICK COMPATIBLE WITH ORIGINAL
 - C. GRIND ALL JOINTS AND POINT WITH MORTAR TO MATCH ORIGINAL
 - D. CLEAN MORTAR AND PATCH MATERIAL FROM SURFACE OF BRICK
 - E. APPLY KEIM FINISH (OR SIMILAR MINERAL FINISH). (SOLDILIT SYSTEM)
- X2. INSTALL NEW FLASHING AT ALL JUNCTIONS BETWEEN ROOF AND WALL
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- X5. REROUTE CABLES AND CONDUIT AT EAST ELEVATION.
- X6. ADD NEW METAL HOUSE NUMBERS TO MATCH ORIGINAL DESIGN
- X7. ADD NEW MAILBOX TO MATCH ORIGINAL DESIGN.
- X8. NOT USED.
- X9. REMOVE URN AT WING WALL. RETAIN FOR REUSE BY OWNER.
- X10. PAINT METAL PART OF RAIL AT BACK DOOR. REATTACH WOOD RAILING AT TOP.
- X11. PAINT ALL MISCELLANEOUS WOOD OR METAL TRIM.
- X12. DOOR AT WOOD CLOSET WEST OF FIREPLACE: CONSOLIDATE AT BOTTOM, REPAIR AND REPAINT.
- X13. ADD FLASHING AT CHIMNEY
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- X15. REMOVE SMALL VENT AT KITCHEN PORCH. INSTALL NEW, PAINT TO MATCH WALL.
- X16. REMOVE SPIGOT AT FRONT DOOR, EAST WALL.
- X17. INSTALL SPIGOT AT NORTH SIDE OF HOUSE, COORDINATE WITH LANDSCAPE ARCHITECT.
- X18. INSTALL NEW WOOD GARAGE DOOR WITH WINDOWS TO MATCH ORIGINAL DESIGN. CONNECT TO EXISTING OPERATOR.
- X19. PAINT METAL RAILING. WOOD HANDRAIL: DO NOT TREAT, JUST REATTACH.

ELECTRICAL NOTES:

- E1. REFURBISH LIGHT FIXTURE AT WING WALL. CLEAN METAL AND GLASS, REWIRE.
- E2. PROVIDE AND INSTALL NEW FIXTURE AT FRONT DOOR
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- E5. REMOVE CONDUIT AND CABLES FROM WEST WALL
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- E8. LIGHTING AT WEST PORCH DOOR: COORDINATE WITH PATIO LIGHTING AND LANDSCAPE ARCHITECT
- E9. ADD EXTERIOR OUTLETS (DUPLEX WITH CAPS). COORDINATE WITH LANDSCAPE ARCHITECT.

ISSUE

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SHEET TITLE

ELEVATIONS

SHEET NO.

A-2.0



WINDOWS:

- W1. REPAIR WINDOWS AS INDICATED ON SCHEDULE
- W2. PROVIDE AND INSTALL NEW ROLLER SHADES AS INDICATED ON SCHEDULE
- W3. NON -ORIGINAL WINDOW OPENING: MASONRY AND BRICK INFILL TO MATCH ADJACENT.
- W4. TEST PAINT SAMPLE TO DETERMINE ORIGINAL COLOR (DARK GREY)
- W5. AT ALL STEEL WINDOWS AND AT WINDOW AND DOOR FRAMES: REMOVE LOOSE PAINT BY SCRAPING AND USING A WIRE BRUSH. REMOVE ALL LOOSE MATERIAL. PRIME WITH RUST-INHIBITING PRIMER AND ADD TWO COATS PAINT PER MANUFACTURER'S INSTRUCTIONS.
- W6. INSTALL FLASHING ABOVE WINDOWS, TYP.
- W7. DOORS: STRIP PAINT, REFINISH PER ARCHITECT'S SAMPLE.
- W8. INSTALL NEW FLASHING AT WINDOW SILLS, COORDINATE WITH MASONRY REPAIRS.

DOOR SCHEDULE

DOOR #	FACADE	ROOM #	TYPE	DIMENSIONS			MATERIAL	DOOR FINISH		FRAME FINISH		SCREEN?	HARDWARE	FRAME CONDITION	DOOR CONDITION	LITES CONDITION	OTHER REMARKS	ACTION	
				WIDTH	HEIGHT	DEPTH		INTERIOR	EXTERIOR	INTERIOR	EXTERIOR								
DD1	SE	103					WOOD	STN/LQR	PNT	STN/LQR	PNT	NONE	3 HINGES, LOCKABLE KNOB, DEADBOLT, MAIL SLOT, KICKPLATE @ EXT	F	F	G	WEATHERSTRIP @ SILL		
DD2	SE	110					WOOD	STN/LQR	PNT	STN/LQR	PNT	NONE	3 HINGES, KEYLOCK, KNOB, DEADBOLT	F	F	G	WEATHERSTRIP @ SILL		
DD3	NW	102					WOOD					N/A	? HINGES, DEADBOLT, U PULL	P	P	N/A	LOG DOOR		
DD4	NE	101					ALUMINUM											NON-ORIG DOOR & FRAME	
DD5	SW	101					STEEL	PNT		PNT	PNT	NONE	3 HINGES, TOP LOCK, KNOB CONNECTED TO BOTTOM LOCK, SPRING (ORIG?)	F	F	G	ORIG HARDWARE ALTERED		
DD6	SW	101					STEEL	PNT		PNT	PNT	NONE	3 HINGES, TOP LOCK, BOTTOM LOCK	F	F	G			
DD7	N/A	S02					WOOD	STN/LQR	STN/LQR	STN/LQR	STN/LQR	N/A	2 HINGES, ORIG KNOB?, LOCK FROM EXT?, WEATHERSTRIP @ SILL	G	G	G	FRAME ORIG?, DOOR NOT ORIG?		
DD8	SW	301					WOOD	STN/LQR	STN/LQR	STN/LQR	STN/LQR	NONE	3 HINGES, KNOB/PLATE WITH KEYHOLE, DEADBOLT	F	F	N/A	WEATHERSTRIP @ SILL		

WINDOW SCHEDULE

WINDOW #	FACADE	ROOM #	CURRENT OPERATION	TYPE	DIMENSIONS			MATERIAL	SASH FINISH		FRAME FINISH		SCREEN/STORM?	HARDWARE IF OTHER THAN TYP	FRAME CONDITION	SASH CONDITION	LITES CONDITION	OTHER REMARKS	ACTION
					WIDTH	HEIGHT	DEPTH		INTERIOR	EXTERIOR	INTERIOR	EXTERIOR							
B01	SE	B01	FXD				VINYL						NONE	G	G	G	NON-ORIGINAL		
B02	NE	B05	C				STEEL			PNT	PNT		NO STORM. SCRNP?						
B03	SE	B04	C				STEEL						NONE	F	F	G			
B04	NE	B04	C				STEEL						ORIG SCRNP	P	P	NO TOP LITE-VENT	OVERALL VERY POOR CONDITION.		
B05	SW	B02	C				STEEL						ORIG SCRNP (BROKEN)	P	P	1 BROKEN	OVERALL VERY POOR CONDITION.		
B06	NW	B01	C				STEEL						NONE	F	F	G			
101	SE	102	C				STEEL						STORM	F	F	G			
102	SE	102	C				STEEL						STORM	F	F	G	DETERIORATING CAULK @ SILL		
103	SE	102	FXD				STEEL						STORM	F	F	G	DETERIORATING CAULK @ SILL		
104	SE	102	C				STEEL						STORM	F	F	G			
105	SE	102	C				STEEL						STORM	F	F	G			
106	SW	103	C				STEEL						STORM & ORIG SCRNP	F	F	G			
107	SE	104	C				STEEL						STORM & ORIG SCRNP	F	F	1 CRACKED	WILL NOT CLOSE		
108	SE	107	C				STEEL						ORIG SCRNP	F	F	G			
109	SE	107	C				STEEL							F	F	G			
110	SE	107	FXD				STEEL							F	F	G			
111	SE	107	C				STEEL							F	F	1 LITE (TOP) CRACKED			
112	SE	107	C				STEEL						ORIG SCRNP - CAN SEE CASING	F	F	G			
113	NE	109	C				STEEL						STORM	F- RUSTY	F- RUSTY	G	WILL NOT CLOSE		
114	SE	108	C				STEEL						ORIG SCRNP, SHARED WITH 115	F	F	G			
115	SE	108	C				STEEL						ORIG SCRNP, SHARED WITH 114	F	F	G			
116	NE	108	C				STEEL						ORIG SCREEN	F	F	G			
117	NE	108	FXD				STEEL							F	F	G			
118	NE	108	C				STEEL							F	F	G			
119	NE	108	N/A											F	F	G			
120	NE	110	SLIDING SASH				ALUMINUM						SCRNP W/N WINDOW UNIT	G	G	G	N/A - BRICKED IN COMBINED WITH 121 SEE 120		
121	NE	110																	
122	NW	105	C				STEEL						ORIG SCREEN	F	F	G			
123	NW	105	C				STEEL						ORIG SCREEN	F	F	G			
124	NW	102	C				STEEL						STORM, SHARED WITH 125	F	F	G			
125	NW	102	C				STEEL						STORM, SHARED WITH 124	F	F	G			
126	NW	102	FXD				STEEL							F	F	G			
127	NW	102	C				STEEL						STORM, SHARED WITH 128	F	F	G			
128	NW	102	C				STEEL						STORM, SHARED WITH 127	F	F	G			
129	SW	102	C				STEEL						STORM, SHARED WITH 130	F	F	G			
130	SW	102	C				STEEL						STORM, SHARED WITH 129	F	F	G			
131	NW	102	C				STEEL						STORM, SHARED WITH 132	F	F	G			
132	NW	102	C				STEEL						STORM, SHARED WITH 131	F	F	G			
201	SE	201	FXD				STEEL						APPLIED SCRNP, SHARED W/ 203	F	F	G			
202	SE	201	C				STEEL						APPLIED SCRNP, SHARED W/ 202	F	F	G			
203	SE	201	C				STEEL							F	F	G			
204	SE	201	FXD				STEEL							F	F	G	SILL SLIGHTLY DISPLACED		
205	SE	201	FXD				STEEL							F	F	G			
206	SE	201	C				STEEL						APPLIED SCRNP, SHARED W/ 205	F	F	G			
207	SE	201	C				STEEL						APPLIED SCRNP, SHARED W/ 204	F	F	G			
208	SE	201	FXD				STEEL							F	F	G			
209	SE	205	C				STEEL						ORIG SCRNP, SHARED WITH 210	F	F	G			
210	SE	205	C				STEEL						ORIG SCRNP, SHARED WITH 209	F	F	G			
211	SW	207	C				STEEL						APPLIED SCRNP, SHARED W/ 213	F	F	G			
212	SW	207	C				STEEL						APPLIED SCRNP, SHARED W/ 212	F	F	G			
213	SE	207	FXD				STEEL							F	F	G			
214	SE	207	C				STEEL							F	F	G			
215	SE	207	C				STEEL							F	F	G			
216	SE	207	FXD				STEEL							F	F	G			
217	SE	207	FXD				STEEL							F	F	G			
218	SE	207	C				STEEL							F	F	G			
219	SE	207	C				STEEL							F	F	G			
220	SE	207	FXD				STEEL							F	F	G			
221	NE	207	FXD				ALUMINUM						ORIG SCRNP, SHARED WITH 222	G	G	G	NON-ORIGINAL LITE, COMBINES 221&222		
222	NE	207	FXD				ALUMINUM						ORIG SCRNP, SHARED WITH 221	G	G	G	SEE 221		
223	SE	212	DH				VINYL?						STRM & SCRNP W/N WINDOW UNIT	G	G	G	NON-ORIGINAL		
224	SE	213	DH				VINYL?						STRM & SCRNP W/N WINDOW UNIT	G	G	G	NON-ORIGINAL		
225	NE	211	C				STEEL							F	F	G			
226	NE	211	FXD				STEEL							F	F	G			
227	NE	211	C				STEEL							F	F	G			
228	NW	211	C				STEEL						APPLIED SCRNP	F	F	G			
229	NW	211	FXD				ALUMINUM						STORM	F	G	G	NON-ORIGINAL		
230	NW	S02	C@CTR				STEEL						ORIG SCRNP @ CTR	P	P	2 CRACKED	FXD @ TOP & BOTTOM. NEED ACCESS TO ASSESS CONDITION		
231	NW	208	C				STEEL						WOOD INT STORM	-	-	-			
232	NW	206	C				STEEL						ORIG SCRNP, SHARED W/233	F	F	G			
233	NW	206	C				STEEL						ORIG SCRNP, SHARED W/232	F	F	G			
234	NW	202	C				STEEL						STORM & ORIG SCRNP	F	F	G			
235	NW	201	C				STEEL						APPLIED SCRNP, SHARED W/ 236	F	F	G			
236	NW	201	C				STEEL						APPLIED SCRNP, SHARED W/ 235	F	F	G			
237	SW	201	C				STEEL							F	F	G			
238	SW	201	C				STEEL							F	F	G			

DOOR NOTES:

- 1. STRIP AND REFINISH ORIGINAL DOORS AND FRAMES. CONSOLIDATE AND REPAIR WHERE NEEDED.
- 2. NON-ORINGAL DOOR DD4 TO BE REPLACED WITH RENOVATION OF PATIO.
- 3. STRIP & REPAINT STEEL DOORS.
- 4. REFURBISH ALL HARDWARE AND REINSTALL.

WINDOW NOTES:

- 1. FOR ALL ORIGINAL STEEL WINDOWS: SAND, PRIME, AND REFINISH WITH SEMI-GLASS TO GLOSSY PAINT. REGLAZE WHERE NECESSARY.
- 2. REMOVE AND REFURBISH ALL HARDWARE.
- 3. WHERE NEEDED, REPLACE OR REPAIR FRAMES AND SASHES TO FUNCTION PROPERLY.
- 4. REPLACE NON-ORIGINAL WINDOWS WITH NEW WINDOWS TO MATCH DESIGN OF THE ORIGINAL.
- 5. REPAIR ORIGINAL ROLLER SCREENS WHERE PRESENT.
- 6. WHERE SCREENS MISSING, INSTALL NEW ROLLER SCREENS

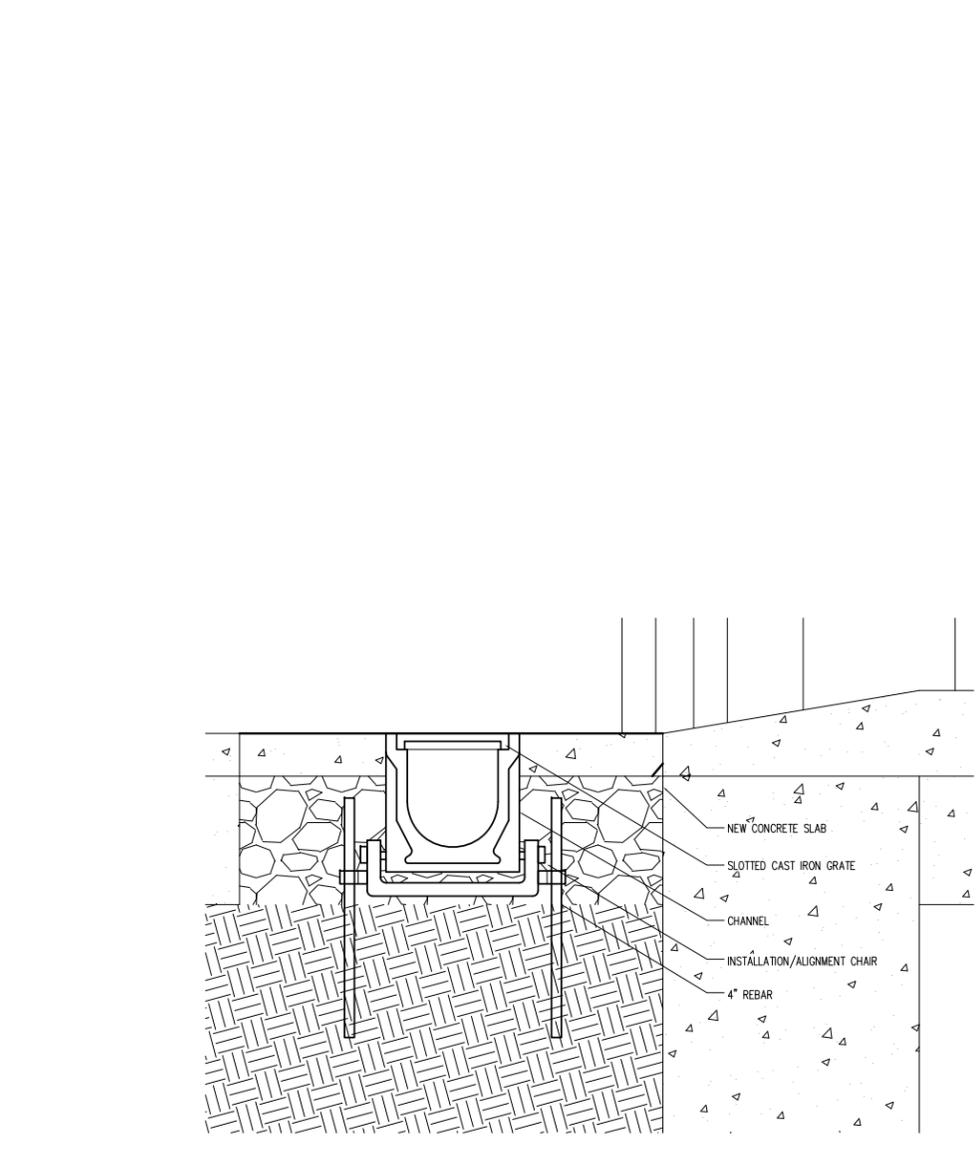
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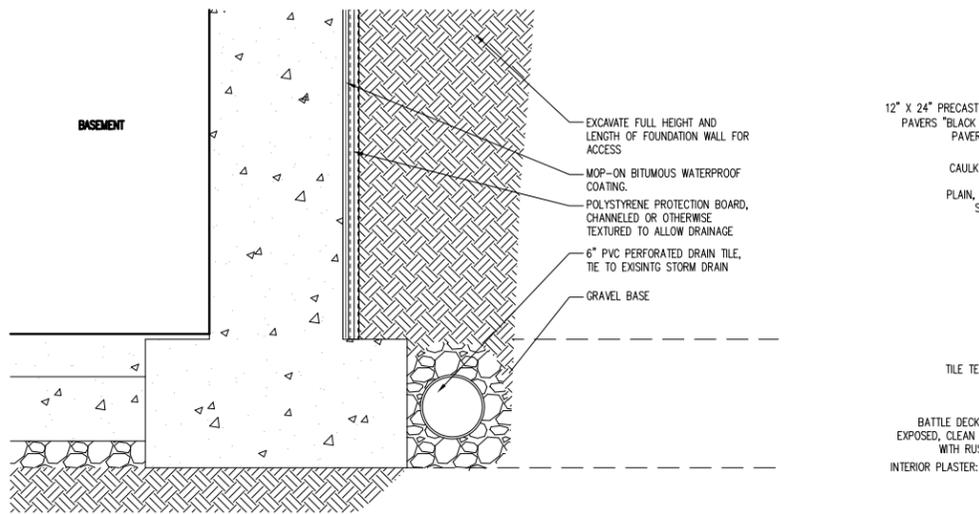
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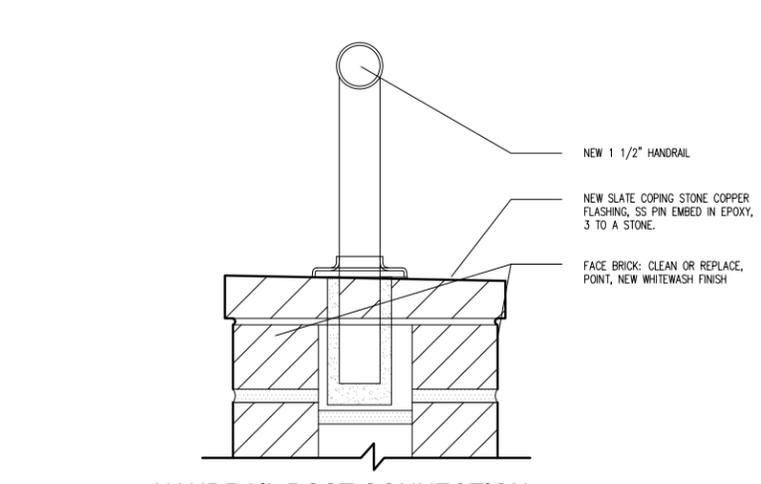
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DETAILS
 SHEET NO.



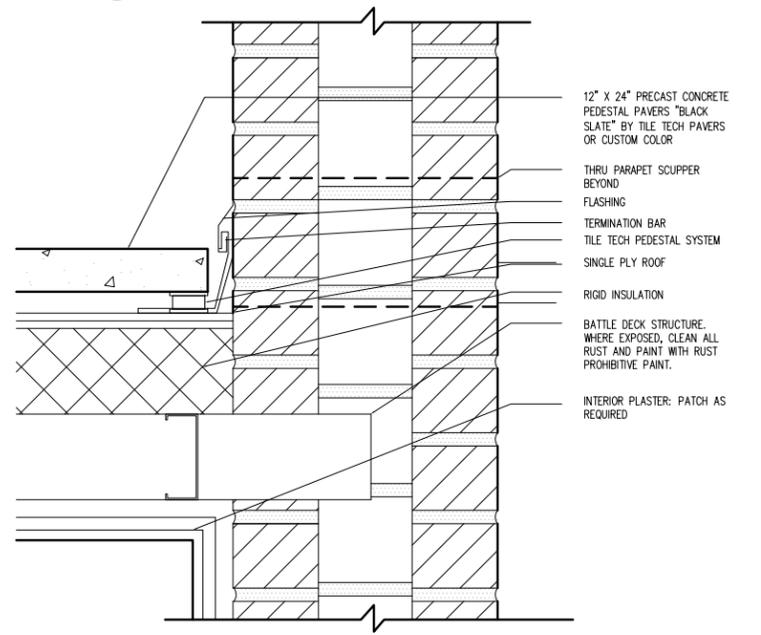
8 TRENCH DRAIN SECTION
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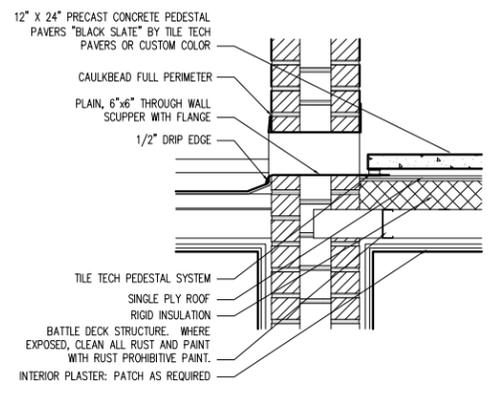
4 FOUNDATION DRAIN TILE
 SCALE: 1 1/2" = 1'-0"



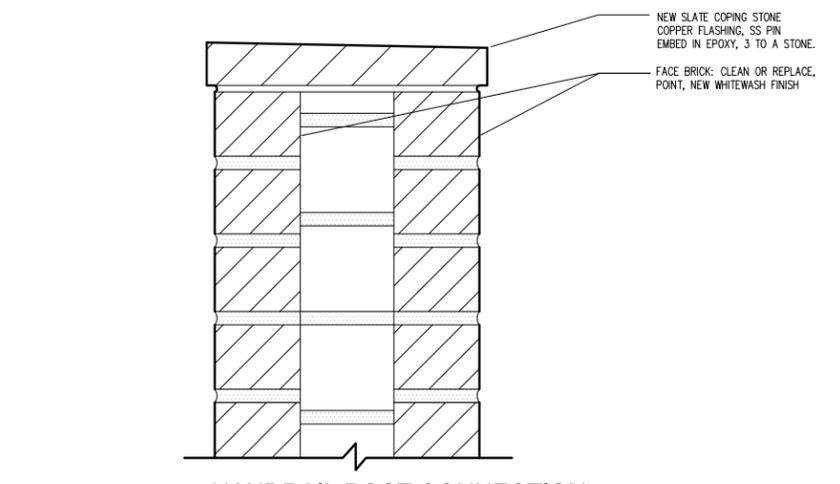
10 HANDRAIL POST CONNECTION
 SCALE: 3" = 1'-0"



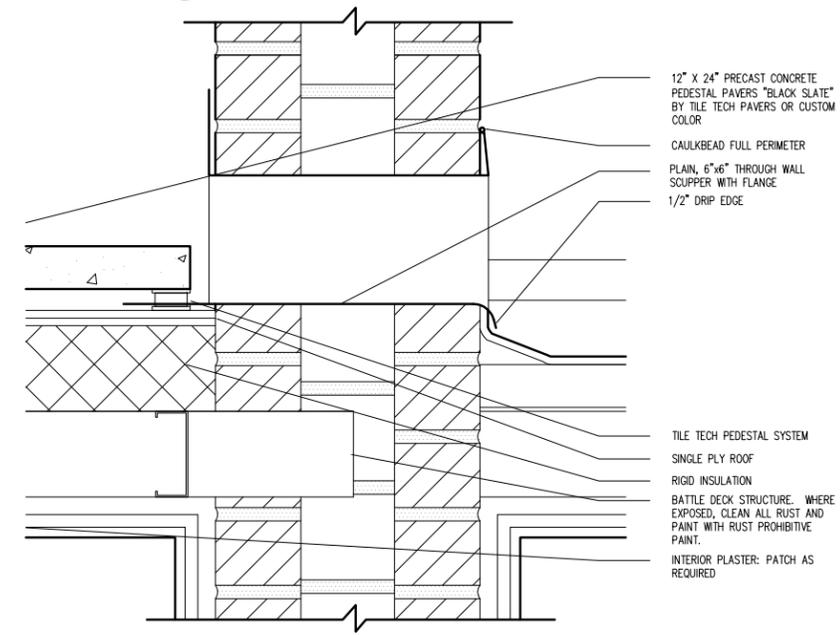
6 NEW SCUPPER
 SCALE: 3" = 1'-0"



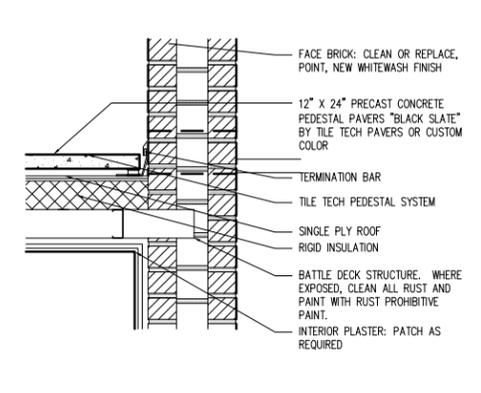
3 EXISTING SCUPPER - INFILL
 SCALE: 1" = 1'-0"



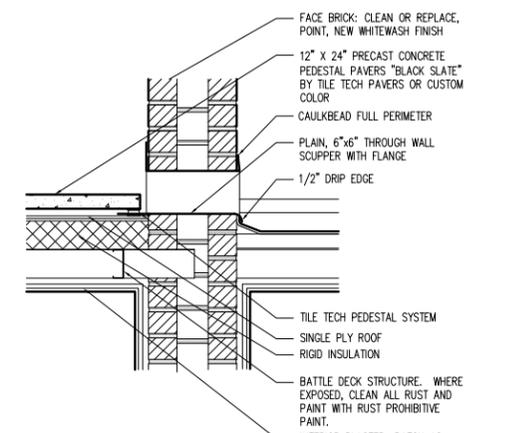
9 HANDRAIL POST CONNECTION
 SCALE: 3" = 1'-0"



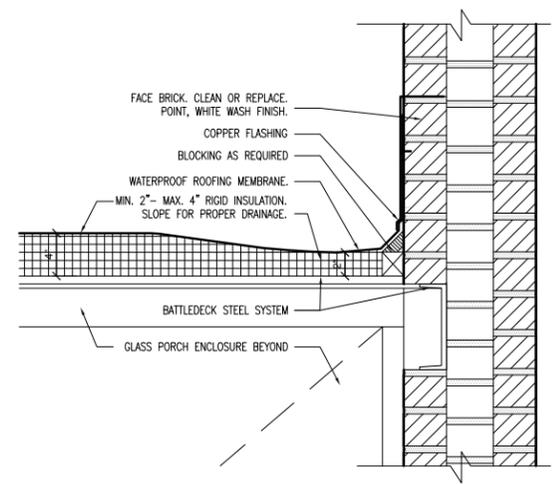
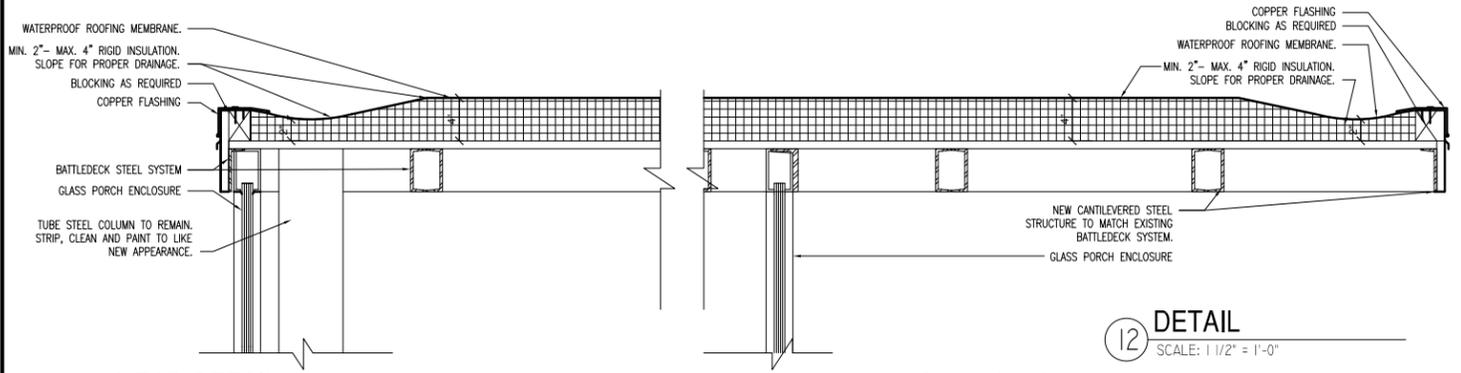
5 NEW SCUPPER
 SCALE: 3" = 1'-0"



2 PARAPET WALL AT NEW SCUPPER
 SCALE: 1" = 1'-0"



1 PARAPET WALL
 SCALE: 1" = 1'-0"



GENERAL: CLEAN ALL RUSTING STEEL TO BRIGHT METAL AND APPLY A ZINC RICH PRIMER. IF GREATER THAN 1/8" OF STEEL IS REMOVED DURING CLEANING, NOTIFY THE ARCHITECT FOR FURTHER INSTRUCTION.

THE BASEMENT FOUNDATION WALL IS TO BE EXPOSED FOR THE INSTALLATION OF DRAIN TILE AT THE FOOTING. DURING THIS EXCAVATION, THE EXISTING FOOTINGS SUPPORTING THE EXISTING COLUMNS MUST NOT BECOME COMPROMISED. WHEN REPLACING THE SOIL, COMPACTION IS NECESSARY TO ELIMINATE EXCESSIVE SLAB DEFLECTIONS. IF SETTLEMENT IS EXPECTED AND NOT ABLE TO BE CONTROLLED, THEN A STRUCTURAL SLAB SPANNING FROM THE HOME TO A NEW FOUNDATION WALL MAY BE NECESSARY.

STRUCTURAL NOTES:

S1. REMOVE EXISTING CONCRETE SLAB AND INSTALL PERIMETER DRAIN TILE AND FOUNDATION WALL PROTECTION. BACKFILL MUST BE CONTROLLED TO ELIMINATE SETTLEMENT OF NEW SLAB. NEW SLAB TO BE MINIMUM OF 5" THICK WITH WELDED WIRE FABRIC.

S2. AT PERIMETER, A WALL OR SLAB EDGE MUST EXTEND 42" BELOW GRADE.

S3. EXISTING COLUMNS MUST BE CLEANED AND GROUND TO BRIGHT METAL BEFORE APPLYING A ZINC RICH PRIMER. IF COLUMNS ARE RUSTED BEYOND CLEANING AND GRINDING, THEN A NEW COLUMN OR A SLEEVED COLUMN SPLICE MAY BE USED.

S4. NEW COLUMN AND FOOTING TO SUPPORT CANTILEVERED ROOF FRAMING.

S5. NEW STEEL ROOF FRAMING TO MATCH EXISTING. NEW ROOF BEAMS TO BE CREATED FROM STEEL CHANNELS, STEEL ANGLES, OR COMBINATION OF THE TWO.

S6. STEEL CHANNEL EMBEDDED IN OUTER WYTHE OF BRICK WALL. CHANNEL MAY BE COVERED WITH BRICK TO MATCH THE DETAILING OF THE EXISTING FRAMING.

WEST PORCH GENERAL NOTES:

P1. REMOVE NORTH (MODERN) ADDITION AND ALL FOOTINGS

P2. REMOVE DETERIORATED ORIGINAL FOUNDATION ELEMENTS. COORDINATE WITH STRUCTURAL.

P3. POUR NEW FOUNDATION AND FOOTINGS PER STRUCTURAL DRAWINGS

P4. AT H' COLUMNS TO REMAIN: CLEAN OFF RUST, PRIME WITH ZINC-HEAVY PRIMER - ADD COLLAR?

P5. INSTALL GLASS WALLS & SLIDING DOORS: CURTAIN WALL SYSTEM.

P6. REMOVE AND REPAIR SLATE FLOOR AT ORIGINAL PORCH. REMOVE FROM PERIMETER GRADE BEAM WHERE HEAVING. RESET.

P7. INSTALL NEW SLATE FLOOR TO MATCH EXISTING AT ADDITION

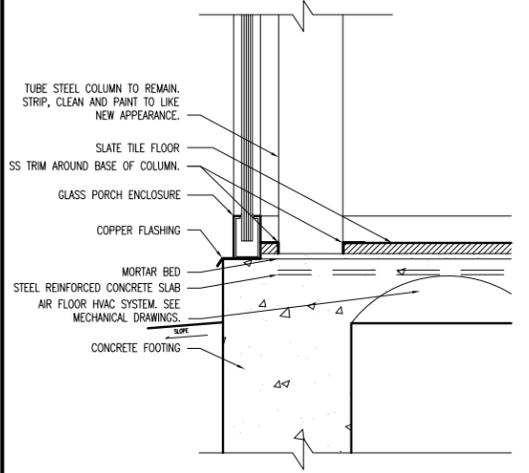
P8. ELECTRICAL: REMOVE ELECTRICAL IN COURSE OF DEMOLITION. INSTALL NEW PER PLANS.

P9. PROVIDE NEW BASEBOARD HEATING UNITS OR RADIANT SLAB.

P10. AT CEILING, MIMIC LOOK OF ORIGINAL CONSTRUCTION. PAINT NEW AND EXISTING CEILINGS.

P11. REMOVE ROOF. INSTALL PINK RIGID BOARD INSULATION AND NEW SINGLE PLY ROOF, WHITE.

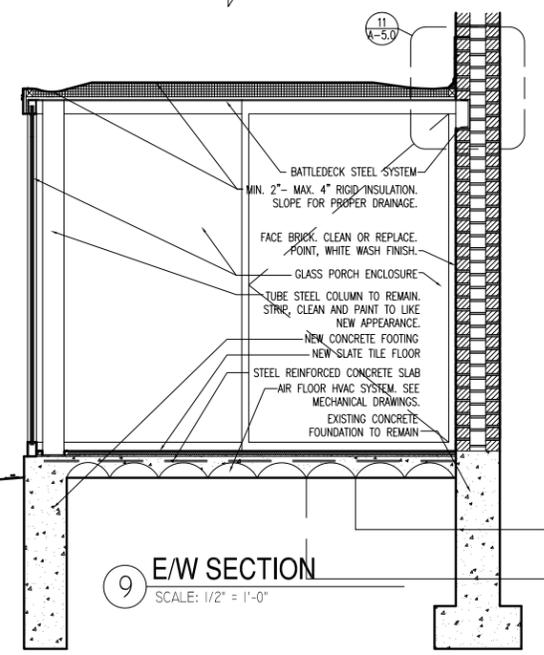
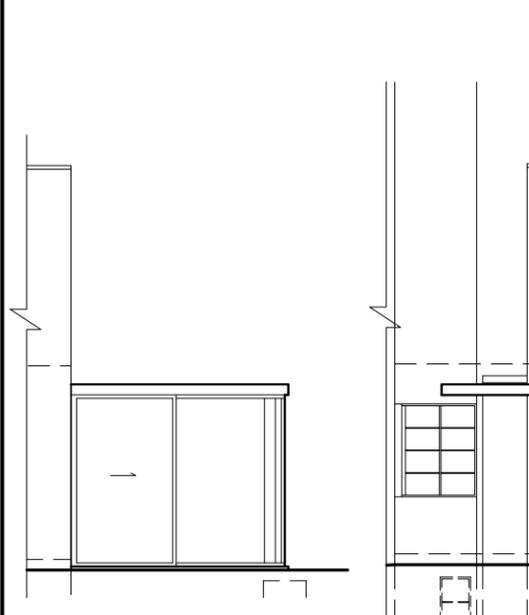
13 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



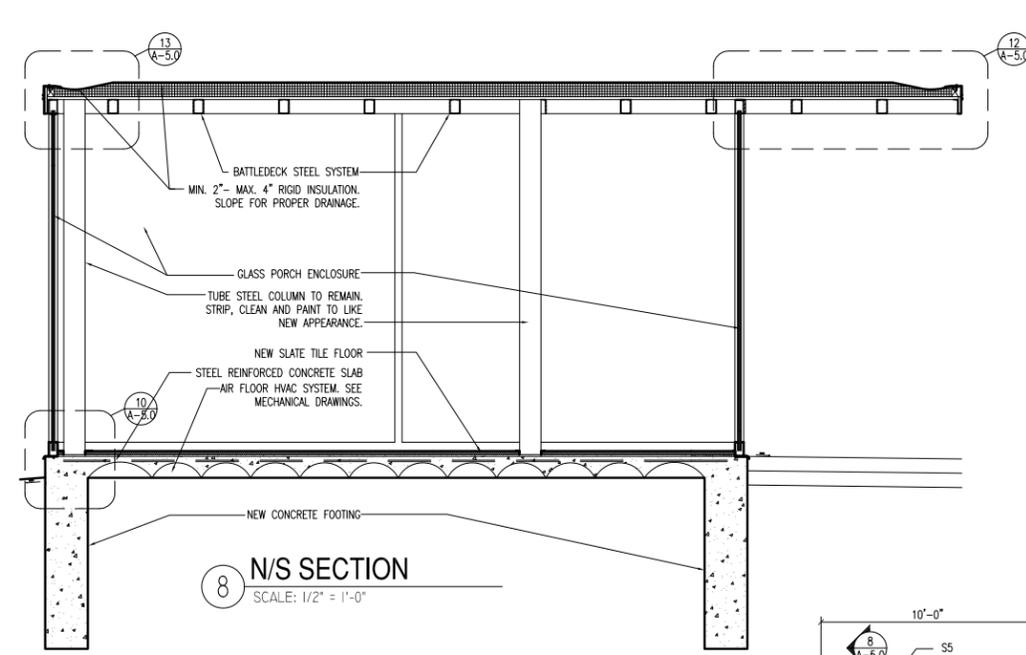
12 DETAIL
SCALE: 1 1/2" = 1'-0"

11 DETAIL
SCALE: 1 1/2" = 1'-0"

10 BASE DETAIL
SCALE: 1 1/2" = 1'-0"

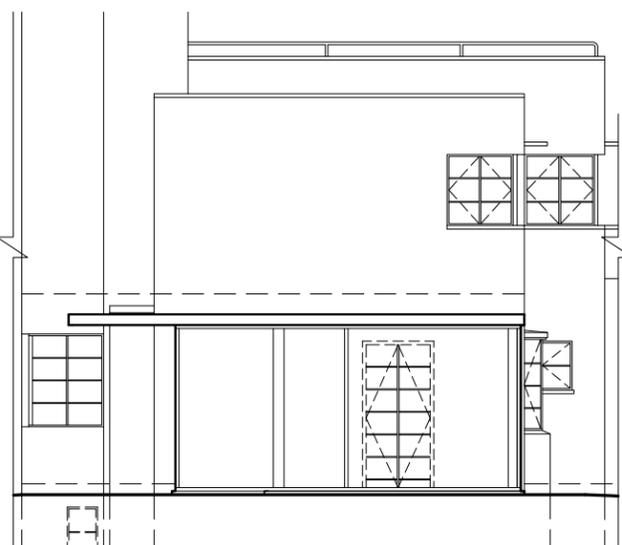


9 E/W SECTION
SCALE: 1/2" = 1'-0"

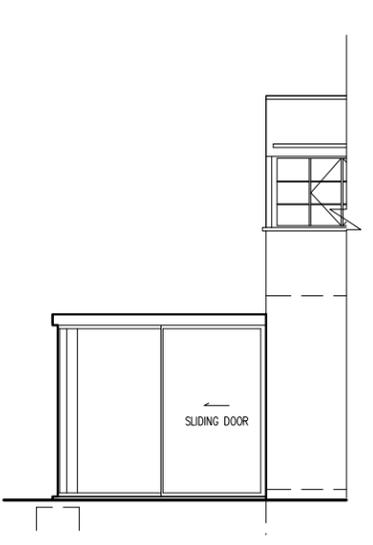


8 N/S SECTION
SCALE: 1/2" = 1'-0"

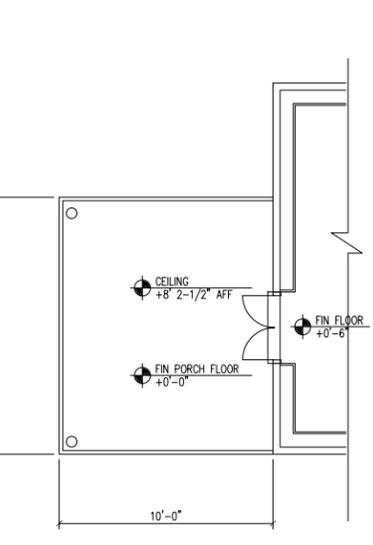
6 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



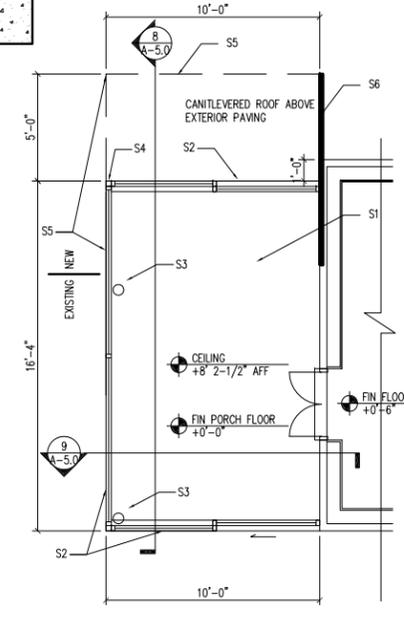
5 WEST ELEVATION
SCALE: 1/4" = 1'-0"



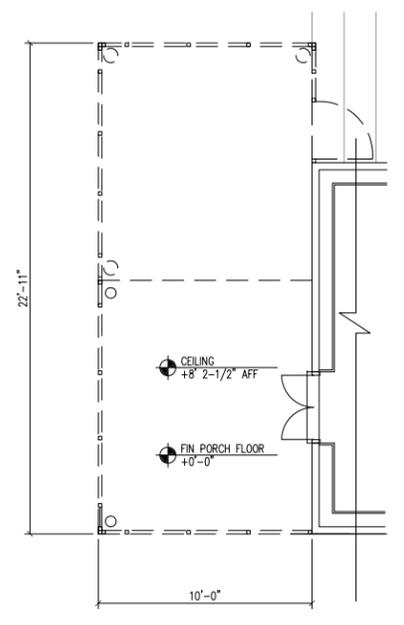
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 1930 ORIGINAL PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED PLAN
SCALE: 1/4" = 1'-0"



1 DEMO PLAN
SCALE: 1/4" = 1'-0"

ISSUE

NO.	DATE	DESCRIPTION
3	02/03/11	ISSUE FOR BUDGET PRICING
2	01/20/11	DESIGN DEVELOPMENT
1	12/1/10	SCHEMATIC DESIGN

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DATE: VARIES 10818

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SHEET TITLE
PORCH & PATIO

SHEET NO.

A-5.0

1/8"=1' 0 5 10 20
1/4"=1' 0 5 10

3/8"=1' 0 1 2 4
3/4"=1' 0 1 2 4

1/2"=1' 0 1 2 4 6
1"=1' 0 1 2 3

1-1/2"=1' 0 3 6 9 12
3"=1' 0 3 6 9 12

GENERAL MASONRY CONDITIONS



16



15



14



13



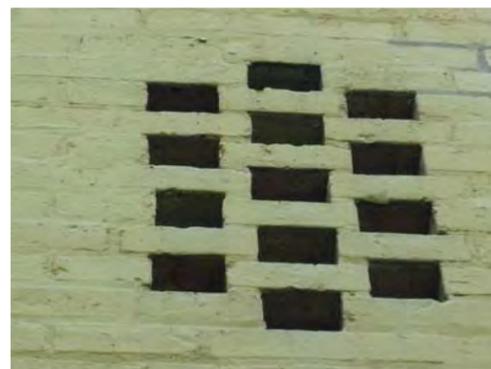
12



11



10

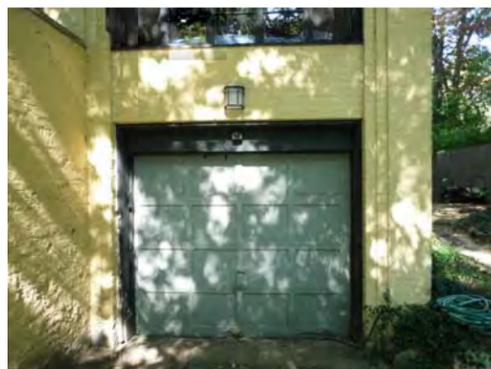


9



8

CONDITIONS AT GARAGE AND WINGWALL



7



6



5



4



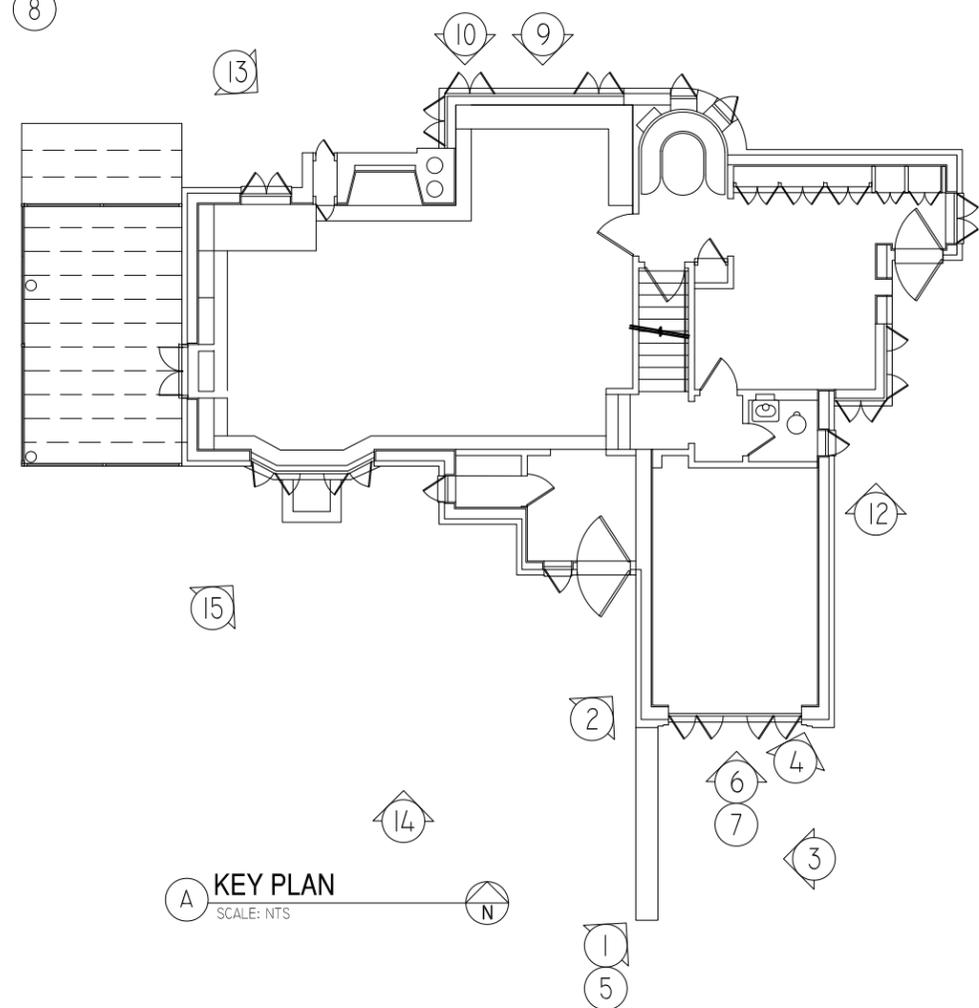
3



2



1



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Battledeck House
Restoration & Rehabilitation
Highland Park, Illinois

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SHEET TITLE
**EXISTING
CONDITIONS
AFFECTED
ELEVATIONS**

SHEET NO.
A-6.0

1/8"=1' 0 5' 10' 20'
1/4"=1' 0 5' 10'

3/8"=1' 0 1' 2' 4'
3/4"=1' 0 1' 2' 4'

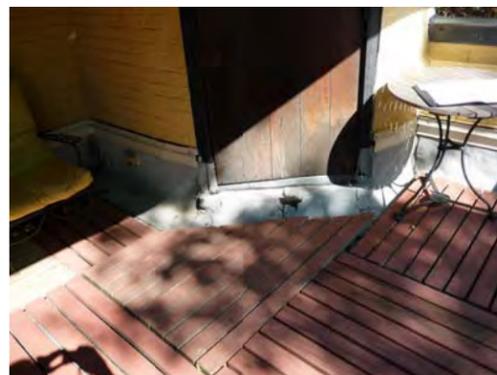
1/2"=1' 0 1' 2' 3' 6'
1"=1' 0 1' 2' 3'

1-1/2"=1' 0 3' 6' 9' 12'
3"=1' 0 3' 6' 9' 12'

ROOF DECK AND PARAPET



12



11



12 ORIGINAL WINDOW



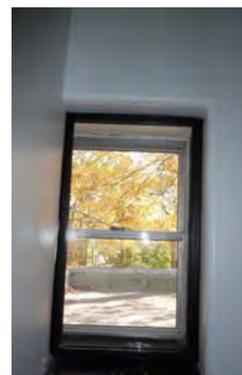
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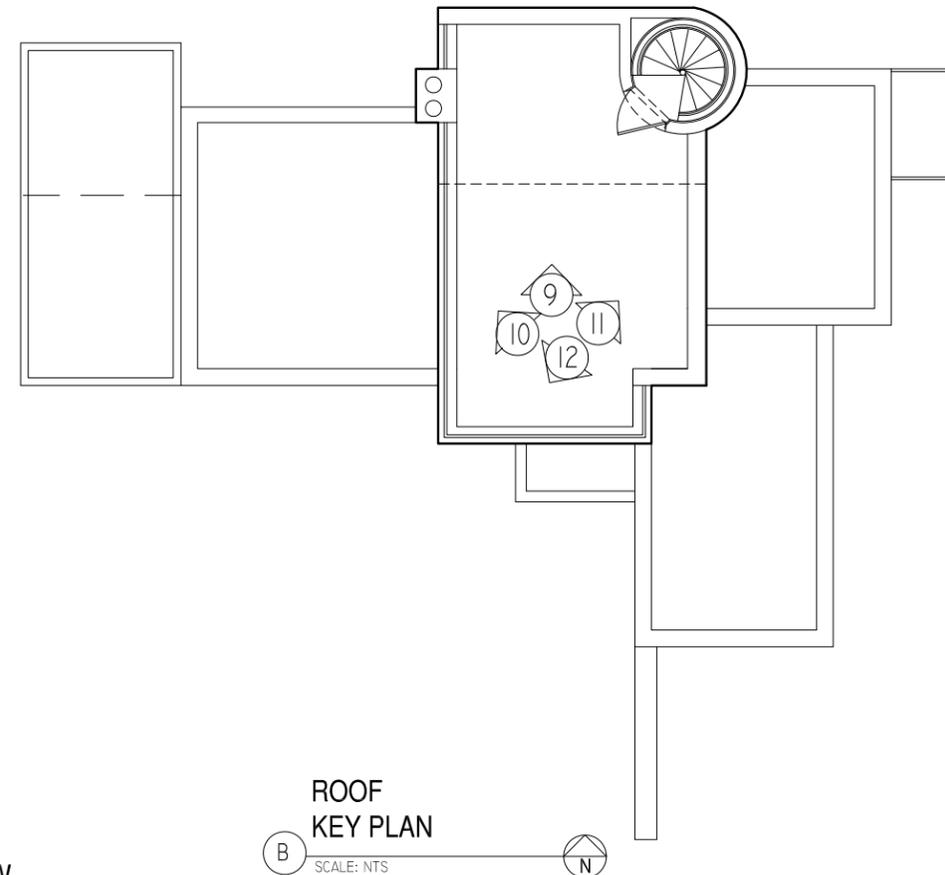
9



8 MODERN WINDOW



7 MODERN WINDOW



DECAY AT MODERN PORCH ENCLOSURE



6



5



4



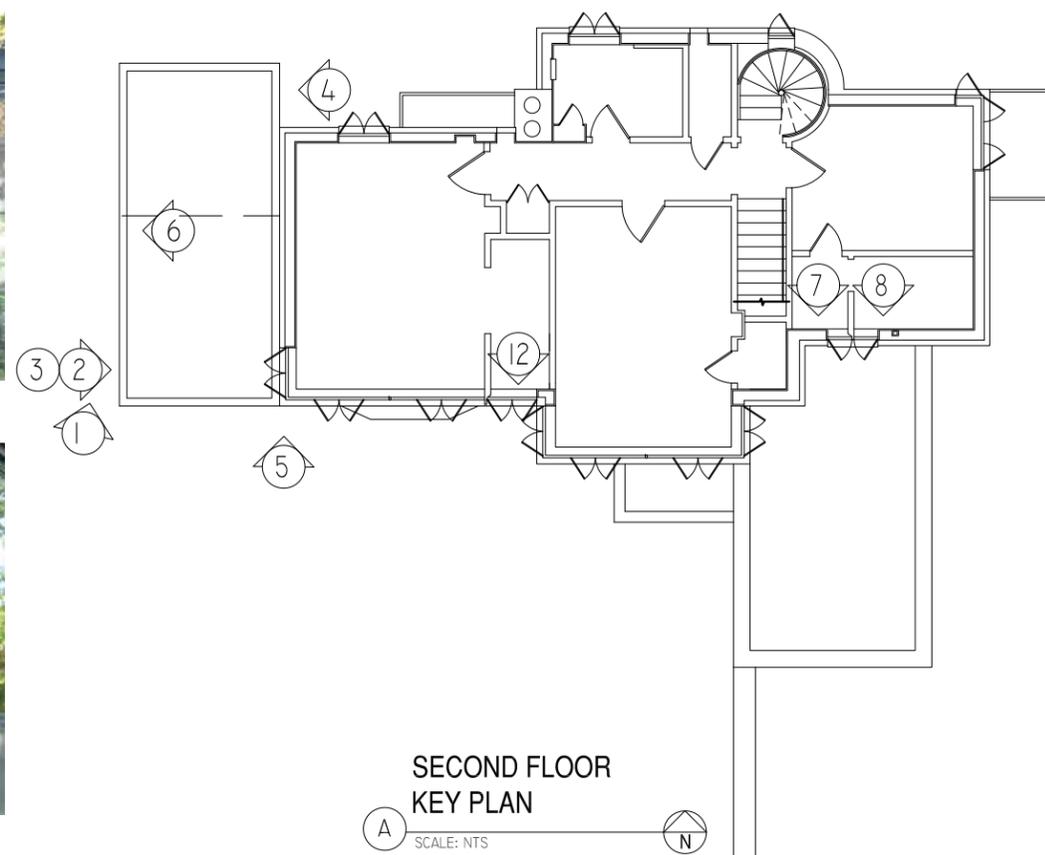
3



2



1



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SHEET TITLE
**EXISTING
CONDITIONS
AFFECTED
ELEVATIONS**

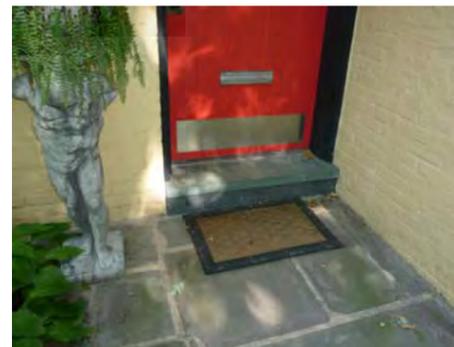
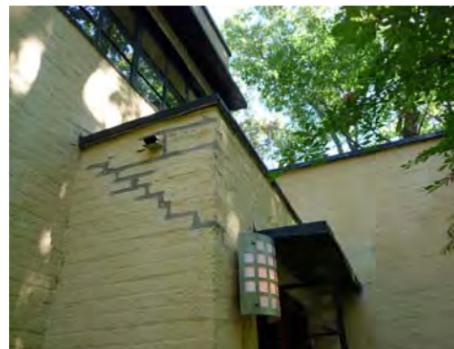
SHEET NO.

A-6.1

HISTORIC PHOTOGRAPHS 1930



CURRENT CONDITIONS



ISSUE		
NO.	DATE	DESCRIPTION
3	02/03/11	ISSUE FOR BUDGET PRICING
2	01/20/11	DESIGN DEVELOPMENT
1	12/1/10	SCHEMATIC DESIGN

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SHEET TITLE
HISTORIC DOCUMENTATION

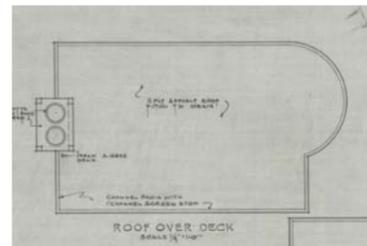
SHEET NO.
A-6.3

1/8"=1' 0 5 10 20
1/4"=1' 0 5 10

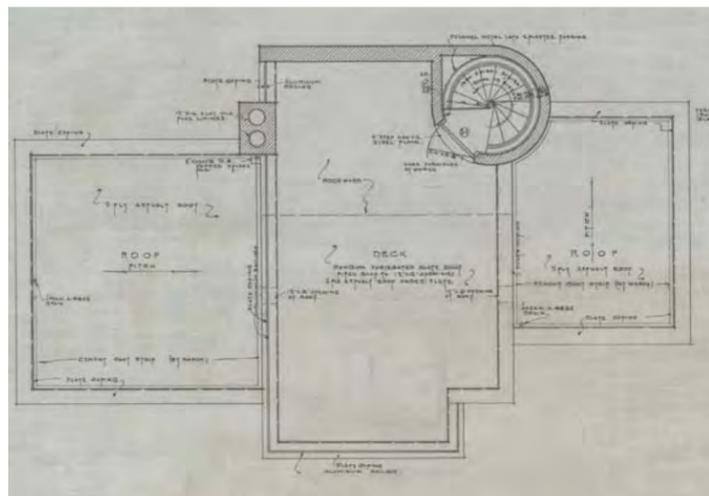
3/8"=1' 0 1 2 4
3/4"=1' 0 1 2 4

1/2"=1' 0 1 2 3
1"=1' 0 1 2 3

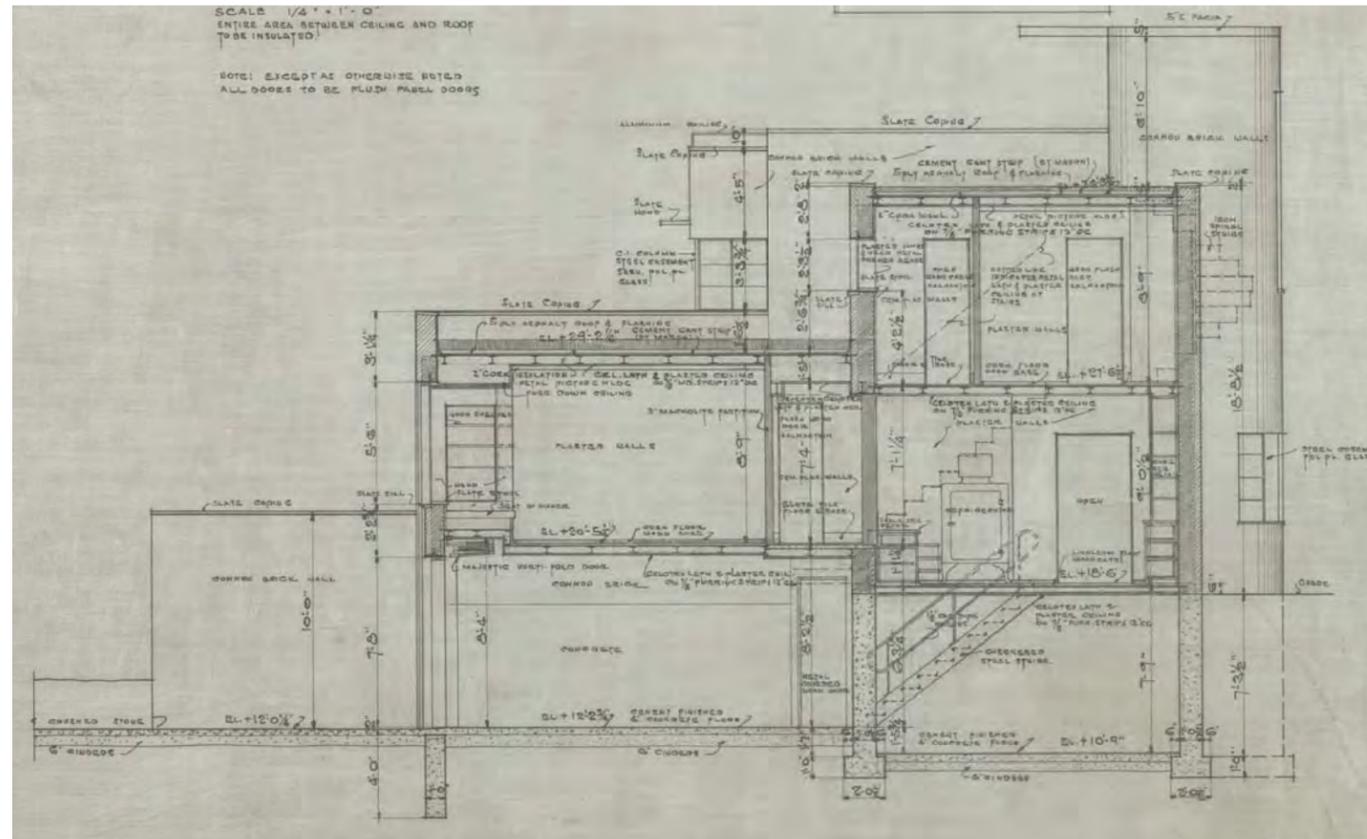
1-1/2"=1' 0 3 6 9 12
3"=1' 0 3 6 9 12



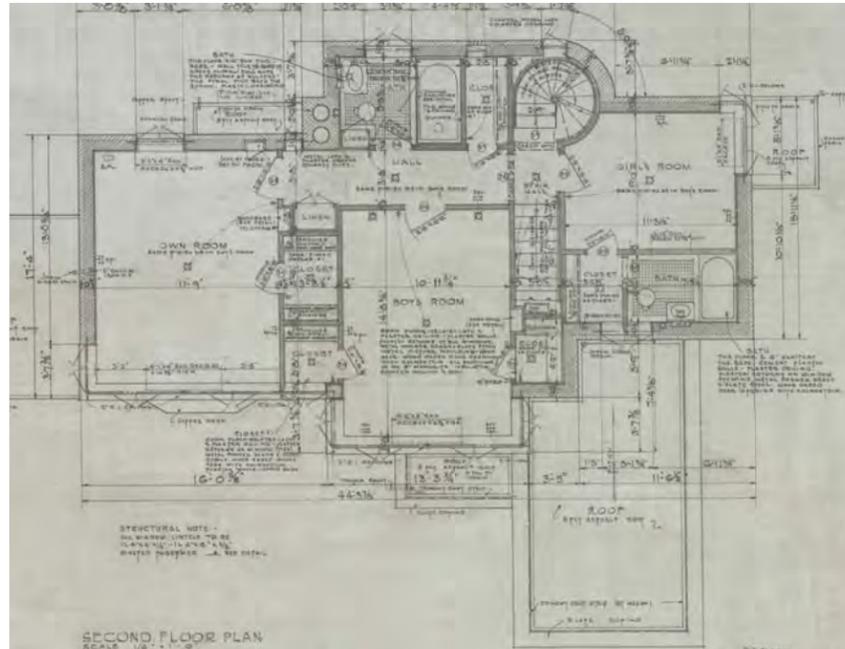
6 ROOF PLAN
SCALE: NTS



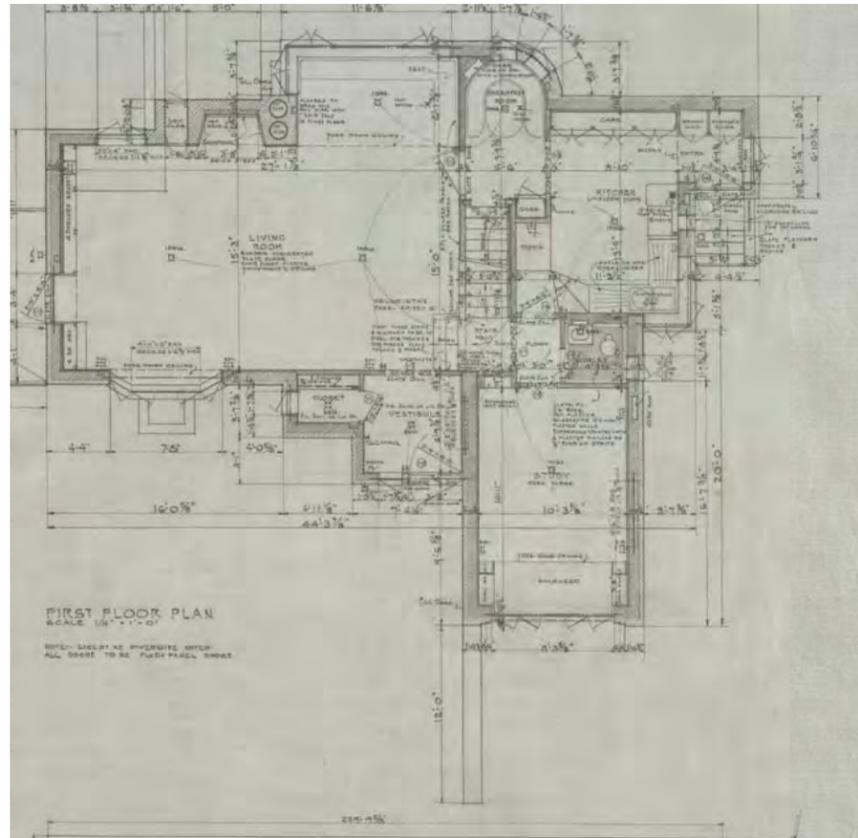
5 ROOF PLAN
SCALE: NTS



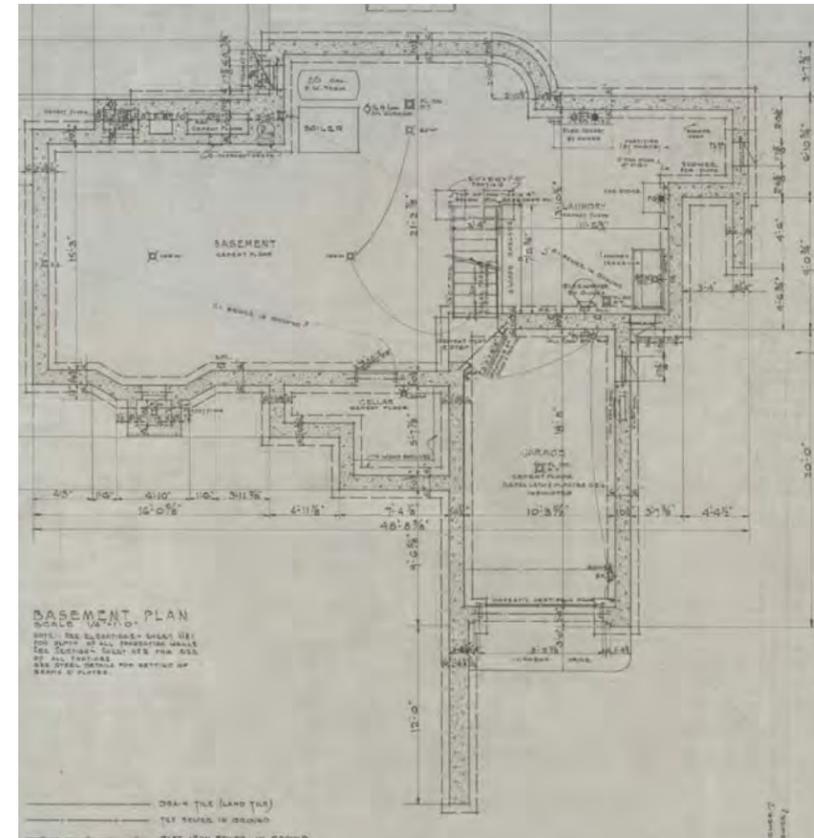
4 SECTION
SCALE: NTS



3 SECOND FLOOR PLAN
SCALE: NTS



2 FIRST FLOOR PLAN
SCALE: NTS



1 BASEMENT PLAN
SCALE: NTS

ISSUE		
NO.	DATE	DESCRIPTION
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1	12/1/10	SCHEMATIC DESIGN

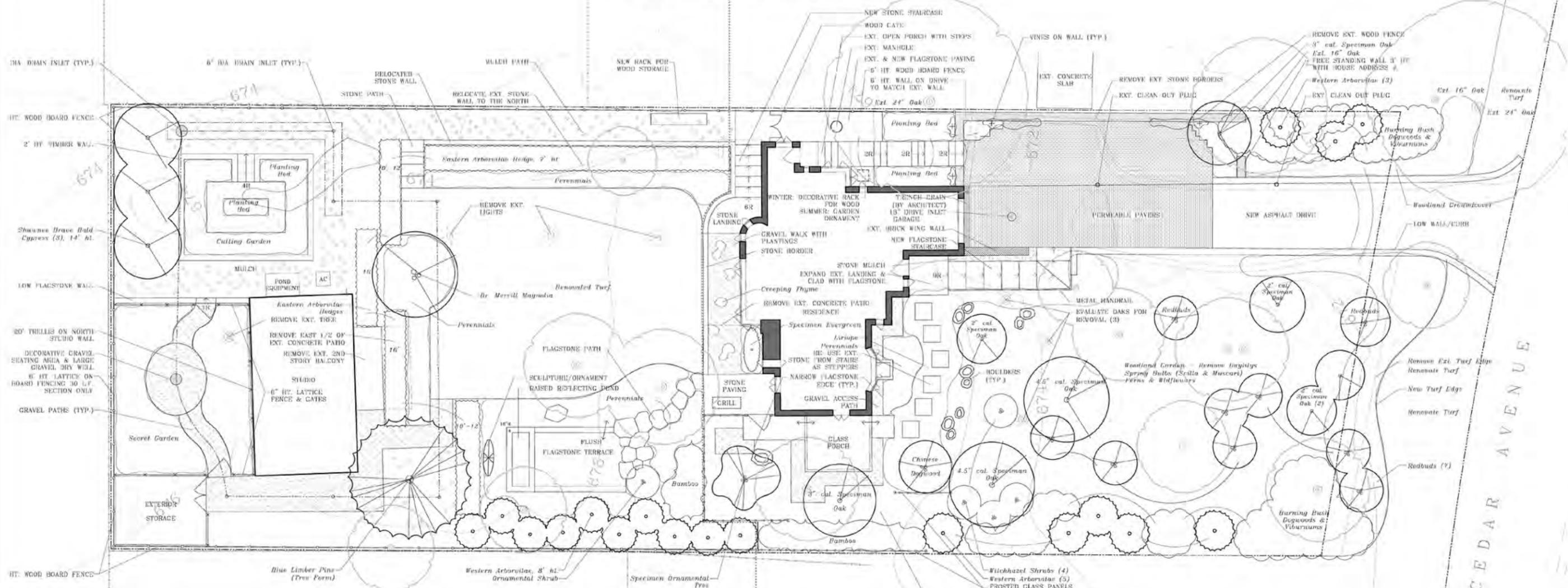
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SHEET TITLE
HISTORIC DOCUMENTATION

SHEET NO.
A-6.3

NORTH ELEVATION SOUTH ELEVATION



NORTH ELEVATION SOUTH ELEVATION

Legend

- | | | | | |
|---|---|---|---|---|
| | | | | |
| Evergreen Trees | Deciduous Trees | Trunk of Ext. Tree | Ornamental Grasses & Grass-like Plants | Vining Plants |
| | | | | |
| Ext. Tree to be Removed | Ext. Tree to be Transplanted | Ext. Tree to be Removed | Groundcovering Plants | Spigot |
| | | | | |
| Perennial Flowering Plants, Roses, Ferns, Wildflowers, and Seasonal Flowers | Perennial Flowering Plants, Roses, Ferns, Wildflowers, and Seasonal Flowers | Perennial Flowering Plants, Roses, Ferns, Wildflowers, and Seasonal Flowers | Perennial Flowering Plants, Roses, Ferns, Wildflowers, and Seasonal Flowers | Perennial Flowering Plants, Roses, Ferns, Wildflowers, and Seasonal Flowers |

North
Scale: 1/8" = 1'-0"
Please Note: This is not a construction drawing.

Craig Bergmann
Landscape Design, Inc.

The Art of Fine Gardening

1924 Lake Avenue
Wilmette, IL 60091
Telephone: (847) 251-8355
Facsimile: (847) 251-8360



Schematic Design Option 1

Chung-Hankins Residence
441 Cedar Avenue
Highland Park, Illinois

March 2011
Rev. 5/18/11

Designed by C.B. & D.B.

Date 8-14 1930

Cer.

Building Permit No. 2462

Location of Building—No. 363 Street Cedar Ave

Name of Owner Henry Dubin

Present Address 14 W. Washington St. Phone State 7623



Type of Construction Brick Remodeling

General Contractor Joseph Carbonargi Address Highland Park Phone

Permit issued to Owner to construct a Single family dwelling

building on Lot 7 Blk. 79 Sub'n

Builder's estimate 12,500⁰⁰ Permit fee 42.67

Location on Lot verified 192 by

Other inspections fence permit # 456 9-19-56

Deposits Sidewalks planked

Remarks

Job completed Receipt for returned plans Owner

Electrical Contractor Gaddberg & O'Brien Address 667 West 14th St W.G. Warren
Chicago 363 E. Ohio St.
Chicago ILL.

Wiring Permit No. 1789 Issued 2-4-30 Fixture Permit No. 1827 Issued 3-23-31

1st Inspection 192 by

2nd Inspection 192 by

Size of main wire Size of branch wire System

No. of Openings No. Sockets No. Circuits No. Motors No. Ranges

Certificate of Inspection Issued 192 No.

Date of Public Service Tap Remarks

Plumbing Contractor Kalz + Lewis Bldg Co Address

Water Tap No. 2864 Sewer Tap No. 2412 Job Order No. 1596 Issued 8-27-30 Paid 8-27-30

Inspected Oct 31 192 30 by Loth

Inspected Dec 17 192 3 by

No. Catch Basins Black No. Lavatories 5 No. Toilets 3

No. Baths 2 No. Sinks 1 No. Laundry Tubs 1

No. Shower Baths 1 No. Stacks 3 Other Items 2

Certificate of Inspection Issued 192 No.

Downspouts connected to Stone Sewer

Kind of Heat Name of Burner Johnson

Tank Inspection Grand work Oct 21

P. Lawrence



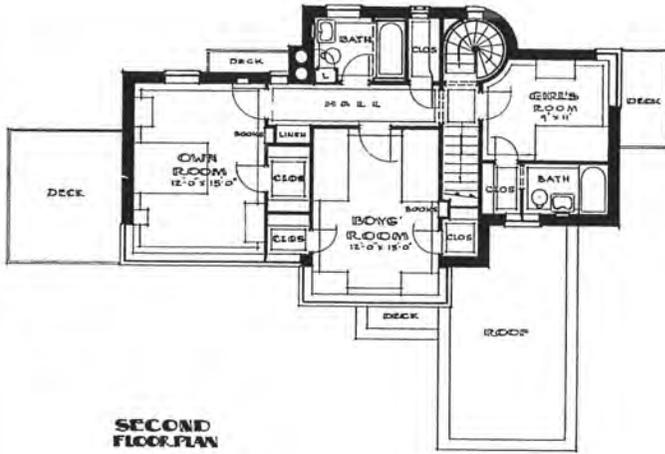


Photographs accompanying this article are by John Skara

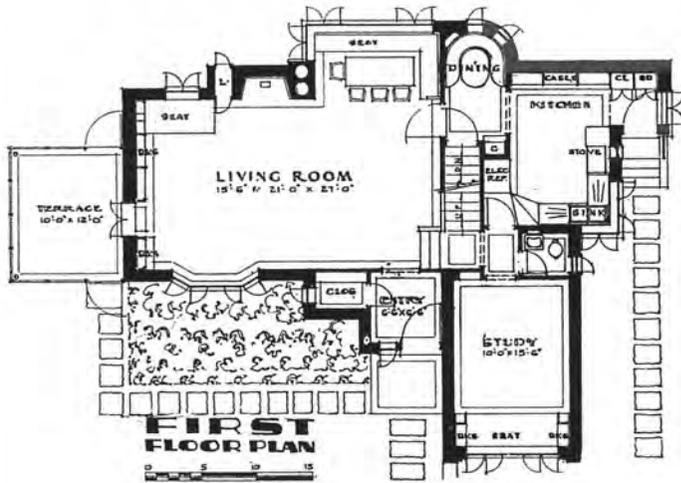
RESIDENCE OF HENRY DUBIN HIGHLAND PARK, ILLINOIS

This house, which contains approximately 25,200 cu. ft., is unique in many respects. The structural system, chosen because of its economy and safety from fire hazard, has had an important influence on the design. No attempt was made to follow any particular style, and the result stands as a common-sense solution of the various requirements. The exterior walls are of face brick ranging in color from tan to light brown. The hoods over the windows and the wall copings are of gray slate, and the steel facias and windows have been painted to match. The trim and doors have been stained gray also, and the aluminum sills though left in a natural state will darken to the same tone through oxidation. The walls on the first floor of the interior are painted for the most part; those on the second floor are covered with a washable wallpaper. Floors in the living room, terrace, and roof porch are of slate; in the bedrooms and study, cork; and in the dining room and kitchen, tile. Most of the woodwork consists of built-in furniture, and trim was kept at a minimum, all doors being the flush-panel type

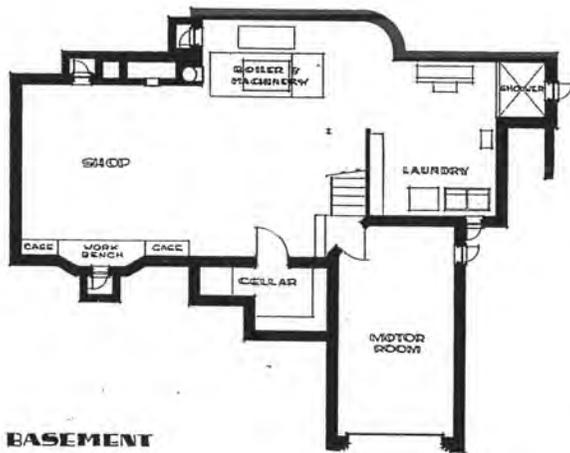
A BATTLEDECK FLOOR HOUSE DUBIN & EISENBERG, ARCHITECTS



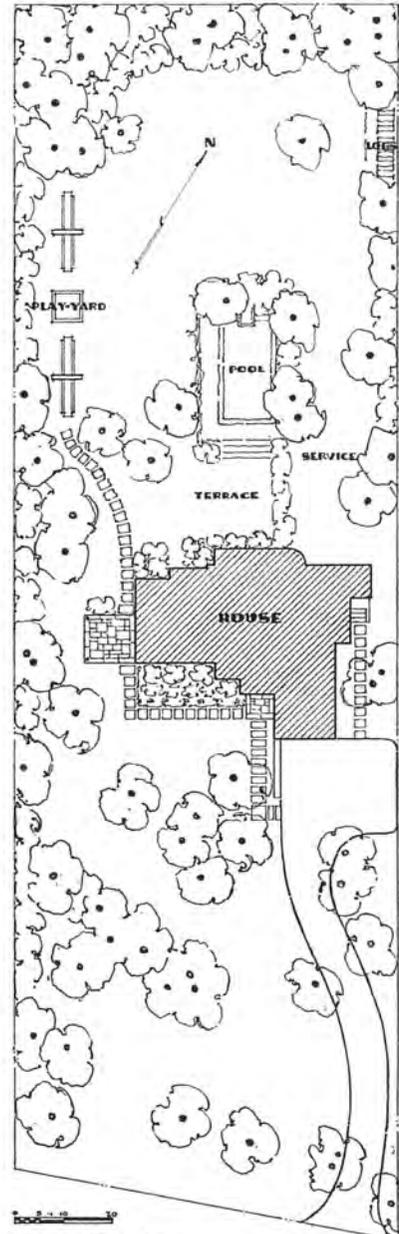
SECOND FLOOR PLAN



FIRST FLOOR PLAN



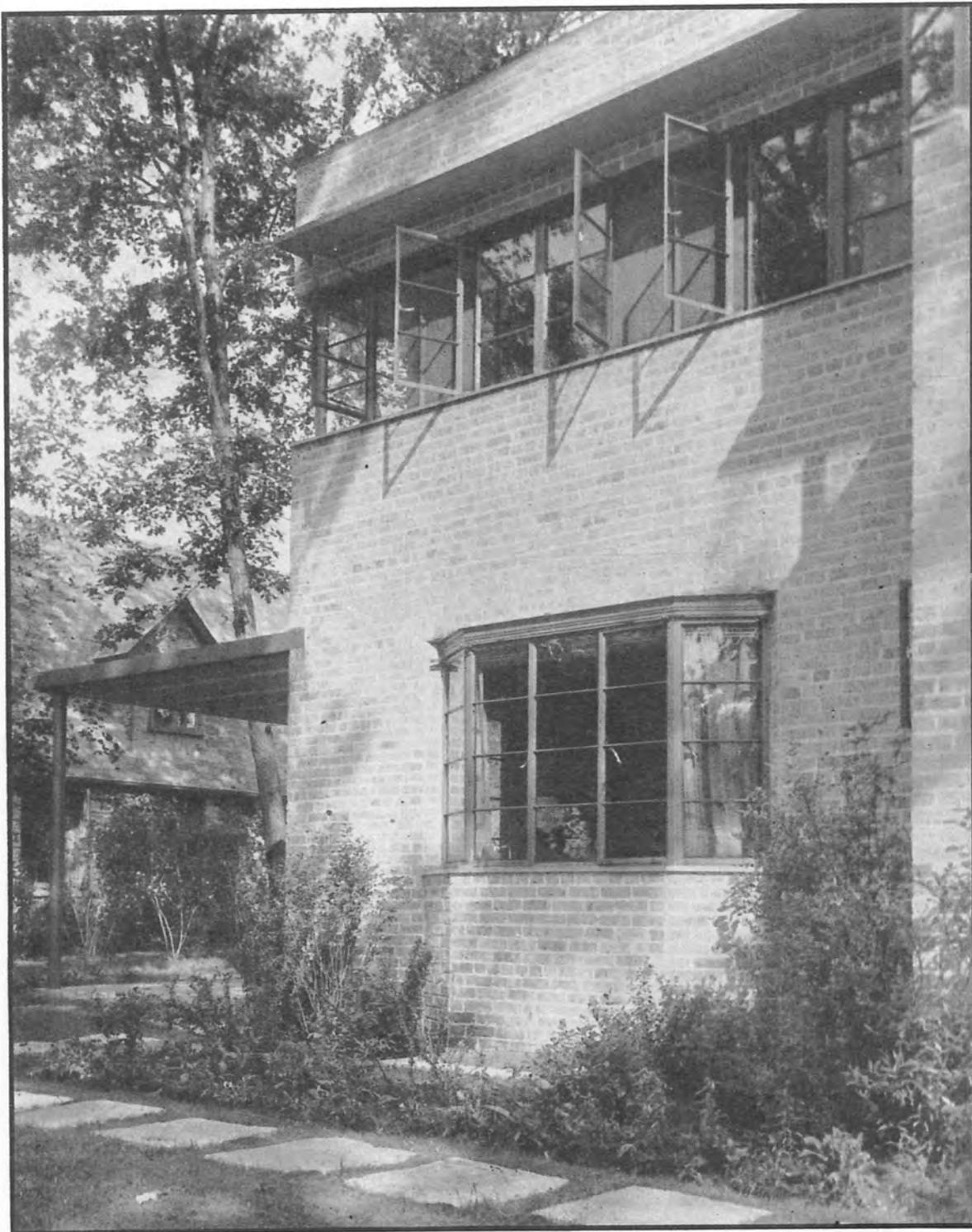
BASEMENT



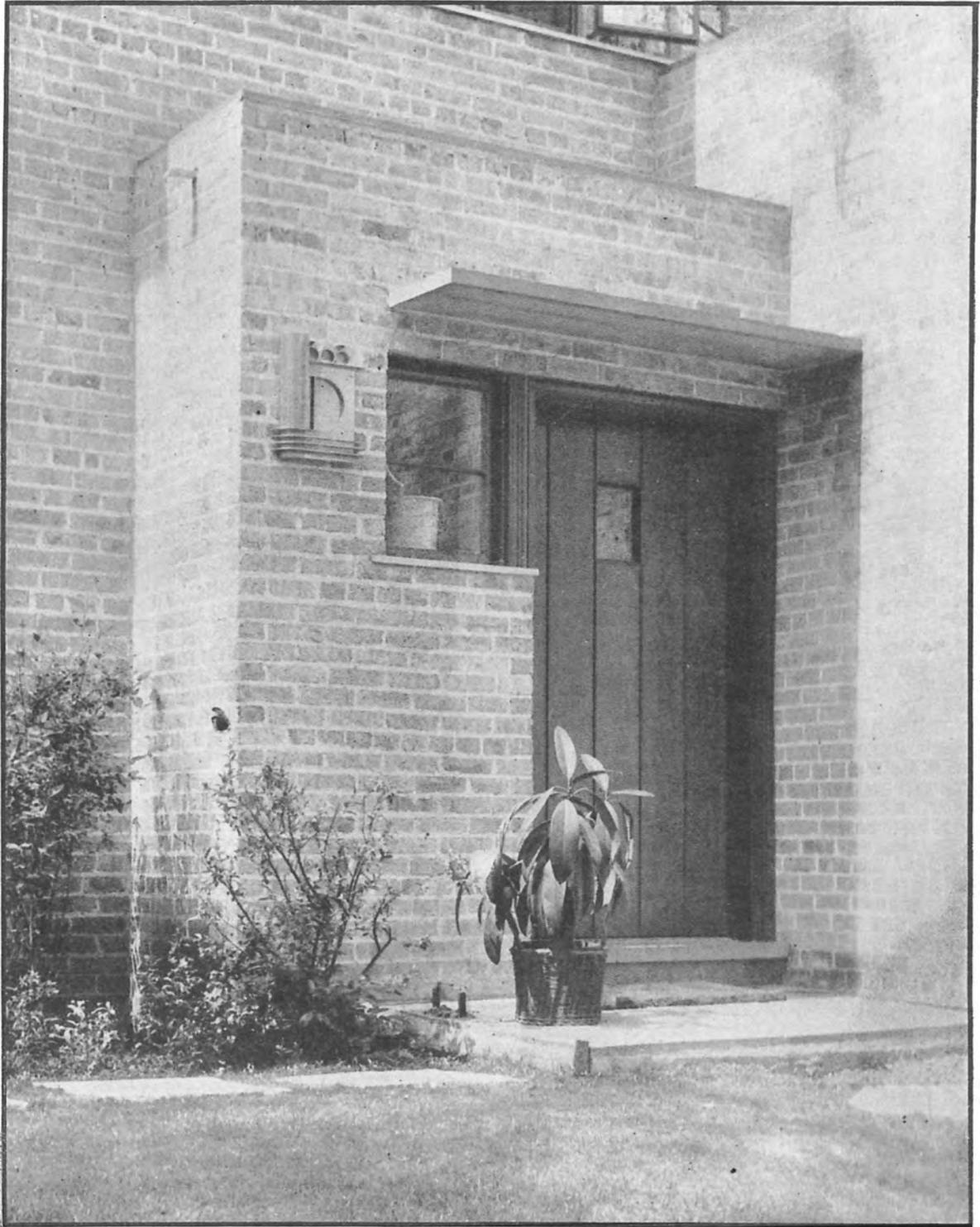
PLOT PLAN

CEDAR AVENUE

RESIDENCE OF
HENRY DUBIN
HIGHLAND PARK, ILL.
DUBIN & EISENBERG
ARCHITECTS



RESIDENCE OF HENRY DUBIN
HIGHLAND PARK, ILL.
DUBIN & EISENBERG, ARCHITECTS



RESIDENCE OF HENRY DUBIN
HIGHLAND PARK, ILL.
DUBIN & EISENBERG, ARCHITECTS



CONSTRUCTING THE BATTLEDECK HOUSE

BY
HENRY DUBIN

THE design of this residence in Highland Park, Illinois, was a comparatively simple task. Having determined the requirements, the type of construction, and the materials to be employed, and being unhampered by the confining limitations of traditions and "style," the architect had but to arrange the plans to fit the site with reference to the cardinal points of the compass and the contours of the surface. As the units arranged themselves in plan, the elevations develop naturally — no worry about symmetry, no difficulties with bay windows, dormers, or gables.

The house was built on a heavily wooded knoll facing a ravine to the south, toward which the ground sloped. This determined the arrangement of the plans, and resulted in the employment of the long horizontal L-shaped fenestration and the flat roof.

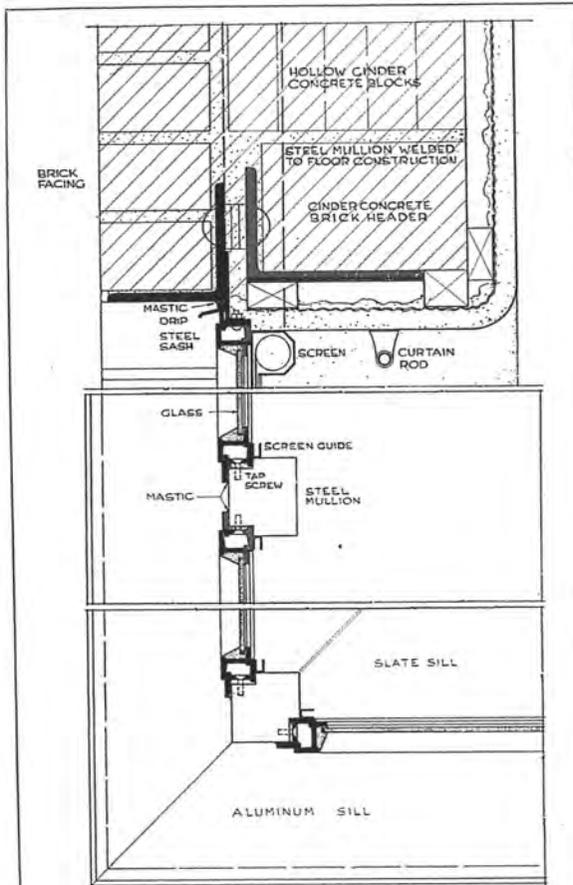
The specific considerations influencing the design of the house, besides those generally necessary in any modern house, were:

1. This was to be the house of a small family of moderate means and social activity.
2. It must be fireproof, or, at least, fire-safe.

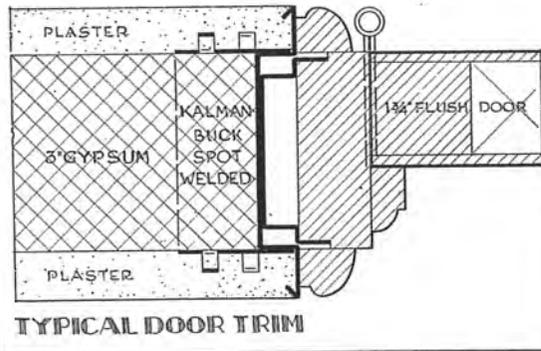
3. Cost was an important item.

PLAN. Following the growing practice, the living room area and dining space were combined to provide one large room for lounging and the entertainment of guests, large cased openings affording a separation. Since the dining space is only large enough for family needs, the problem of providing additional space for dinner guests was solved by introducing a bay window with an L-shaped seat next to the dining area. Over the motor room, a private study for the owner was provided, which, together with the wash room, answered the question of overnight guest accommodations. In the arrangement of the kitchen and its equipment, care was exercised to reduce considerably the space required and the daily effort necessary in the preparation of food.

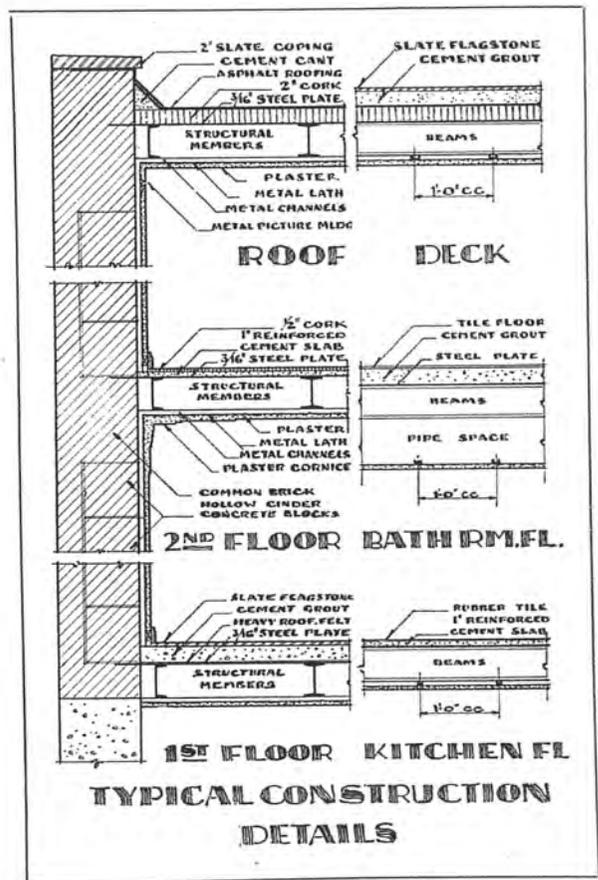
TYPE OF CONSTRUCTION. The desire for assured safety from fire, the flat roof, and the L-shaped windows eliminated the possibility of wood in the construction of the house. Concrete was carefully considered, but abandoned because it would have been too expensive in the construction of single units, rather bulky in its structural



WINDOW DETAILS



TYPICAL DOOR TRIM



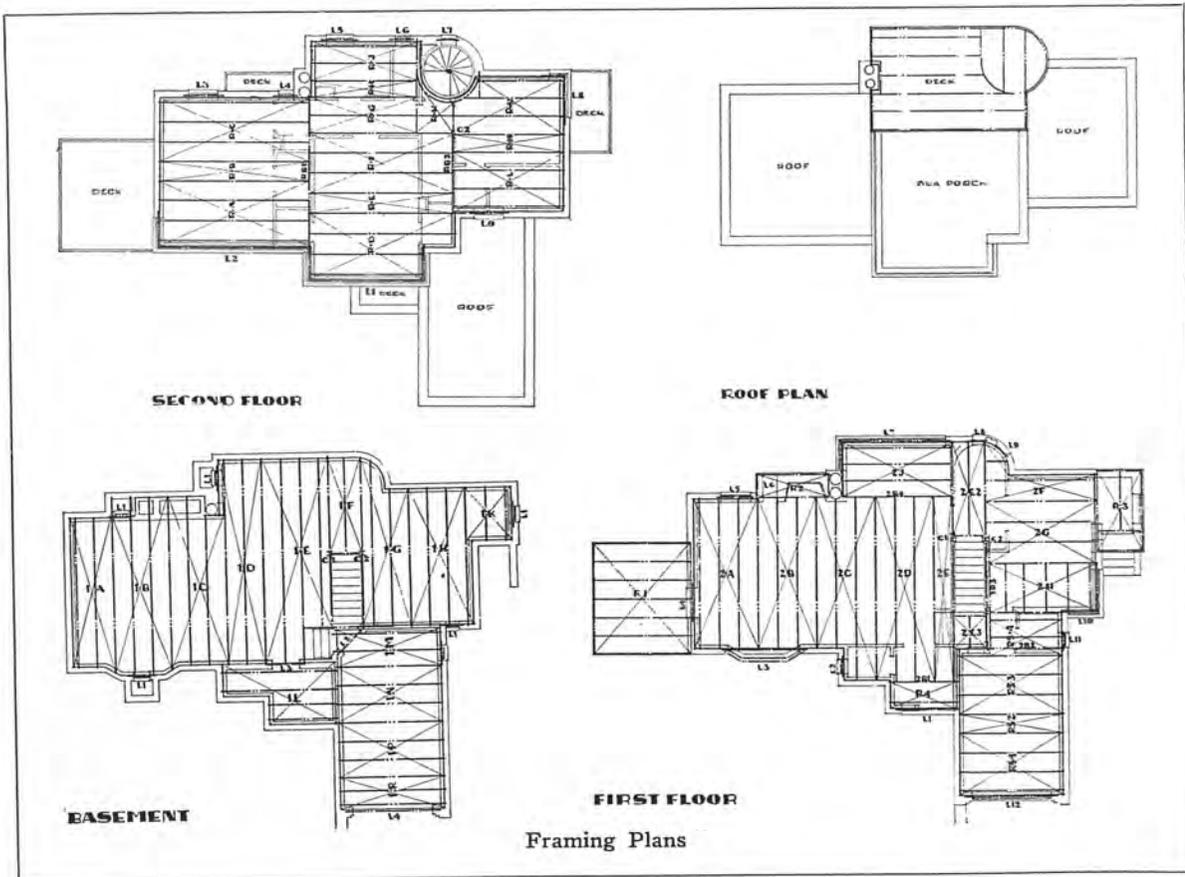
TYPICAL CONSTRUCTION DETAILS

elements; and too much time would have been required in its pouring and curing. **Battledeck floor construction** was finally decided upon for the following reasons:

1. Non-shrinkable and fireproof qualities.
2. Light weight and small bulk.
3. Ease and speed of erection.
4. Immediate serviceability after being placed.
5. Accuracy in construction because of shop measuring.
6. Provision of openings for pipe without weakening structural members.

After consideration of several types of walls, both as structural supports and as protection against weather, it was decided to use a masonry wall. Common brick, backed with hollow cinder concrete block (both local materials) were laid "Chicago bond" in waterproof cement mortar, the header course being backed with cinder concrete brick to insure rigid bond between brick and blocks. The three courses immediately below the floor and roof beams were laid solid for bearing.

BATTLEDECK FLOOR DESIGN. The structural design of the battledeck floor consisted in determining the plate thickness necessary to carry the floor finish and live load over a span of 24 in. (from center to center of beams), and the combined



Framing Plans

beam and plate necessary to carry the load between beam supports. The beam combined with the plate has a much larger capacity to support load than the beam alone, and deflects an amount approximately equal to that of a beam twice the depth less one inch. It was found that plate 3/16 in. thick was sufficient to carry the estimated load, and that the longest span required the use of 5 in. I-beams.* Where 5 in. floor depth was required on shorter spans, 5 in. channels were used in place of beams to save weight. Beams and channels varied from 3 to 5 in. depending on location, and the combined beam and plate was designed for simple support on the outside walls or beams. The roof construction requirements were similar to those of the floor construction and were designed for an equivalent live load.

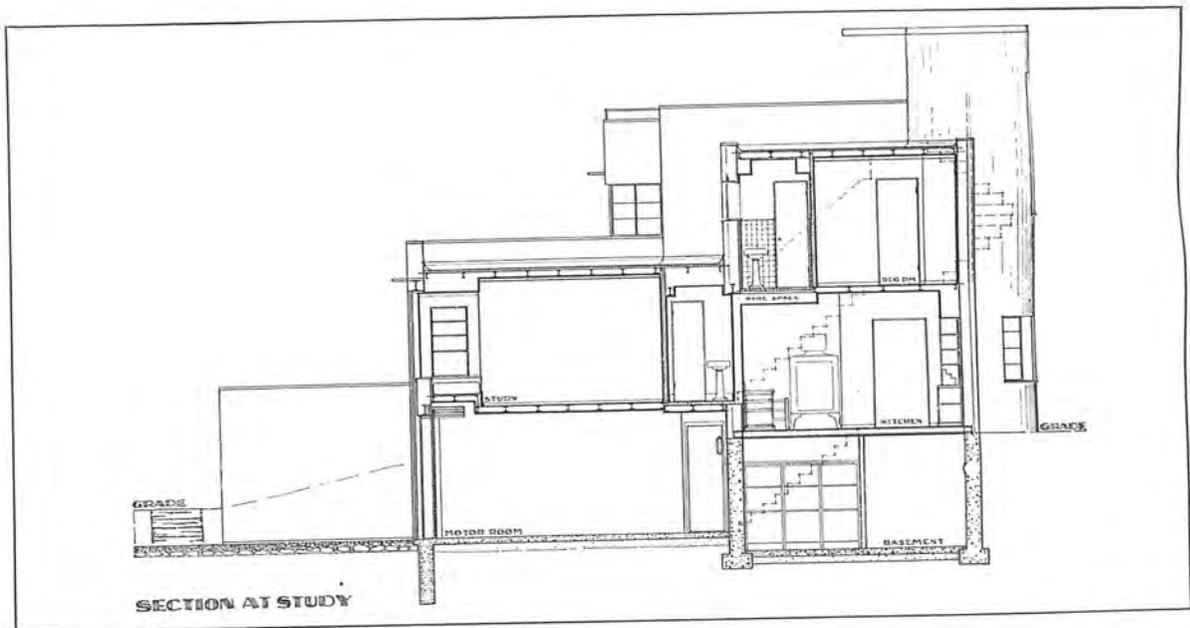
CONSTRUCTION METHODS. For erection, a stiff leg derrick with a goose neck boom was set up in front of the house in such a position that all sections could be laid directly in place. The sections were delivered on trucks and hoisted right into position, the framing plans having specified sections as large as trucking facilities and ease of

*For general data on structural design of battledeck floors, see Technical Data Bulletin No. 3 of the American Institute of Steel Construction.

handling on the job would permit. The result was that a floor was laid in one day, and this time might have been reduced with an experienced crew.

The masons completed the walls until masonry plates could be accurately set for supporting floor sections. The delay which resulted from waiting for the grout to set could have been avoided by using a channel as a continuous masonry plate, or by using columns and light beams to support the steel floor pieces and then building the masonry up to the steel. Other trades had little or no difficulty working on this new type of floor. The electricians ran conduit with square bends to get it in between the beams. Pipe openings were cut through the plate in the field, but this might have been done in the shop.

Several units were fabricated complete in the shop, hoisted into position and welded or bolted according to the plans. These units included the west porch, the deck over the kitchen entrance, the deck over the entrance to the roof, the roof over the terrace, roof over bay window, roof over the chimney breasting, and the roof over deck. Nothing structurally difficult was necessary, but the use of two channels with flanges end to end forming a rectangular beam was rather unique.



Corner of bedroom with L-shaped casement, (to provide the proper cross-ventilation) recessed radiator and washable wall covering



Kitchen view showing cabinets with shelves of reachable height and flush doors in cabinets

Another important consideration was the framing with relation to the long, horizontal windows. It was advisable to reduce the loads on the steel mullions to guard against possible settling and buckling of the sash. The corner and intermediate posts of the corner windows were 2 in. square steel, welded top and bottom to the battle-deck construction, braced by struts in the masonry below the sill. The steel window frames were tap-screwed to the posts and to the lintel above, and engaged on the outside with a continuous aluminum sill, the joint being caulked with mastic to make the installation weather-tight. All the interior sills are of slate, butted against the window frame with elastic cement.

All interior partitions are 3 in. gypsum block or 2 in. solid plaster on metal lath, the furring channels in the latter being spot-welded to the battledeck floor. All door bucks in the partitions are of steel, and they too are spot-welded to the floor. The outside masonry walls are furred out with metal lath and plaster, coved around window openings and returned on the jambs to the steel frames. Picture moldings are of metal, recessed in the plaster, the groove for the picture hook flush with the wall.

The heating plant is a vapor system, welded steel boiler, oil-fired at the rear, full automatic control, with the grates left at the front for garbage incineration. Concealed radiators with grilles of cast aluminum alloy heat the main rooms. A typical light fixture is simply a sheet of frosted glass supported by bands of brushed nickel. Minor spaces are lighted by single ceiling outlets with frosted bulbs and mirror escutcheons to increase light intensity.



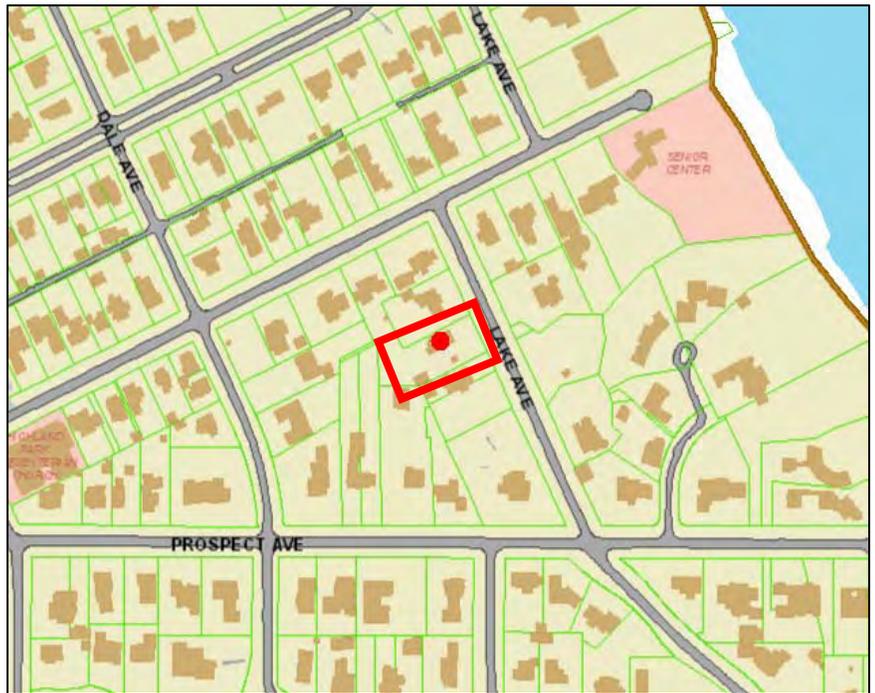
Three views of the living room. The walls, with the exception of the natural finish oak wainscoting on the east wall, are painted cafe au lait, the ceiling old ivory. The built-in couch and book-shelves above, the built-in bench below, and the flush door off the dining alcove are typical of the woodwork throughout the house. The floor is random Vermont slate, and like the cork and rubber tile floors in other rooms, cut to pattern in sections having 3 in. denominators



MEMORANDUM

Date: June 9, 2011
To: Historic Preservation Commission
From: Andy Cross, Planner II
Subject: 1894 Lake Avenue

<i>Address:</i>	1894 Lake Avenue
<i>Built:</i>	c. 1875
<i>Style:</i>	Shingle
<i>Structure:</i>	Single Family Residence
<i>Architect:</i>	Unknown
<i>Contractor:</i>	Unknown
<i>Significant Features:</i>	Queen Anne with wood shingles
<i>Alterations:</i>	<ul style="list-style-type: none">• Minor alterations only
<i>2010 Assessed Value:</i>	\$330,866



The house located at 1894 Lake Avenue is a late 19th Century Shingle-style house that is undergoing foreclosure proceedings. The house is not a local landmark and does not appear on the National Register of Historic Places. No demolition applications have been submitted for the house at this point, but there are no protections in place to preserve this house at this point.

A landmark nomination for 1894 Lake Avenue was submitted in 1991 by Irv Wagner, the Chairman of the Historic Preservation Commission at that time, based on landmark criteria 4 and 6. The property owners, Mr. and Mrs. Myron Bornstein, ultimately did not provide their consent, so the nomination was not completed.

The property changed hands in 1995 and was owned by Lisa Appelbaum. A letter was sent to Ms. Appelbaum inviting her to restart the landmark process on the house, but there are no records indicating a new nomination was submitted. All the paperwork, including the 1991 landmark nomination form, is included in the attachments to this memo.

Financial Incentives & Easements

The Illinois Historic Preservation Agency reported that there was a Tax Freeze in place for 1894 Lake Avenue in the year 2000, but it has expired. Landmarks Illinois in Chicago indicated that this property has not donated an easement on its façade.

Shingle Style

The following is a description of the Shingle Style from the Central East Architectural Survey:

<p>SHINGLE STYLE</p> <p>The Shingle Style was popular between 1880 and 1900. The most characteristic feature is the use of continuous wood shingles cladding the roof and walls and wrapping the house like a skin. They are similar to Queen Anne houses in being usually asymmetrical, with irregular, steeply pitched roof lines having cross-gables and multi-level eaves. Large porches are common.</p>  <p>1894 Lake Ave.</p>	<p>There are five Shingle Style buildings in the Central East survey area, of which one is ranked locally significant. The house at 1894 Lake Avenue was built c.1900. It has wood shingles on the second and third floors with wood clapboard on the first floor. The recessed front entry porch has a pedimented canopy with scroll brackets, and battered (flared at the bottom) porch supports. The second floor window is similar to a Palladian window configuration with two double hung windows and a center wood fanlight panel.</p>
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The following is a list of the Shingle style houses in Highland Park, as listed in the Architectural Surveys:

Address	Style	Year Built	Condition	Status
1894 Lake Avenue	Shingle	1875	Good	S
1765 Lake Avenue	Shingle	1923	Excellent	C
191 Laurel Avenue	Shingle	1890	Excellent	C
200 Laurel Avenue	Shingle	1895	Excellent	C
930 Dean Avenue	Shingle	1905	Good	S

There are no records of any of these houses having been demolished, and none have a local landmark designation.

Attachments

Location Map

Architectural Survey Entry for 1894 Lake Avenue



ELI PLACE
MIDDLE SCHOOL

ELI PLACE
MIDDLE SCHOOL

WYOMING PARK
COMMUNITY HOUSE

ART CENTER

CENTRAL PARK

SENIOR CENTER

SUNNY BROOK
METHODIST CHURCH

WYOMING PARK
METHODIST CHURCH

PUBLIC LIBRARY

LAUREL PARK

HAZEL AVE

ELM PL

PARK AVE

DALE AVE

LAKE AVE

LAKE AVE

CENTRAL CT

PROSPECT AVE

HAZEL AVE

VINCA NTON L

City of HIGHLAND PARK

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY



STREET # 1894
 STREET Lake Ave
 ROLL # 18
 FRAME #s 14
 ROLL #
 FRAME #s

GENERAL INFORMATION

<u>CLASSIFICATION</u>	building	<u>PRESENT USE</u>	single-family	<u>CONDITION</u>	excellent
<u>SECONDARY STRUCTURES</u>		<u>ORIGINAL USE</u>	single-family	<u>INTEGRITY</u>	minor alterations

ARCHITECTURAL INFORMATION

<u>ARCHITECTURAL STYLE/TYPE</u>	Shingle	<u>NO. OF STORIES</u>	2.5
<u>ARCHITECTURAL DETAILS</u>	Queen Anne	<u>EXT. WALLS (current)</u>	wood shingle wood clapboard
<u>ORIGINAL CONSTRUCTION DATE</u>	c. 1900	<u>EXT. WALLS (original)</u>	wood shingle wood clapboard
<u>SOURCE</u>	surveyor	<u>FOUNDATION</u>	brick
<u>OVERALL SHAPE OR PLAN</u>	rectangular	<u>ROOF(type & materials)</u>	gable asphalt shingle
<u>LANDSCAPE FEATURES</u>	30' setback; residential street; house on slight rise; mature trees	<u>WINDOW MATERIAL, TYPE(S)</u>	wood double hung; casement 1/1; 1lt; 10 lt
		<u>PORCH</u>	front entry

SIGNIFICANT FEATURES: Wood shingles; Palladian type configuration with wood fanlight panel and two double hung windows; recessed front entry porch with pedimented canopy and scroll brackets; battered porch supports; cornice returns; brick chimney

ALTERATIONS (removals, replacements, additions, date (if known), etc.): Enclosed side porch

SIGNIFICANCE

LOCAL SIGNIFICANCE RATING: S

Significant (S) _____
Non-Contributing (NC) _____

POTENTIAL INDIVIDUAL NATIONAL REGISTER? (Y or N) N

Criteria _____

CONTRIBUTING TO A NATIONAL REGISTER DISTRICT? (C or NC) C

Contributing secondary structure? (C or NC) C

LISTED ON EXISTING SURVEY:(IHSS, NR, etc.) HP

RESEARCH INFORMATION

HISTORY

HISTORIC NAME: _____

COMMON NAME: _____

HISTORIC INFORMATION:

ARCHITECTURE

ARCHITECT _____

SOURCE _____

BUILDER _____

COST _____

OTHER ARCHITECTURAL INFORMATION:

AREA Central East

SURVEYOR Jennifer Kenny

DATE 11/20/1998

PIN _____

RESEARCHER _____

DATE _____

NOTE
ORDER
IN JANUARY 1986 LISA APPELBAUM
2859 Summit
HP
433-1306

Highland Park Historic Preservation Commission
1707 St. Johns Avenue
Highland Park, Illinois 60035

Landmark Nomination Form

Date: September 19, 1991

1) Name of Property (original if known): _____

2) Street Address: 1894 Lake Avenue, Highland Park, IL 60035

3) Legal description or P.I.N. (Permanent Index Number from Township Assessor's Office, 600 Laurel Ave., Highland Park): _____

16-23-411-008

4) Name and Address of Property Owner(s) (From Assessor's Office): _____

Myron Bornstein

1894 Lake Avenue, Highland Park, IL 60035

5) Present Use: Residential 6) Past Use: Residential

7) Architect: _____ 8) Date of Construction: _____

9) Written statement describing property and setting forth reasons it is eligible for Landmark designation:

Late 19th Century residence that, though it doesn't fit into any neat

stylistic category, is noteworthy for its sensitive detailing - including

a bracketed pediment over the entry porch, a palladian window and a molded

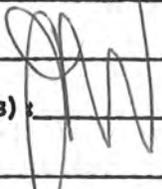
brick chimney. Reflects classical influence that found its way into residential and commercial architecture after the world Columbian Exposition of 1893.

10) This structure is eligible for designation on the basis of the following criteria (see reverse page):

#4, #6

11) Name(s) and Address(es) of Applicant(s):

Name(s): Irv Wagner

Signature(s): 

Address(es): 1707 St. Johns Avenue



12) Affiliation (Commission Member, Owner, City Council, Preservation Organization):

Historic Preservation Commission Chairman

Please complete and return this form to the Highland Park Preservation Commission 1707 St. Johns Avenue, Highland Park, Illinois 60035



CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(708) 432-0800

October 28, 1991

Mr. Myron Bornstein
1894 Lake Avenue
Highland Park, IL 60035

Dear Mr. Bornstein:

The members of the Highland Park Historic Preservation Commission are pleased to inform you that they have decided to nominate your house, at 1894 Lake Avenue, for designation as a Highland Park Landmark. During the October Historic Preservation Commission meeting it was determined that your home is eligible for listing as a local landmark, and preliminary nomination procedures commenced. The Commission would like to have your consent to continue with the procedures necessary for the designation of your house as a Highland Park Landmark.

The Commission has determined that your house meets with two of the "Criteria for Determining Highland Park Landmarks", and thus feels strongly that your house should be designated a Highland Park Landmark. Besides offering your house community-wide recognition as a significant local historic/architectural resource, landmark designation makes you eligible for certain tax incentives for historic rehabilitation work, and provides you with technical assistance from the Historic Preservation Commission.

To aid in your decision-making, I am enclosing the following materials: the Highland Park Preservation Ordinance; an information sheet about Highland Park Landmarks and the Historic Preservation Commission; a sheet which explains the differences between the National, State, and Local landmark programs; a Tax Fact Sheet; a completed nomination form for your house (with a list of criteria on the back); and an Owner Consent form. As you will note on page 24-8 of the Preservation Ordinance, approval or rejection must be made within sixty (60) days of receipt of this letter. If you do not respond within sixty (60) days, the Commission has the authority to continue the designation process without your consent. If you would like an extension to the sixty day period, please let me know.

Please feel free to call me to discuss with you the implications of landmark designation. My office is at Community Development, and my phone number is 432-0867. I look forward to hearing from you.

Sincerely,

A handwritten signature in cursive script that reads "Diana Evanyshyn-Saltel".

Diana Evanyshyn-Saltel
Assistant Planner

DES:aaw

Enclosures



CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(708) 432-0800

November 27, 1991

Mrs. Bornstein
1894 Lake Avenue
Highland Park, IL 60035

Dear Mrs. Bornstein:

Thank you for your inquiry regarding the local landmark program in Highland Park. In response to our telephone conversation, below you will find a list of residents who have consented to the designation of their home as a Highland Park Landmark. For your information, I have also enclosed the completed nomination form for each property. The residents are:

Sidney and Linda Firstman
290 Cedar Avenue
Highland Park, IL 60035
(708) 432-5540

Robert K. Powell
461 Hazel Avenue
Highland Park, IL 60035
(708) 433-3823

David and Diane Rochester
304 Laurel Avenue
Highland Park, IL 60035
(708) 432-6533

Jeannine A. Viti
1499 Sheridan Road
Highland Park, IL 60035
(708) 433-1615

If I can be of further assistance, please feel free to call me at 432-0867.

Sincerely,

A handwritten signature in cursive script, reading "Diana Evanyshyn-Saltel", written in black ink.

Diana Evanyshyn-Saltel
Assistant Planner

DES:aaw



CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(708) 432-0800

December 30, 1991

Mrs. Bornstein
1894 Lake Avenue
Highland Park, IL 60035

Dear Mrs. Bornstein:

Pursuant to our telephone conversation, enclosed you will find a form with which you can request an extension to the owner consent period for the Highland Park Landmark nomination of your house at 1894 Lake Avenue. If during the extension period I can answer any questions, please feel free to call me at 432-0867.

We hope that you will choose to designate your home, and be added to the list of historically and architecturally significant structures existing in our community.

Sincerely,

A handwritten signature in cursive script, reading "Diana Evanyshyn-Saltel".

Diana Evanyshyn-Saltel
Assistant Planner

Enclosure

**REQUEST FOR AN EXTENSION TO THE
OWNER-CONSENT PERIOD
FOR HIGHLAND PARK LANDMARK NOMINATION**

DATE: JAN 3, 1992

As the owner of the property located at 1894 Lane Ave.
_____ (address), I/we would like to request a sixty (60) day
extension to the owner-consent period for Highland Park landmark nomination.

Signed: Juan Rivera

(owner/s)





CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(708) 432-0800

January 7, 1992

Mrs Bornstein
1894 Lake Avenue
Highland Park, IL 60035

Dear Mrs. Bornstein:

This letter is to inform you that I have received your request for an extension to the owner-consent period for the Highland Park landmark nomination of your house at 1894 Lake Avenue. Should you have any questions about the ramifications of landmarking, please feel free to call me at 432-0867.

Highland Park has a rich and varied architectural history, and we hope that you will consent to having your home included in its landmark listing. We look forward to hearing your decision.

Sincerely,

A handwritten signature in cursive script that reads "Diana Evanyshyn-Saltel".

Diana Evanyshyn-Saltel
Assistant Planner



CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(312) 432-0800

February 25, 1992

Mrs. Bornstein
1894 Lake Avenue
Highland Park, IL 60035

Dear Mrs. Bornstein:

As you know, quite some time ago the Historic Preservation Commission nominated your house, at 1894 Lake Avenue, as a Highland Park Landmark. Subsequent to that, a request for an extension to the owner consent period was granted.

I am writing to remind you that this extension period is due to expire on March 9, 1992.

The Commission would like to know your decision on whether to give or reject consent to the designation. I would appreciate if you could complete the enclosed owner consent form in which ever way you feel is appropriate, and return it to me in the self addressed envelope.

If you have any questions, please feel free to call me at 432-0867.

Sincerely,

A handwritten signature in cursive script, appearing to read "D. Evanyshyn-Saltel".

Diana Evanyshyn-Saltel
Assistant Planner

DES:aw

Encl.

cc: Irv Wagner, Chairman

**Owner Consent Form
for
Highland Park Landmark Nomination**

Date: MAR. 9, 1992

The undersigned owner of the property located at 1894 LAKE AVE.
_____ (address), in the city of Highland Park,
Illinois, hereby

approves consent for the above property to be nominated by the Highland Park
Historic Preservation Commission for designation as a Highland Park Landmark

disapproves consent for the above property to be nominated by the Highland Park
Historic Preservation Commission for designation as a Highland Park Landmark.

(Please place an "X" in the appropriate space.)

Signature(s) _____

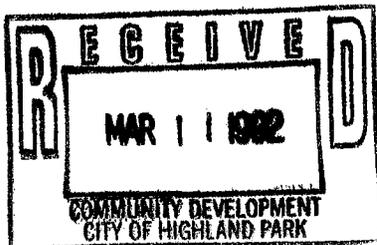
Suzanne Bornstein

Print Name(s) SUZANNE BORNSTEIN

Address 1894 LAKE AVE.

HIGHLAND PARK, IL.

Phone # 433-3398





CITY OF HIGHLAND PARK

City Hall 1707 St. Johns Avenue
Highland Park, Illinois 60035
(708) 432-0800

November 3, 1995

Ms. Lisa Appelbaum
2859 Summit
Highland Park, IL 60035

Dear Ms. Appelbaum:

In accordance with our conversation yesterday, you will find enclosed information on the property at 1894 Lake Avenue and a completed draft landmark nomination form for this property. This property is eligible for landmark designation.

I encourage you to move forward with the landmark nomination of 1894 Lake Avenue by signing and returning the enclosed nomination form after you assume ownership for this property. Once the signed nomination form is returned, the Historic Preservation Commission would place this nomination on their next meeting agenda (the Commission meets the third Thursday of each month). You would be invited to attend this meeting to speak on behalf of the property.

You will also find enclosed the following background materials:

- The Highland Park Historic Preservation Ordinance;
- An information sheet on the Historic Preservation Ordinance and Commission;
- An information sheet on the different levels of landmark designation;
- The list of of properties with local landmark status;
- The list of properties included on the National Register of Historic Places;
- Illinois Fact Sheet: National Register of Historic Places; and
- Illinois Fact Sheet: Historic Preservation Tax Credits.

Should you have any questions regarding the landmark nomination process or any of the enclosed materials, please contact me at 432-0867.

Sincerely,

A handwritten signature in cursive script, appearing to read "Wendy Yaksich".

Wendy Yaksich
Planner I
Staff Representative
Historic Preservation Commission

Enclosures