

PUBLIC NOTICE

In accordance with the Statutes of the State of Illinois and the Ordinances of the City of Highland Park, the next meeting of the Natural Resources Commission of the City of Highland Park is scheduled to be held at the hour of 6:30 p.m. on Wednesday, June 8, 2016 at the City of Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which it is anticipated there will be a discussion of the following:

City of Highland Park NATURAL RESOURCES COMMISSION

Wednesday, June 8, 2016
Highland Park City Hall
1707 St. Johns Avenue
Highland Park, Illinois
6:30 p.m.

MEETING AGENDA

I. Call to Order

II. Roll Call

III. Approval of Minutes: May 11, 2016

IV. Business from the Public

V. Old Business

- (a) Steep Slope Variation Review
 - i. 116 Deere Park Ct. – Deck Expansion Beyond Ravine Setback (*continued from 05/11/16*)
- (b) Commissioner Updates on Q1 Work Plan Items
 - i. Policy Recommendations to Improve Energy Efficiency Community Wide
 - i. Discussion of Community Wide Energy Programs with Quercus
 - ii. Improving Storm Water Management and Addressing Water Pollution
 - i. Update on Further Coal Tar Ban Research and Recommendation
 - ii. NRC Article on Microbeads in *Highlander*
- (c) Bird-Friendly Windows – Task Force Update
- (d) Discussion of Great Lakes & St. Lawrence Cities Initiative (GLSCI) and potential renewed City membership and participation

VI. New Business

- (a) Steep Slope Variation Review
 - i. 975 Sheridan Road – Pool Construction in SSZ Special Pool Setback
- (b) Recognition of Outgoing Student Representatives Dotson and Theodosakis
- (c) Discussion of Recent Environment-Related Events
 - i. 2016 Bike Fair & Film Screening – Held May 15, 2016
 - ii. Lake Michigan Beaches & Public Access Rights – Speaker Series – Held May 17, 2016
 - iii. *Revitalizing Our Ravines: Community Workshop 2016* – Held June 1, 2016
- (d) Commissioner Updates on Q1/Q2 Work Plan Items
 - i. Education & Outreach for Steep Slope Issues
 - ii. Expansion of Construction & Demolition Debris Recycling
 - iii. Policy Recommendations for Improving Air Quality Community-Wide
 - iv. Community Garden Efforts
- (e) General Discussion of Upcoming Q3 Work Plan Items

VII. Other Business

- (a) Commissioner Comments
- (b) Administrative Items

VIII. Adjournment

Posted in City Hall on June 3, 2016

PLEASE RECYCLE

PUBLIC NOTICE

In accordance with the Statutes of the State of Illinois and the Ordinances of the City of Highland Park, a Special Meeting of the Natural Resources Commission of the City of Highland Park is scheduled to be held at the hour of 5:30 p.m. on Wednesday, June 8, 2016 at the property located at 975 Sheridan Road, Highland Park, Illinois, 60035 during which it is anticipated the following will occur:

City of Highland Park NATURAL RESOURCES COMMISSION

Wednesday, June 8, 2016
975 Sheridan Road
Highland Park, Illinois
5:30 p.m.

SPECIAL MEETING AGENDA

I. Call to Order

II. New Business

- (a) SITE VISIT for Steep Slope Variation Request – 975 Sheridan Road
 - i. Pool Construction in SSZ 10' Special Pool Setback

III. Adjournment

Posted in City Hall on March 8, 2016

PLEASE RECYCLE

**MINUTES OF A REGULAR MEETING OF
THE NATURAL RESOURCES COMMISSION OF THE CITY OF HIGHLAND PARK,
ILLINOIS**

MEETING DATE: May 11, 2016

MEETING LOCATION: Pre-Session Conference Room – Highland Park City Hall
1707 St. Johns Avenue, Highland Park, Illinois

CALL TO ORDER

At 6:30 p.m., Chairman Ross called the meeting to order and Eric Olson called the roll.

ROLL CALL

Members Present: Yates, Pagoria, Nichols, LaCosse, Coyle, Wagenius (VC), Ross (C)

Members Absent:

Chairman Ross declared that there was a quorum of the Commission present.

Staff Present: Eric Olson, Planner

Also Present: Garren Kalter, Student Representative
Amalia Schwartz, Park District of Highland Park
Kim Stone, City Council Liaison

Chairman Ross then noted that the agenda item related to a Steep Slope Variation request will be heard out-of-order, earlier than listed on the agenda.

MINUTES

Vice Chair Wagenius moved to approve the minutes for the April 13, 2016 meeting of the Natural Resources Commission. Commissioner LaCosse seconded the motion. On a voice vote, the minutes were approved. Commissioners Coyle and Pagoria abstained.

BUSINESS FROM THE PUBLIC

There was no business from the public.

NEW BUSINESS

C. Steep Slope Variation Review – 116 Deere Park Court (moved to earlier in agenda)

Planner Olson provided a detailed presentation on a variation request to construct rebuild and expand a deck within the Steep Slope Zone at the property located at 116 Deere Park Court and the issues to be considered by the Natural Resources Commission in connection with the request. He then stated that the hearing is currently scheduled for the Zoning Board of Appeals on June 2, 2016.

Commissioner Pagoria asked whether the City's Engineering Division will have completed an assessment of the proposed deck project before the Zoning Board of Appeals meeting, and Planner Olson stated that they would.

Vice Chair Wagenius noted that there are two portions to the request that require a variation to the Steep Slope regulations, with the first being the expansion of the deck beyond the 150 square foot limit within the 10 foot ravine setback, and the second being expansion of the deck over the retaining wall and into the ravine.

The applicant, David Demarest, then explained his request to the Commission and addressed the deterioration of the previous deck and the improvements to the deck, retaining wall, and drainage structures.

Commissioner Coyle discussed the use and design of French drains on the property and her concerns regarding water run-off volumes that may be generated by the expanded deck. Chairman Ross then asked whether the drain pipes would be altered. Mr. Demarest stated that they would be preserved and repaired as needed.

Councilwoman Stone asked whether an engineer experienced with steep slope projects has reviewed the proposed improvements. Commissioner Pagoria then asked whether the architect appropriately sized the drainage. Mr. Demarest stated that the architect did.

Commissioner LaCrosse asked about snow management for the proposed deck. Mr. Demarest then stated that the deck expansion would be cantilevered over the existing retaining wall and that snow could be pushed off. He then noted that the deck will also be anchored to the existing home, which will reduce the effect of snow weight on the deck.

Vice Chair Wagenius asked about the extent of a impervious plastic membrane underneath the deck. Chairman Ross estimated that the membrane would be approximately 250 to 270 square feet.

Commissioner Coyle stated that it is a substantial change from the current condition of no impervious surface underneath the deck to the proposed plan that uses the plastic membrane underneath the deck. Councilwoman Stone then added that drainage will be impacted in the spring due to both water flow and ice melt.

Mr. Demarest stated that the plastic sheet could be removed from the plan if that would improve things. Chairman Ross asked whether the City's Engineering Division would review that level of detail on the plans and Planner Olson stated that he was unsure.

The Commission then discussed and deliberated the applicant's request relative to the Basic Technical Standards established in Section 150.1903(C) that apply for Steep Slope Zone variation requests.

1. *The proposed development recognizes and fit the natural topography, soils, geology, hydrology and other existing conditions on the proposed sites.*
 - Vice Chair Wagenius expressed concern that proposed improvements would substantially change the natural hydrology.
 - Commissioner Pagoria stated that the proposed water run-off system may be more protective of the retaining wall and slope, as it would reduce the amount of water and pressure behind the retaining wall.
 - Chairman Ross stated that he interpreted this standard to assess how the proposed improvements will impact the surrounding hydrology and ravine conditions.
2. *The development is oriented to keep earth moving, landscaping and other site preparation to a minimum.*
 - The Commissioners agreed that area of the proposed deck is relatively flat and that the proposed improvements would keep these activities to a minimum.
3. *The development preserves and enhances the landscape through minimized disruption of natural terrain and existing vegetation.*
 - The Commissioners noted that this standard was met.
4. *The development minimizes disruption or alteration of natural drainage ways.*
 - Commissioner Pagoria noted that the area on the north side of the existing deck that has experienced erosion will have a catch basin installed.
5. *The development minimizes the time in which areas are bare and exposed.*
 - Mr. Demarest stated that he intends to begin and complete the project as soon as possible and that the time any area is exposed will be limited.

6. *The development minimizes the amount of impervious surface to be placed on the tableland adjacent to steep slopes.*
 - Commissioner Coyle again questioned whether the design effectively manages storm water runoff from the deck so that the existing topography and hydrology is not negatively impacted. She stated that there was not enough information in the application materials to determine whether this is the case. The Commissioners stated they would like to hear from the Engineering Division first.
 - Vice Chair Wagenius noted that there has been variation in the proposal, each of which might have different consequences for the slope.
 - Commissioner Pagoria advised the applicant to make a specific determination on whether a plastic membrane or pea gravel will be used. Commissioner Coyle then added that this information will be necessary before the NRC can issue a recommendation.
 - Commission Pagoria stated that if the impervious surface is the primary concern, then the plastic sheeting could just be removed from the plan. Mr. Demarest stated that he is willing to do use either pea gravel or the plastic membrane.
7. *The development is designed and located so that structure weight does not jeopardize slope stability.*
 - The Chair stated that the proposal would have a greater structural weight, but noted that the plans were sealed by a registered architect.
 - Councilwoman Stone added that the weight on the slope will be less due to the presence of concrete piers and the anchoring of the deck to the existing house.

Commissioner Coyle moved to return the application to the applicant to allow for additional information with respect to drainage and grading and subsequent review by the City's Engineering Division and continue the meeting to the June 8, 2016 Natural Resources Commission meeting.

OLD BUSINESS

A. Commissioner Updates on Q1/Q2 Work Plan Items

Update on Further Coal Tar Ban Research and Recommendation

Vice Chair Wagenius provided a summary of the Coal Tar Ban efforts to date and presented various approaches to integrate a coal tar sealant ban into Highland Park Code. He discussed three methods, including (1) Prohibiting use of coal tar on public and private property, (2) Prohibiting sale of coal tar sealant products, and (3) Requiring licenses for pavement sealant application professionals.

The Commissioners then discussed the challenges and opportunities that the three methods present. Commissioner Coyle provided legal perspective and discussed how some language in the draft materials might be modified or clarified. Commission Pagoria discussed how some of this language came from similar Code amendments that were passed in other communities. Chairman Ross stated that the City's Corporation Counsel would also assist in developing appropriate language and locations within Code upon direction by City Council.

Commissioner Coyle stated that she will provide further legal review of the materials to help in preparing a final recommendation for City Council and then moved to continue the item to next NRC meeting in June 2016. Commissioner Nichols seconded the motion. On a voice vote, the Chairman declared that the motion passed.

Discussion of Dark Sky Lighting Code Amendments

Planner Olson provided an update, stating that the proposed amendments were considered during a public hearing at the Plan & Design Commission on April 19, 2016 and that the Plan & Design Commission directed the preparation of Findings of Fact. Chairman Ross stated that he attended the public hearing and provided a summary of the Plan & Design Commission's comments on the proposed amendments. Councilwoman Stone then stated that the Plan & Design Commission will vote on the Findings of Fact during their next meeting.

NEW BUSINESS (continued)

B. 2016 Environmental Screening Series

Councilwoman Stone provided information on the Bike-Walk Fair event that will be held on May 15, 2016. She

stated that several groups will be in attendance or will be providing materials and then asked if members would be interested in participating or in helping publicize the event.

D. Revitalizing Our Ravines: Community Workshop 2016

Chairman Ross discussed the upcoming event and asked whether any Commissioners would be interested in attending. Park District Representative Schwartz provided a copy of the event flyer. Chairman Ross stated that he will plan to attend and will report back to the group during the June meeting. Commissioner LaCosse also indicated he will try to attend.

E. Bird-Friendly Windows – Task Force Update

Vice Chair Wagenius provided a summary on the efforts to date to incorporate Bird-Friendly regulations into the Code and an update on the Bird-Friendly Task Force that has been convened by the City to further explore potential Code changes. Two meetings have been held to date. He stated that there has been resistance to the City's adoption of LEED Pilot Credit 55, with questions regarding the complexity of the credit, the need for the credit in Highland Park, and the impact on local businesses and property owners. Planner Olson then discussed the new transparency requirements in Article 23 of the Zoning Code.

The Chair asked whether the Task Force might consider alternatives to LEED Pilot Credit 55. Vice Chair Wagenius stated that he was unsure. He stated that there were concerns about monitoring requirements and the impacts the pilot credit might have on construction costs.

F. Commissioner Updates on Q1/Q2 Work Plan Items

Chairman Ross stated that rather than going item-by-item through the work plan list, he would ask whether any commissioners have updates they'd like to share with the group.

For the "Removing Obstacles to Renewable Energy in City Codes" item, Vice Chair Wagenius and Student Representative Kalter provided a presentation on three areas this might be done: (1) Addressing Energy Consumers, (2) Addressing Energy Production, and (3) Community-Wide Energy Programs.

Vice Chair Wagenius stated that some of the proposed ways to remove obstacles to renewable energy in Code might require a great deal of effort for arguably little benefit, and recommended that it would be ideal to take on many changes at one time to have the greatest impact. Student Representative Kalter then discussed annual initiative and programs including STAR and Solsmart. He stated that Evanston participates in these types of programs and that there is an opportunity for positive competition between communities. Vice Chair Wagenius and Student Representative Kalter then noted that the programs are nationally recognized and will help establish quantifiable and achievable goals.

Commissioner Nichols stated that she likes the idea of community-wide programs and the potential competition between communities, and Commissioner Pagoria agreed. Commissioner Coyle then congratulated Vice Chair Wagenius and Student Representative Kalter for their work on the topic.

Chairman Ross stated that he sees value in larger initiatives to make on multiple environmental issues at one time, adding that one is less likely to hit a "brick wall" each time. He then asked Councilwoman Stone to inquire about these community programs with Grace Rink of Quercus, the City's sustainability consultant. Vice Chair Wagenius expressed some concern that these community-wide programs might come into conflict with the work that the City's sustainability consultant is doing. Councilwoman Stone then discussed the Greenest Region Compact and Student Representative Kalter discussed carbon emission mapping being done by UC-Berkeley and stated he could contact them to ask for their data on Highland Park.

OTHER BUSINESS

A. Commissioner Comments

- Commissioner LaCosse – Stated that *Just Eat It* was an excellent film
- Commissioner Nichols – Stated that she will miss the June and July NRC meetings, returning in August 2016.

B. Administrative Items –

- Planner Olson asked whether the NRC has any recommendation on whether Highland Park should renew membership and participation in the Great Lakes and St. Lawrence Cities Initiative (GLSCI). Member LaCosse stated he is still researching the issue.

ADJOURNMENT

Vice Chair Wagenius motioned to adjourn the meeting. Commissioner LaCosse seconded the motion. Chairman Ross adjourned the meeting at 8:50 p.m.

Respectfully Submitted,

Eric Olson, Planner

MINUTES APPROVED BY THE NATURAL RESOURCES COMMISSION ON _____

- WITH NO CORRECTIONS _____
- WITH CORRECTIONS _____
(SEE MINUTES OF [_____] MEETING FOR CORRECTIONS)

DRAFT

Memorandum

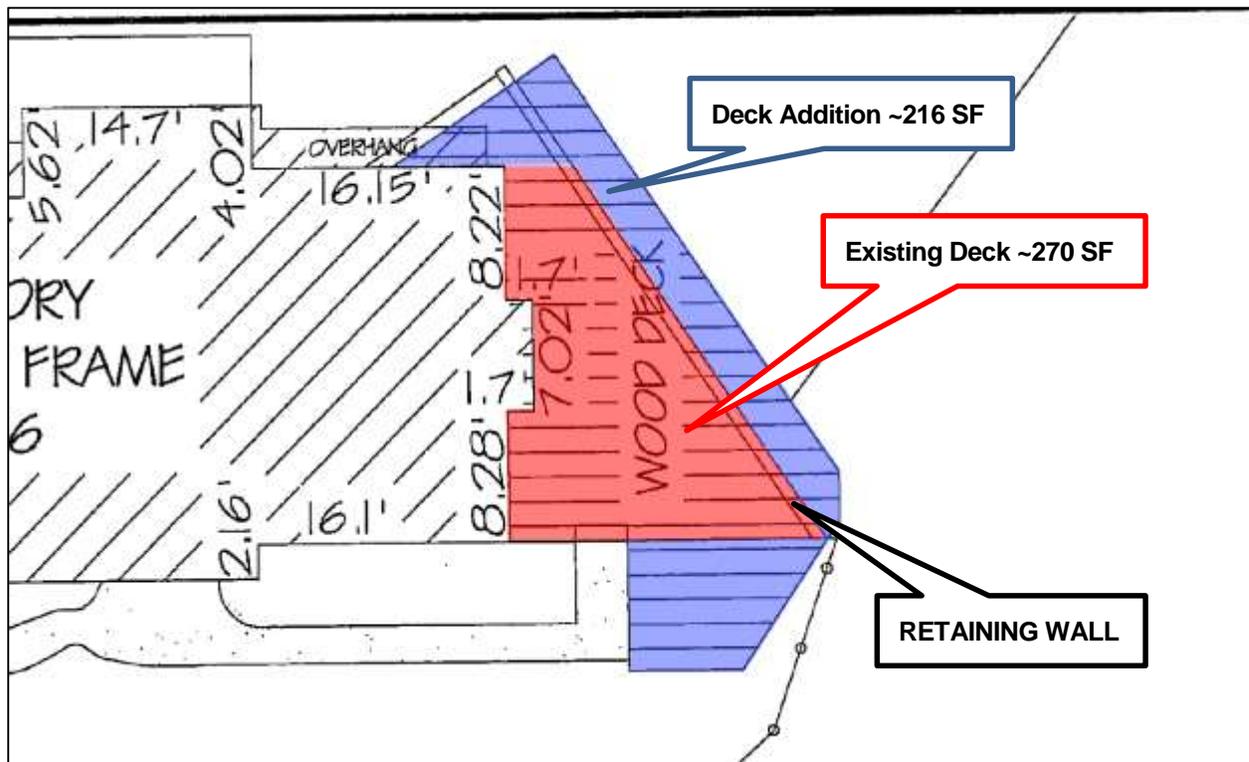


To: Members of the Natural Resources Commission
From: Eric Olson, Planner II
Date: June 6, 2016
Re: 116 Deere Park Court– Steep Slope Variation Request

After the presentations and deliberation by the Natural Resources Commission on May 11, 2016 regarding a Steep Slope variation request for 116 Deere Park Court, the Commission moved to continue the case to the June 8, 2016 meeting to allow the applicant to provide additional information with respect to drainage and grading and obtain review by the City’s Engineering Division.

Project Summary

The applicant’s existing ~270 square foot deck is on the east side of the home, and a portion of the both the deck and the home are within the 10’ ravine setback. The applicant wishes to reconstruct and expand his deck within the 10’ ravine setback, over the retaining wall, and into the ravine slope. However, the proposed deck is proposed to be cantilevered over the ravine slope and supported by the existing retaining wall structure. The total size of the proposed deck is 486 square feet, which is both too large to be considered an exempt activity by the Zoning Code and extends into the ravine itself, which disqualifies the improvement from being considered an exempt activity.



Updated Plans and Narrative Letter

The applicant has provided revised plans and an associated letter clarifying the use of a membrane and pea gravel underneath the deck as part of a drainage system. Originally, the plans were represented as included an impermeable plastic membrane which would direct water to a drain and catchment basin. The applicant now states that the ground

underneath the deck will be covered with a permeable fabric topped with pea gravel ballast to serve as a weed and plant barrier. Storm water will be able to pass through the deck planking, pea gravel, and fabric membrane, through the existing soil, and then out through the existing drainage pipes in the retaining wall.

The applicant has also provided further detail with regard to efforts to reduce erosion that had occurred at the north end of the existing deck, which includes raising the soil grade, contouring the soil, and protecting the soil with decking.

Engineering Division Review

The City's Engineering Division reviewed the revised plans submitted by the Applicant. The Engineering Division did not comment directly on the proposed improvements, instead noting that the Division does not support the construction of prohibited structures in the Steep Slope Zone without the appropriate relief and that the relief for the proposed deck construction at 116 Deere Park Court is left to the interpretation and discretion of the NRC and the Zoning Board of Appeals in accordance with Code.

Attachments:

- 116 Deere Park Court – Updated Plans & Narrative
- Engineering Division Memo (06-06-2016)

DAVID C. DEMAREST

Telephone: (847) 780-4602

116 Deere Park Court
Highland Park, IL 60035
email: dcdemarest@msn.com

Mobile: (312) 863-9271

Tuesday, May 17, 2016

City of Highland Park
Planning Commission

Subject: Application for Variance – Deck Repair and Extension
116 Deere Park Court, Highland Park

Sirs:

I wish to correct the record of the meeting held last Wednesday evening, May 11th regarding our request to obtain a variance and building permit to repair and extend a deck at the end our house and adjacent to a ravine that constitutes a “steep slope” according to the relevant City of Highland Park Steep Slope Ordinance.

Due to some confusion how the deck was to be repaired/reconstructed, there was some concern voiced regarding run-off of rainwater and snowmelt than could potentially cause negative impact on erosion of the steep slope. We had thought that the architect had proposed covering the ground surface under the deck with plastic sheeting and pea gravel that would allow run-off water to collect in a drainage area at the edge of the existing retaining wall that would then collect in a catchment basin at the far end of the wall, then to run-off into existing draining conduits down to the bottom of the ravine. We were mistaken on this and apologize for the misunderstanding.

The actual specifications call for covering the deck’s sub-surface with a permeable fabric topped with pea gravel ballast merely to serve as a weed and plant barrier. Water would run off the deck through spacing allowed between the deck planking and would percolate through the existing compacted gravel soil and out the originally designed drainage conduits in the wall. This method has worked quite well since the retaining wall was installed in 1980. There is no erosion at any place along the base of the wall as noted in photographs taken during the site visit just prior to the May 11th meeting.

However, we have included additional detail on how we propose to deal with the erosion that is occurring at the far northwestern part of the deck, as indicated in new specifications provided in our amended plans:

- We would first increase the level of the subsoil along the far-end of the retaining wall with compacted gravel (at present, in this area, the subsoil is approximately 1 foot lower than the remaining deck subsoil level). This would provide additional

support for the back side of the end of the retaining wall and would lessen the rain run-off which now appears to be occurring on the hard compacted soil there.

- We would also cover this part of the raised subsoil with a small triangle of extended decking which would further protect against direct rainfall run-off.
- The soil underneath this area of decking would be contoured to allow the run-off that does not percolate into the retaining wall system to flow into a catchment basin as shown on the amended plans. Run-off from this catchment basin would be directed all the way down the slope by a separate 4-inch diameter conduit, thus avoiding overloading existing conduits. The architect has determined that the size of the basin is more than adequate to deal with any water run-off from this small triangular area.

In all other respects, we reiterate the points in our prior submission – that we comply with all provisions of the Steep Slope Ordinance – our request for a slight deck overhang will have no negative impact on the steep slope area, that construction will have either minimal or no impact on it and that overall, the project will serve to improve the area by protecting the existing retaining wall from further weathering and deterioration.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "David C. Demarest".

David C. Demarest

GENERAL NOTES:

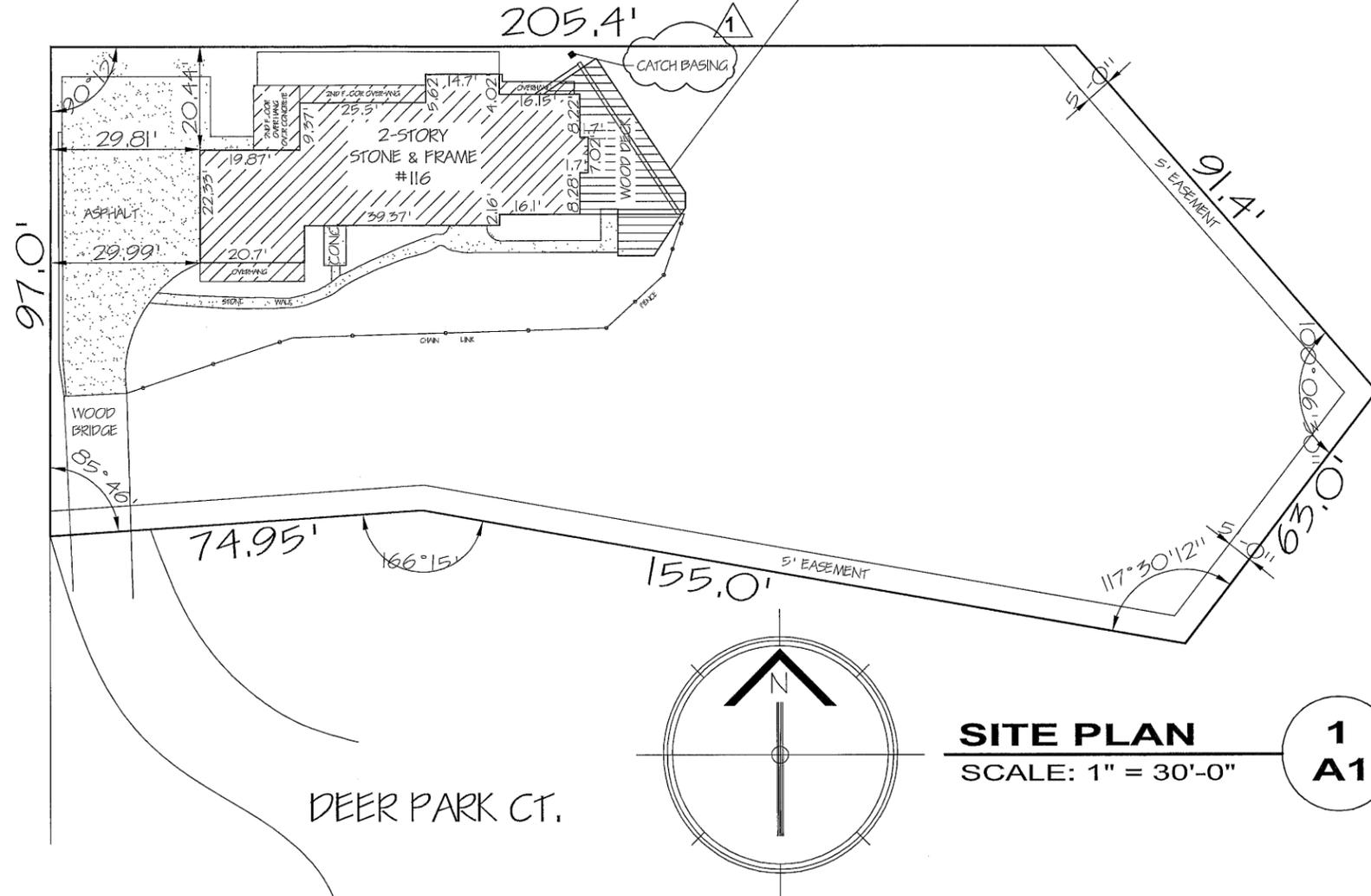
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
2. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL NEW WORK COMPLIES WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES AND SHALL OBTAIN ALL NECESSARY PERMITS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR WORKING AT THE SITE TO PROTECT THE OWNER'S EXISTING STRUCTURES, EQUIPMENT, FURNISHING, ETC., FROM DAMAGE DUE TO HIS WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIXING AND/ OR REPLACING ANYTHING EXISTING ON THE SITE, BUILDING UTILITIES, OR ANY OTHER OWNER EQUIPMENT THAT IS DAMAGED AS A RESULT OF HIS WORK.
5. ALL WORK SHALL BE PERFORMED IN A GOOD WORKMANLIKE MANNER. ALL SUBCONTRACTORS SHALL REMOVE THEIR DEBRIS AND LEAVE THE JOB SITE BROOM SWEEPED AT THE END OF EACH WORK DAY.
6. EACH AND EVERY CONTRACTOR AND SUBCONTRACTOR PERFORMING WORK AT THE SITE OF THE PROJECT TO WHICH THIS CONTRACT RELATES, SHALL COMPLY WITH APPLICABLE PROVISIONS OF ALL PERTINENT FEDERAL AND STATE LABOR LAWS.
7. THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS SERVICES, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON DRAWINGS OR REASONABLY INFERRED THEREFROM.
8. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM FROM CLAIMS UNDER WORKMAN'S COMPENSATION ACTS AND OTHER EMPLOYEE BENEFIT ACTS; FROM CLAIMS FOR DAMAGES BECAUSE OF BODILY INJURIES, INCLUDING DEATH TO HIS EMPLOYEES AND ALL OTHERS, FROM CLAIMS FOR DAMAGES TO PROPERTY ANY OR ALL OF WHICH MAY ARISE OUT OF OR RESULT FROM THE CONTRACTOR'S OPERATIONS UNDER THIS CONTRACT.
ALL INSURANCE REQUIRED SHALL INCLUDE INDEMNIFICATION AND HOLD HARMLESS PROVISIONS COVERING BOTH THE OWNER AND ARCHITECT.
9. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF ITEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
10. DURING CONSTRUCTION, ALL NECESSARY PRECAUTIONS SHALL BE OBSERVED SO AS TO PREVENT ANY HAZARDOUS CONDITIONS TO OCCUPANTS STILL USING OTHER PORTIONS OF THE BUILDING. FLAMMABLE FINISHES SHALL NOT BE STORED ON THE SITE UNTIL THEY ARE TO BE USED. PORTABLE FIRE EXTINGUISHING EQUIPMENT SHALL BE KEPT IN THE CONSTRUCTION AREA. COMBUSTIBLE RUBBISH AND SCRAP CONSTRUCTION MATERIALS SHALL BE REMOVED FROM THE SITE DAILY.

SITE WORK NOTES

1. ALL DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- 2.

DRAWING LIST	
A1	SITE PLAN, SITE DATA, NOTES
A2	PROPOSED DECK- FOUNDATION & FRAMING PLAN
A3	PROPOSED DECK CROSS SECTION, PERGOLA DETAILS, NOTES
A4	PROPOSED DECK DETAILS

**SCOPE OF WORK:
EXISTING WOOD DECK REPLACEMENT
PROPOSED DECK AREA= 486.0 SF**



SITE PLAN
SCALE: 1" = 30'-0"

1
A1

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH THE ZONING ORDINANCES AND BUILDING CODES OF VILLAGE OF HIGHLAND PARK AND THE STATE OF ILLINOIS.

Andrzej Kacprzyński
ANDRZEJ KACPRZYNSKI
ILLINOIS LICENSE # 001.021686, EXPIRES: 11 / 30 / 16



ISSUE DATES	
DATE	DESCRIPTION
04.11.2016	PERMIT ISSUE
05.15.2016	REVISION #1

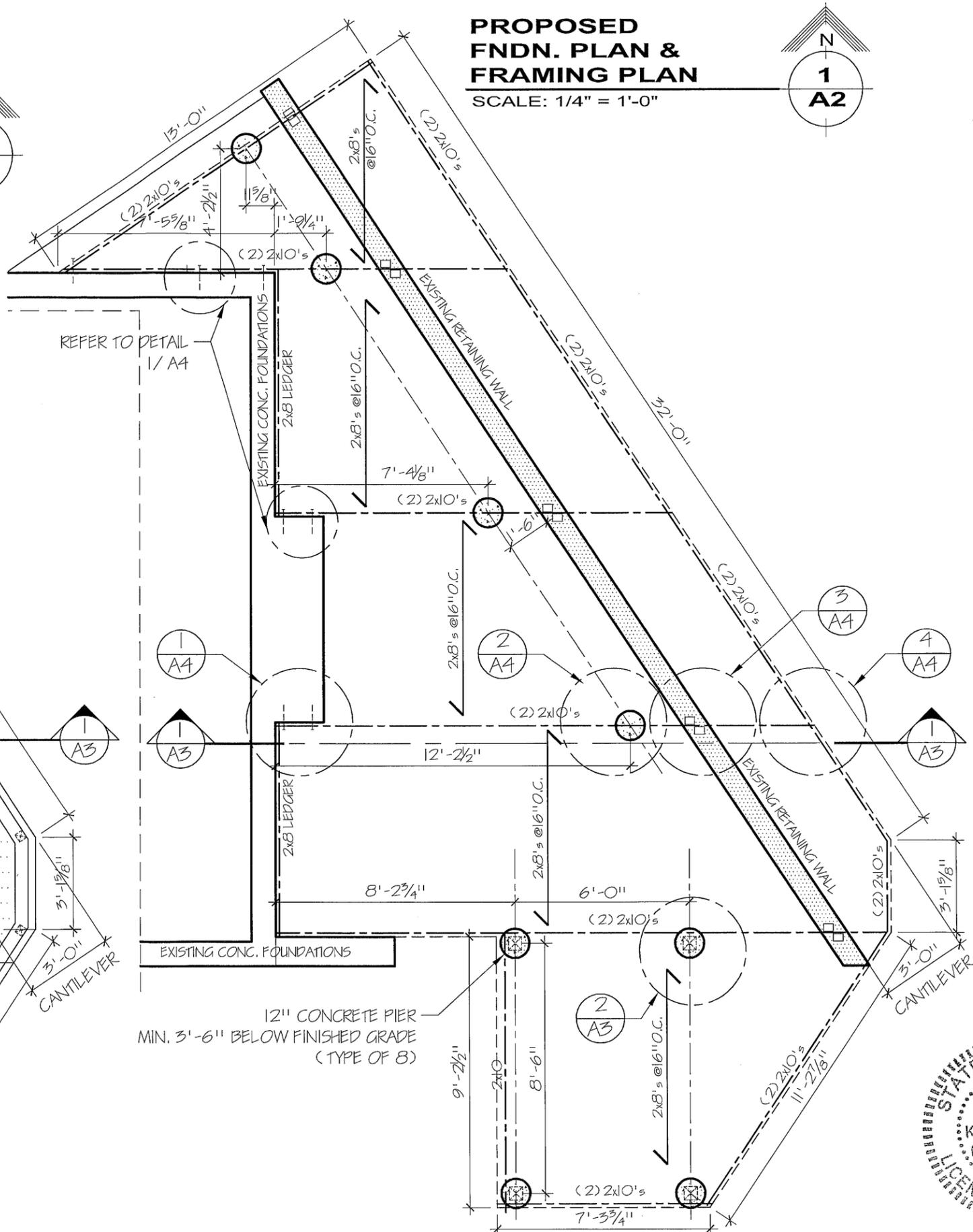
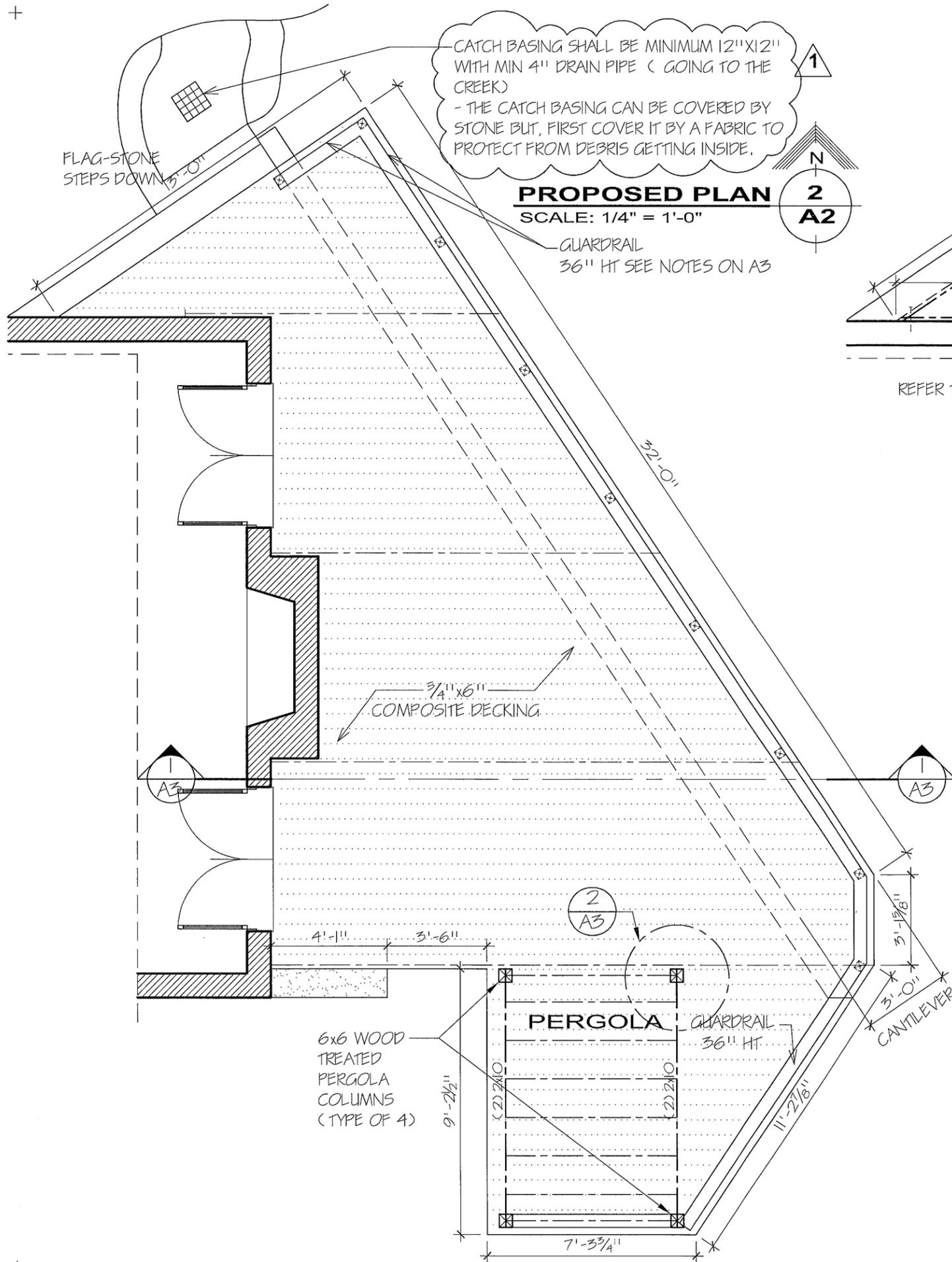
PRO-PLAN ARCHITECTS, P.C.
and
architects
481 W. Park Ave. #200
Highland Park, IL 60034
tel/fax 630-228-7082
WWW.PROPLANARCHITECTS.COM

JOB NO	1617
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
SITE PLAN, GENERAL NOTES

EXISTING WOOD DECK REPLACEMENT
116 DEERE PARK CT HIGHLAND PARK, IL

SHEET NO
A1



ISSUE DATES			
DATE	DESCRIPTION	PERMIT ISSUE	REVISION #1
04.11.2016			
05.15.2016			

PRO-PLAN ARCHITECTS, P.C.
 ARCHITECTS
 ANDY KACPRZYNSKI
 10800 S. WILSON AVENUE
 SUITE 630
 CHICAGO, IL 60628-7082
 WWW.PROPLANARCHITECTS.COM

JOB NO	1617
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
 FOUNDATION & FRAMING PLAN
 EXISTING WOOD DECK REPLACEMENT
 116 DEERE PARK CT HIGHLAND PARK, IL

SHEET NO
A2



NOTES- MATERIALS:

- WOOD:**
SOUTHERN YELLOW PINE, PRESSURE TREATED USING ACQ-C, ACQ-D, CBA-A, OR CA-B PRESERVATIVE, GRADE No.1 OR BETTER SHALL BE USED FOR COLUMNS, AND GRADE No.2 OR BETTER SHALL BE USED FOR ALL OTHER MEMBERS.
- FASTENERS:**
NAILS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS.
DECK SCREWS- 2 1/2" TO 3 1/2" LONG, #8 SIZE MIN., STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
LAG BOLTS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE SAE GRADE 2.
HEX BOLTS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE ASTM A307.
- CONCRETE:**
CONCRETE, WHETHER PREPACKAGED OR REDI-MIX, SHALL HAVE A COMPRESSIVE STRENGTH OF 3,500 POUNDS PER SQUARE INCH 28 DAYS AFTER PLACEMENT, AND SHALL HAVE 5% - 8% AIR ENTRAINMENT.
- REINFORCEMENT BARS:**
REINFORCEMENT BARS SHALL BE ASTM A615, GRADE 60 STEEL.
- MASONRY:**
MASONRY UNITS SHALL COMPLY WITH APPLICABLE ASTM STANDARDS, AND MORTAR SHALL BE TYPE M OR S, WITH $f_m=1,150$ PSI.
- METAL CONSTRUCTION CONNECTORS:**
THESE SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED (G-185), SIMPSON STRONG TIE, UNITED STEEL PRODUCTS OR EQUAL, TO BE USED FOR JOIST HANGER, COLUMN BASE, METAL STRAP, AND METAL ANGLE CONNECTIONS.
- FLASHING AND SEALANTS:**
FLASHING SHALL BE 28 GA. STAINLESS STEEL (0.15" MIN. THICKNESS ASTM A167, TYPE 304) OR 16-oz COLD ROLLED COPPER (0.021" MIN. THICKNESS, ASTM B 370). CARLISE COATINGS' CCW-705 SELF-ADHERING VAPOR/ AIR BARRIER SYSTEM OR EQUAL SHALL BE USED FOR THE VAPOR BARRIER AT THE LEDGER BEAM CONNECTIONS. SEALANT SHALL BE 100% SILICONE RUBBER SEALANT WITH A 50 YEAR DURABILITY GUARANTEE.
- STRUCTURAL STEEL:**
ALL STRUCTURAL STEEL SHALL BE ASTM A-36, COATED WITH A RUST PROHIBITED PRIMER WITH A MIN. DRY THICKNESS OF 3 MILS.

WOOD DECK NOTES:

- ALL WOOD TO BE USED HAS TO BE PRESSURE TREATED AGAINST WEATHER AND DECAY.
- MIN. 12"Ø CONCRETE PIERS MUST BE USED AND EXTEND 42" BELOW FINISHED GRADE AND MIN. 1" ABOVE GRADE.
- THE WOOD POSTS THAT SUPPORT THE GIRDER MAY NOT BE IMBEDDED IN THE CONCRETE. A POST ANCHOR IS TO BE UTILIZED.
- THE GROUND UNDER THE DECK MUST BE COVERED WITH A PERMEABLE FABRIC AND STONE BALLAST (PEA GRAVEL) ON THE TOP.
- USE ONLY GALVANIZED FASTENERS.
- OVERHEAD ELECTRICAL SERVICES MUST BE A MINIMUM OF 10'-0" ABOVE DECK SURFACE.

FOUNDATION NOTES:

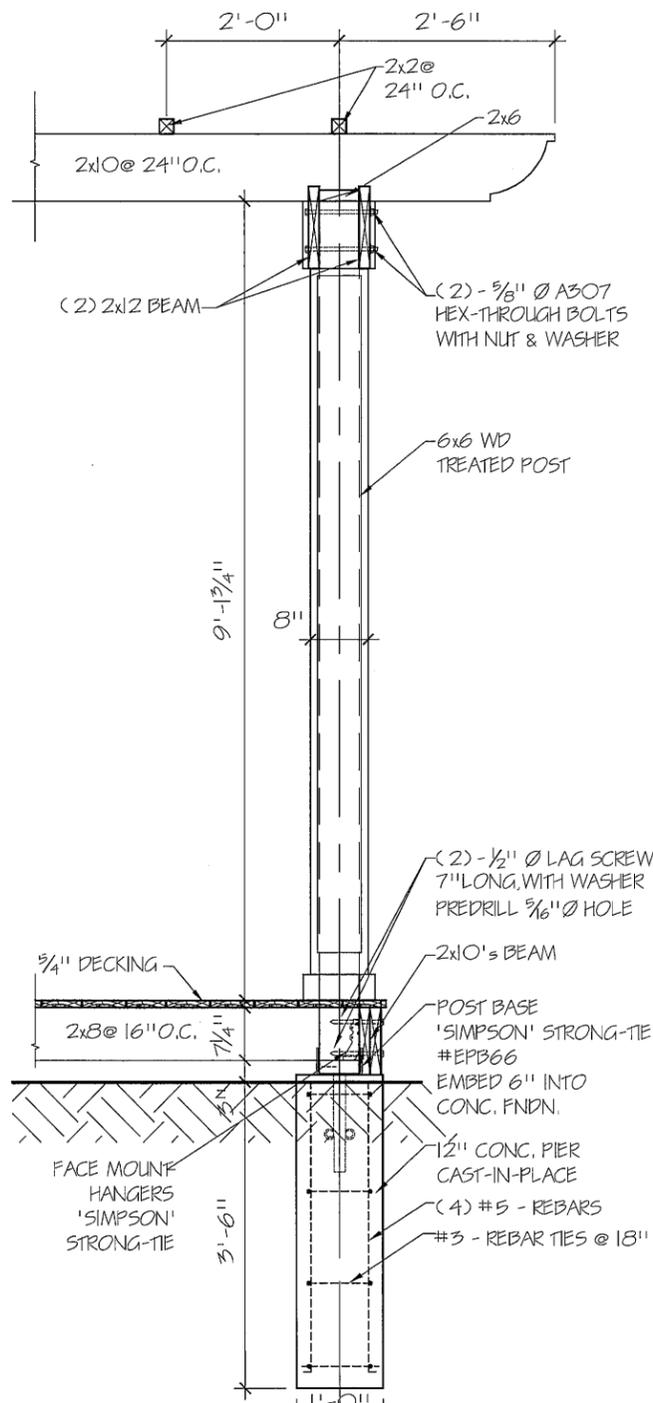
- CONTRACTOR TO LOCATE UTILITIES PRIOR TO EXCAVATING FOR FOUNDATION.
- CONTRACTOR TO NOTIFY DIGGER (1-312-744-7000) 48 HOURS MINIMUM PRIOR TO EXCAVATION.
- REINFORCEMENT TO BE ASTM A-6-15, GR-60, EPOXY COATED. MINIMUM SPLICE LENGTH IS 30 BAR DIAMETERS.
- CONCRETE TO HAVE $f_c=3500$ PSI W/ 5-8% AIR ENTRAINMENT.

STAIR NOTES:

- MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND THE MINIMUM TREAD DEPTH SHALL BE 10".
- NOSING SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 1 1/4". THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- STAIRWAYS SHALL NOT BE LESS THAN THREE FEET IN CLEAR WIDTH, AND THE MINIMUM HEADROOM SHALL BE 6'-8". HANDRAILS MAY PROJECT FROM EACH SIDE OF STAIRWAY A DISTANCE OF 4 1/2" INTO THE REQUIRED WIDTH.

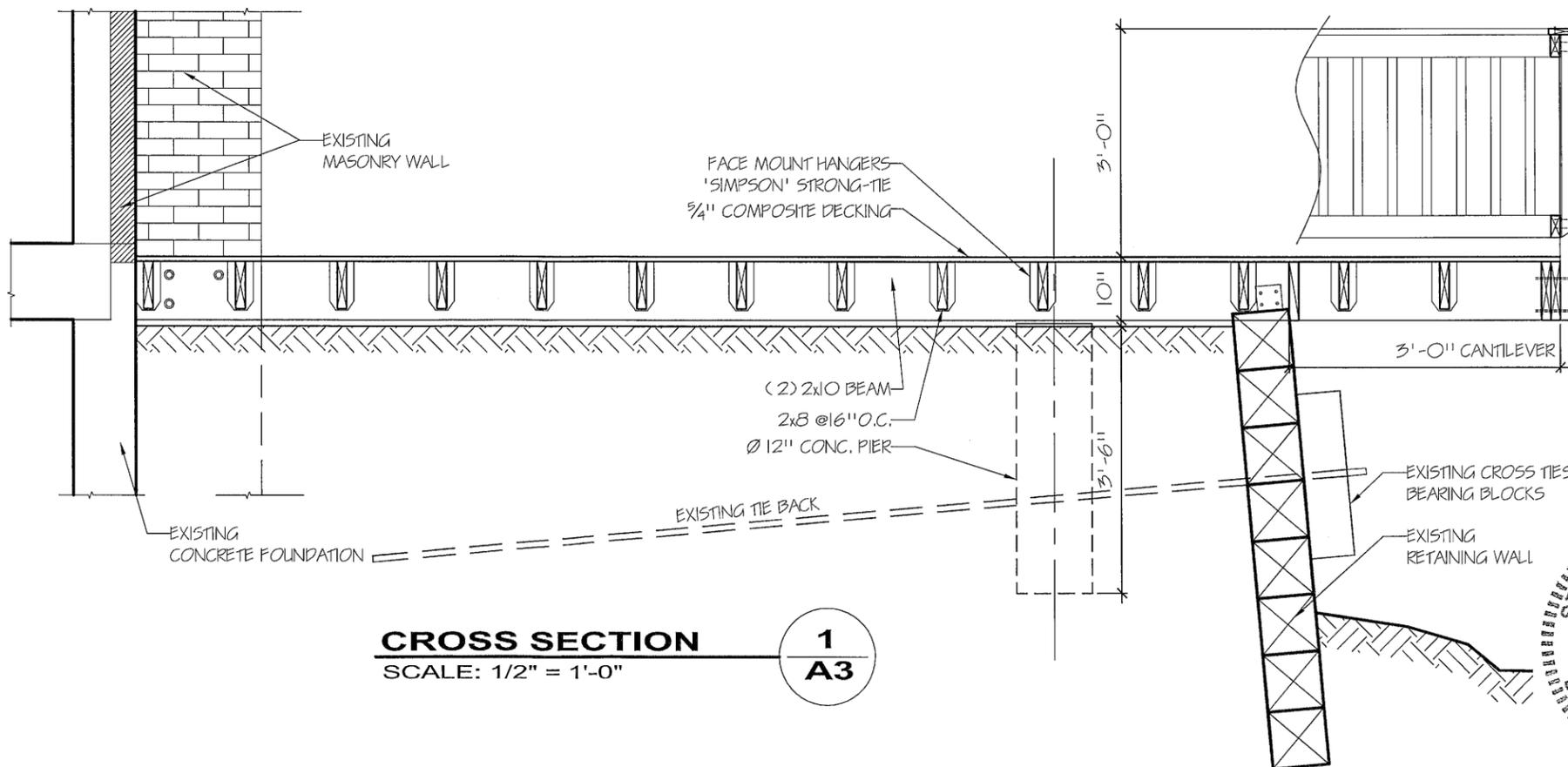
GUARDRAIL NOTES:

- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT.
- OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW OF PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.



PERGOLA DETAIL
SCALE: 1/2" = 1'-0"

2
A3



CROSS SECTION
SCALE: 1/2" = 1'-0"

1
A3

JOB NO 1617
DRAWN BY:
ANDY KACPRZYNSKI

DRAWING LIST
CROSS SECTION & DECK NOTES
PERGOLA DETAILS

EXISTING WOOD DECK REPLACEMENT
116 DEERE PARK CT HIGHLAND PARK, IL

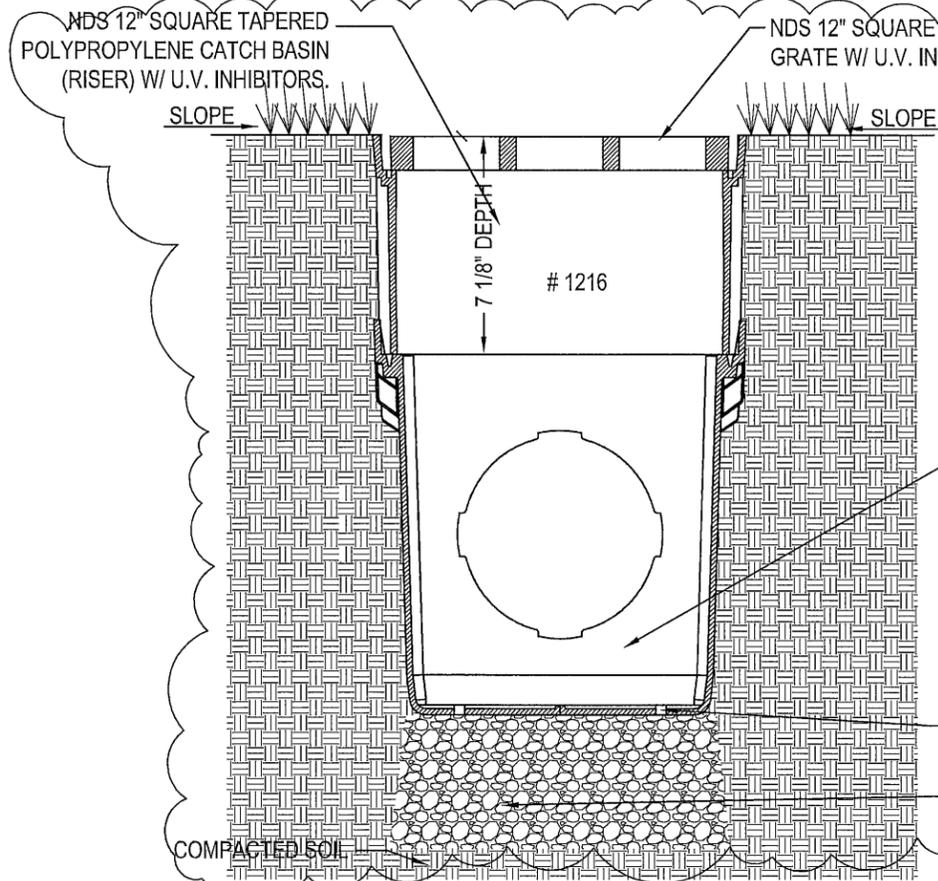
SHEET NO

A3



PRO-PLAN ARCHITECTS, P.C.
a n d r z e j k a c p r z y n s k i
108 Algonquin Ct. Suite 100, Highland Park, IL 60034
tel/fax 630-228-7082
WWW.PROPLANARCHITECTS.COM

ISSUE DATES			
DATE	DESCRIPTION	PERMIT ISSUE	REVISION #1
04.11.2016			
05.15.2016			



NOTES:

1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
3. DO NOT USE OVER 5 RISERS WITH CATCH BASIN.
4. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
5. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. DO NOT SCALE DRAWING.
7. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
8. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

NDS 12" SQUARE TAPERED POLYPROPYLENE CATCH BASIN W/ U.V. INHIBITORS.

SQUARE CATCH BASIN

12" SQUARE CATCH BASIN WITH RISER INSTALLATION FOR LANDSCAPE APPLICATIONS 1

DRILL 1/8" WEEP HOLE TYPICAL OF 4 PLACES AT BTM CORNERS.

3/4" GRAVEL BASE 4" TO 6" DEEP BELOW BASIN. TO PREVENT STANDING WATER.

COMPACTED SOIL

1

ISSUE DATES			
DATE	DESCRIPTION	PERMIT ISSUE	REVISION #1
04.11.2016			
05.15.2016			

PRO-PLAN ARCHITECTS, P.C.
 a r c h i t e c t
 a n d y k a c p r z y n s k i
 116 DEERE PARK CT
 HIGHLAND PARK, IL 60030
 TEL/FAX 630-228-7082
 WWW.PROPLANARCHITECTS.COM

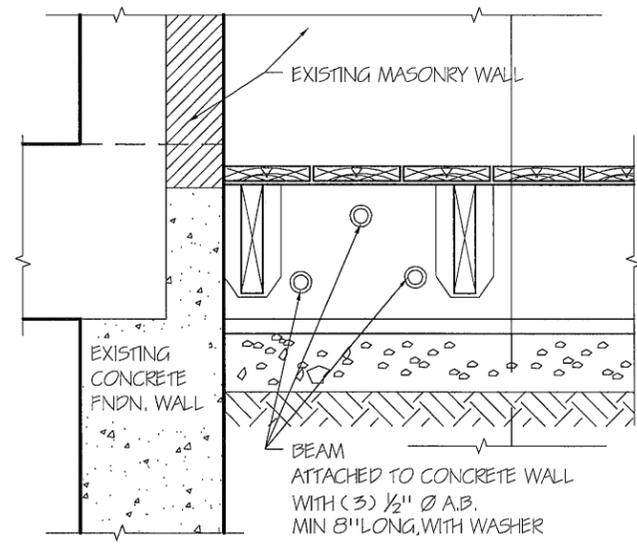
JOB NO	1617
DRAWN BY:	ANDY KACPRZYNSKI

EXISTING WOOD DECK REPLACEMENT
 116 DEERE PARK CT HIGHLAND PARK, IL

DRAWING LIST
 DECK DETAILS

SHEET NO

A4

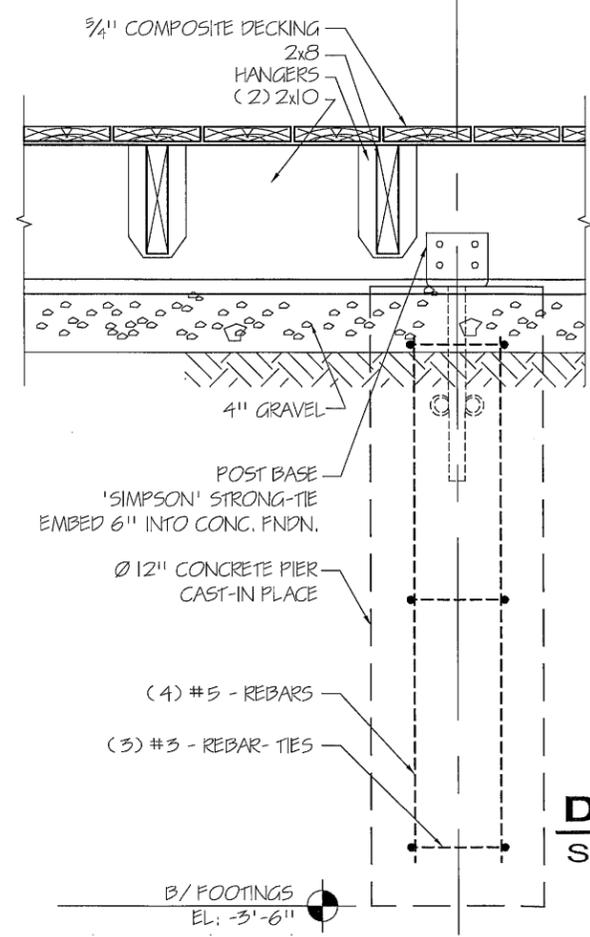


DETAIL

SCALE: 1" = 1'-0"

1

A4

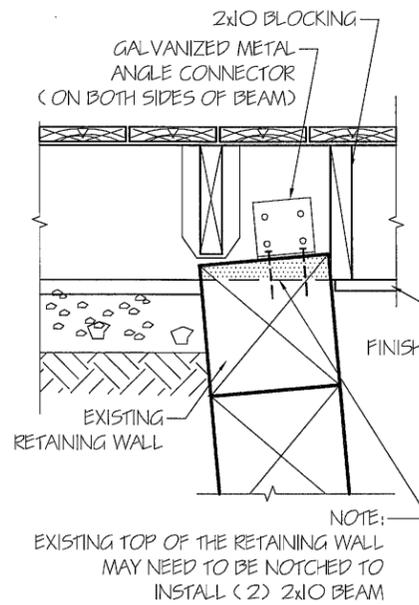


DETAIL

SCALE: 1" = 1'-0"

2

A4

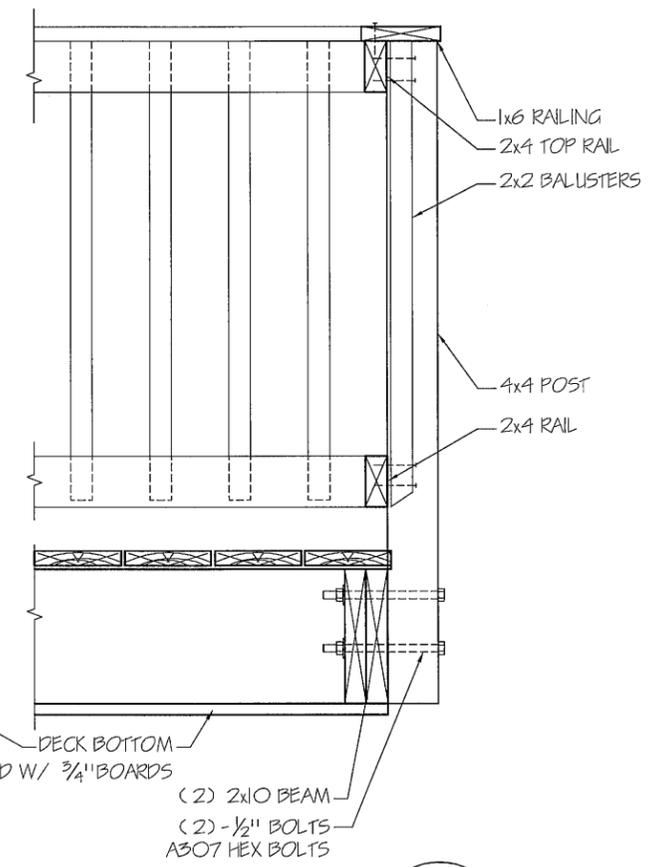


DETAIL

SCALE: 1" = 1'-0"

3

A4



DETAIL

SCALE: 1" = 1'-0"

4

A4



PUBLIC WORKS MEMORANDUM



DATE: June 6, 2016

TO: Eric Olson, Planner II

FROM: Emmanuel Gomez, City Engineer 

SUBJECT: 116 Deere Park Drive, Proposed Deck Expansion in the Steep Slope Zone

The existing single family residence, and deck, at 116 Deere Park Court was constructed in the Steep Slope Zone prior to the existence of Article XIX of the Zoning Code, and is a legal non-conforming structure. Section 150.1903(A) of the Zoning Code prohibits decks from being constructed on the Steep Slope. The Department of Public Works staff strives to apply the requirements of Article XIX consistently and objectively; and does not support the construction of prohibited structures on the Steep Slope; without the necessary relief from the Zoning Board of Appeals.

Section 150.1912 states that strict application of the provisions of Article XIX is not intended to deprive a property owner of the reasonable use of their property. Consideration for granting the necessary relief should include any hardship to the owner justifying the additional encroachment onto the Steep Slope. Relief allowing the proposed deck expansion onto the Steep Slope is left to the interpretation and discretion of the Natural Resources Commission and Zoning Board of Appeals in accordance with Article XIX.

Please contact me with any comments regarding this memo.

Microbeads are tiny synthetic plastic particles used as abrasives in many personal care products, such as facial scrub, soap and toothpaste. When Highland Park residents use personal care products containing microbeads the tiny plastic beads, which come in many different colors and are about the size of a pen-tip, don't dissolve. They are rinsed down the drain. Because of their small size and buoyancy, they pass through the North Shore Water Reclamation District wastewater treatment plant and are discharged into the Skokie River and ultimately to the Mississippi River. The State of Illinois passed legislation in June 2014 banning the manufacturing and sale of products containing microbeads beginning in 2018. The U.S. congress passed the Microbead-Free Waters Act of 2015. The federal ban takes effect in July 2017, 6 months before the Illinois law. Why wait to eliminate this environmental risk from the Skokie River? Highland Park residents can start now by switching from products that show polyethylene and polypropylene in their ingredient lists. Several personal care product and cosmetics manufacturers are already working to replace microbeads with natural alternatives such as ground seeds or nuts, oatmeal, or pumice. More information on products containing microbeads and alternative products can be found at the following websites:

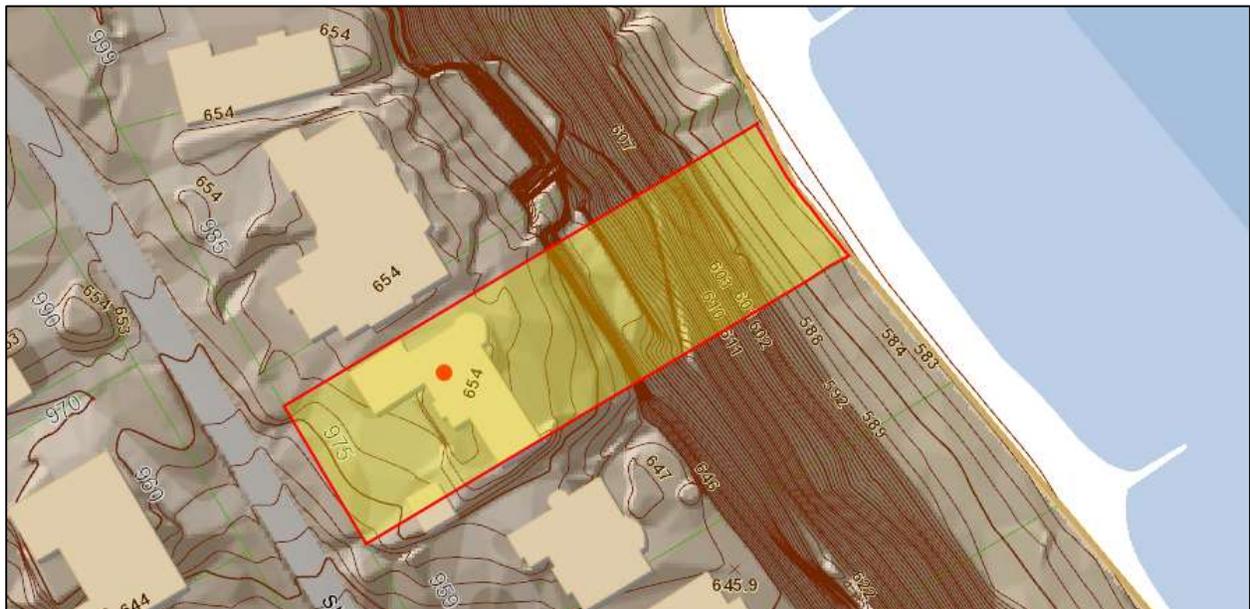
[Http://www.greatlakes.org/microbeads](http://www.greatlakes.org/microbeads)

<http://www.beatthemicrobead.org/en/product-lists>

Memorandum



To: Members of the Natural Resources Commission
From: Eric Olson, Planner II
Date: June 6, 2016
RE: 975 Sheridan Road – Steep Slope Variation Request



An applicant is proposing to construct a new 9,992 square foot single family residence at 975 Sheridan Road (*refer to image above*). As part of the proposed construction, the applicants intend to build an “infinity pool”-style underground swimming pool. However, as currently sited the proposed swimming pool encroaches five feet into the 10’ special setback for swimming pools that are in addition to the 40’ lake bluff setback from the top of the Steep Slope, as defined by Article 19 of the Zoning Code.

ZONING POLICY

Section 150.1904 Special Setbacks.

Swimming pools are prohibited within ten (10) feet of the Steep Slope Zone. However, at or above grade pool decks and patios may extend into this special setback; but in no case shall these structures encroach upon or extend into the Steep Slope Zone, except to the extent permitted under the terms of Section 150.1906 of this Article.

STANDARDS FOR CONSIDERATION

Per Section 150.1912, the Natural Resources Commission is being asked to consider the variation application and vote to direct staff to draft Findings of Fact for Zoning Board of Appeals consideration. The Basic Technical Standards by which the Natural Resource Commission must review this request are established in Section 150.1903(C).

- (1) The proposed development recognizes and fits the natural topography, soils, geology, hydrology and other existing conditions on the proposed sites.

Attachments:

- Application Materials & Plans
- Renderings of Proposed Improvements
- Letter of Situation and Hardship
- Letter from Applicant's Engineer (Soil & Material Consultants, Inc. – June 6, 2016)

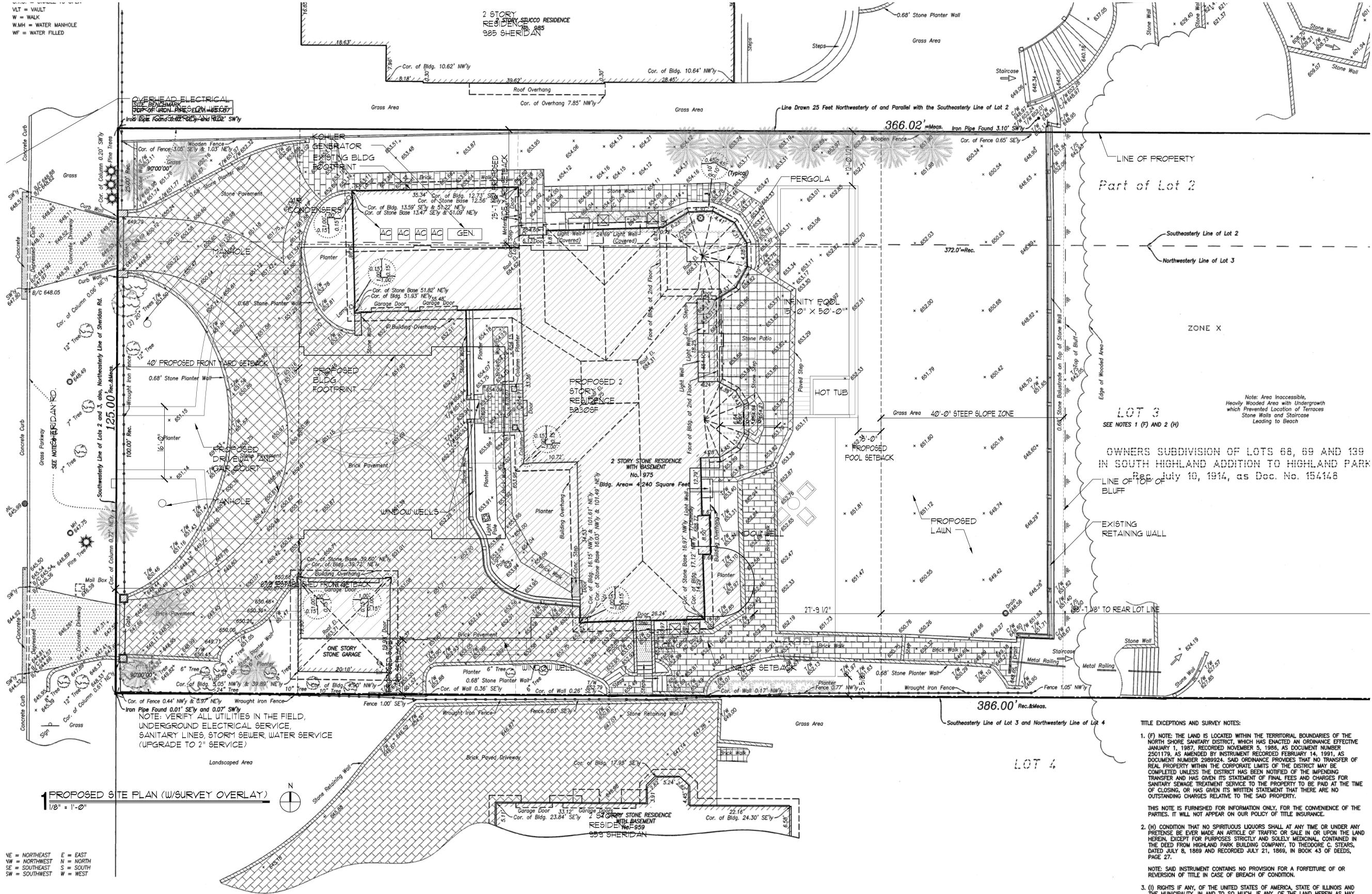
I hereby certify that these drawings were prepared in my office under my direct supervision and to the best of my knowledge conform with the codes and ordinances of Mount Prospect, IL.

IL Professional Design Firm
Lic. #84.002979 Expires 4/30/17

1. CLIENT REVIEW	12/05
2. CLIENT REVIEW	12/25
3. CLIENT REVIEW	1/16
4. CLIENT REVIEW	1/16
5.	
6.	
7.	
8.	
9.	
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11.	
12.	
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14.	
15.	
16.	
17.	
18.	
19.	
20.	

DESIGNED BY:	
CHECKED BY:	
DATE:	16/01
PROJECT NO.:	
FLIGHT DATE:	5/23/16

VLT = VAULT
W = WALK
W.M.H. = WATER MANHOLE
WF = WATER FILLED



OVERHEAD ELECTRICAL
SITE BENCHMARK
TOP OF CONCRETE FOUNDATION
TOP OF IRON PIPE FOUNDATION
TOP OF CONCRETE FOUNDATION

2 STORY
RESIDENCE
395 SHERIDAN

PROPOSED 2
STORY
RESIDENCE
50209F

2 STORY STONE RESIDENCE
WITH BASEMENT
No. 975
Bldg. Area = 4,240 Square Feet

NOTE: VERIFY ALL UTILITIES IN THE FIELD,
UNDERGROUND ELECTRICAL SERVICE,
SANITARY LINES, STORM SEWER, WATER SERVICE
(UPGRADE TO 2" SERVICE)

1 PROPOSED SITE PLAN (W/SURVEY OVERLAY)
1/8" = 1'-0"

NE = NORTHEAST E = EAST
NW = NORTHWEST N = NORTH
SE = SOUTHEAST S = SOUTH
SW = SOUTHWEST W = WEST

NUMBERS:
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

LINE OF PROPERTY
Part of Lot 2

Southeasterly Line of Lot 2
Northwesterly Line of Lot 3

ZONE X

LOT 3
SEE NOTES 1 (F) AND 2 (H)

OWNERS SUBDIVISION OF LOTS 66, 69 AND 139
IN SOUTH HIGHLAND ADDITION TO HIGHLAND PARK
RES. July 10, 1914, as Doc. No. 154148

EXISTING RETAINING WALL

LINE OF TOP OF BLUFF

EXISTING RETAINING WALL

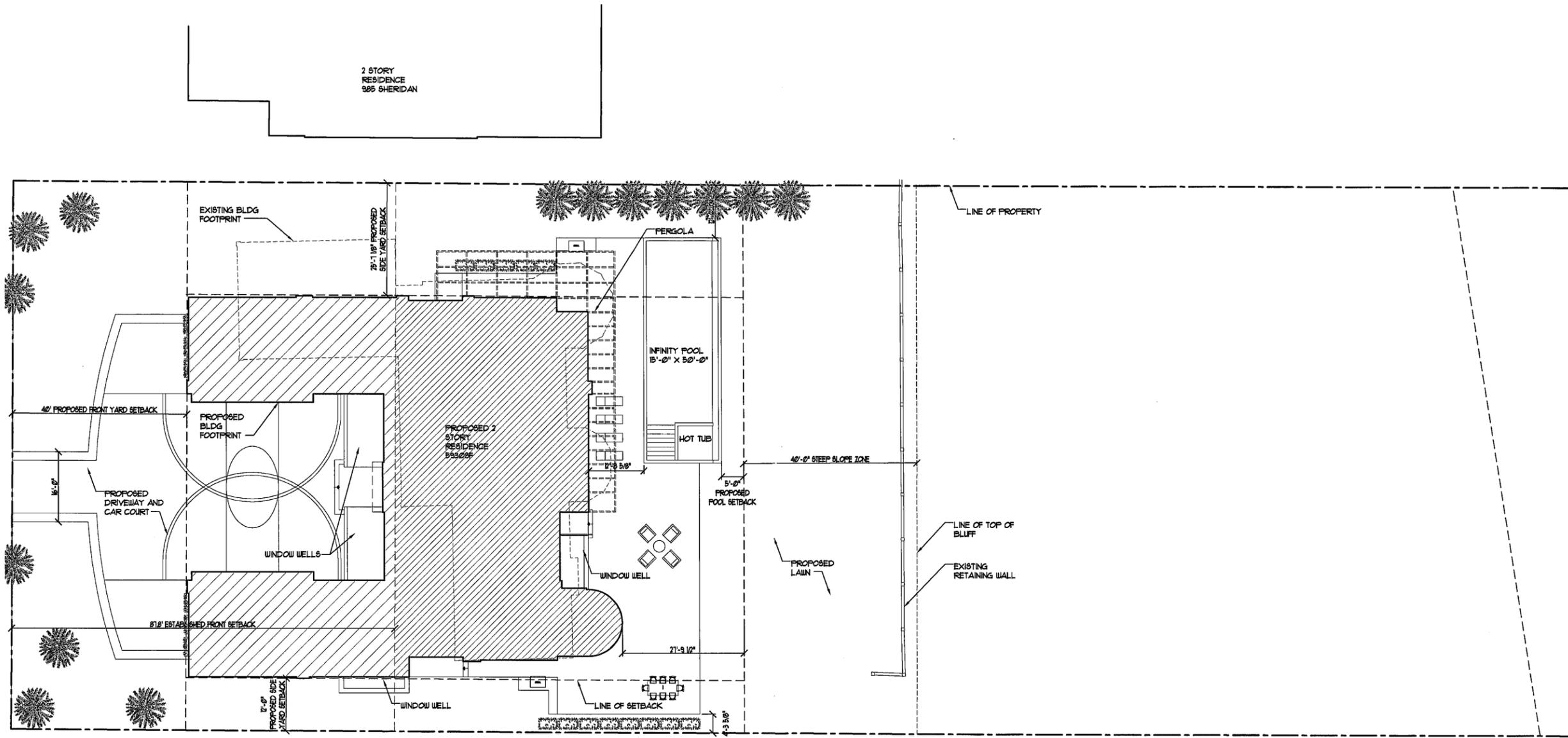
LINE OF SETBACK

LOT 4

TITLE EXCEPTIONS AND SURVEY NOTES:

- (F) NOTE: THE LAND IS LOCATED WITHIN THE TERRITORIAL BOUNDARIES OF THE NORTH SHORE SANITARY DISTRICT, WHICH HAS ENACTED AN ORDINANCE EFFECTIVE JANUARY 1, 1987, RECORDED NOVEMBER 5, 1986, AS DOCUMENT NUMBER 2501179, AS AMENDED BY INSTRUMENT RECORDED FEBRUARY 14, 1991, AS DOCUMENT NUMBER 2989924. SAID ORDINANCE PROVIDES THAT NO TRANSFER OF REAL PROPERTY WITHIN THE CORPORATE LIMITS OF THE DISTRICT MAY BE COMPLETED UNLESS THE DISTRICT HAS BEEN NOTIFIED OF THE IMPENDING TRANSFER AND HAS GIVEN ITS STATEMENT OF FINAL FEES AND CHARGES FOR SANITARY SEWAGE TREATMENT SERVICE TO THE PROPERTY TO BE PAID AT THE TIME OF CLOSING, OR HAS GIVEN ITS WRITTEN STATEMENT THAT THERE ARE NO OUTSTANDING CHARGES RELATIVE TO THE SAID PROPERTY.
- (H) CONDITION THAT NO SPIRITOUS LIQUORS SHALL AT ANY TIME OR UNDER ANY PRETEXT BE EVER MADE AN ARTICLE OF TRAFFIC OR SALE IN OR UPON THE LAND HEREIN, EXCEPT FOR PURPOSES STRICTLY AND SOLELY MEDICAL, CONTAINED IN THE DEED FROM HIGHLAND PARK BUILDING COMPANY, TO THEODORE C. STEARS, DATED JULY 8, 1869 AND RECORDED JULY 21, 1869, IN BOOK 43 OF DEEDS, PAGE 27.
- (I) RIGHTS IF ANY, OF THE UNITED STATES OF AMERICA, STATE OF ILLINOIS AND THE MUNICIPALITY, IN AND TO SO MUCH, IF ANY, OF THE LAND HEREIN AS MAY HAVE BEEN FORMED BY MEANS OTHER THAN NATURAL ACCRETIONS AND IN AND TO SO MUCH IF ANY, AS MAY BE COVERED BY THE WATERS OF LAKE MICHIGAN.

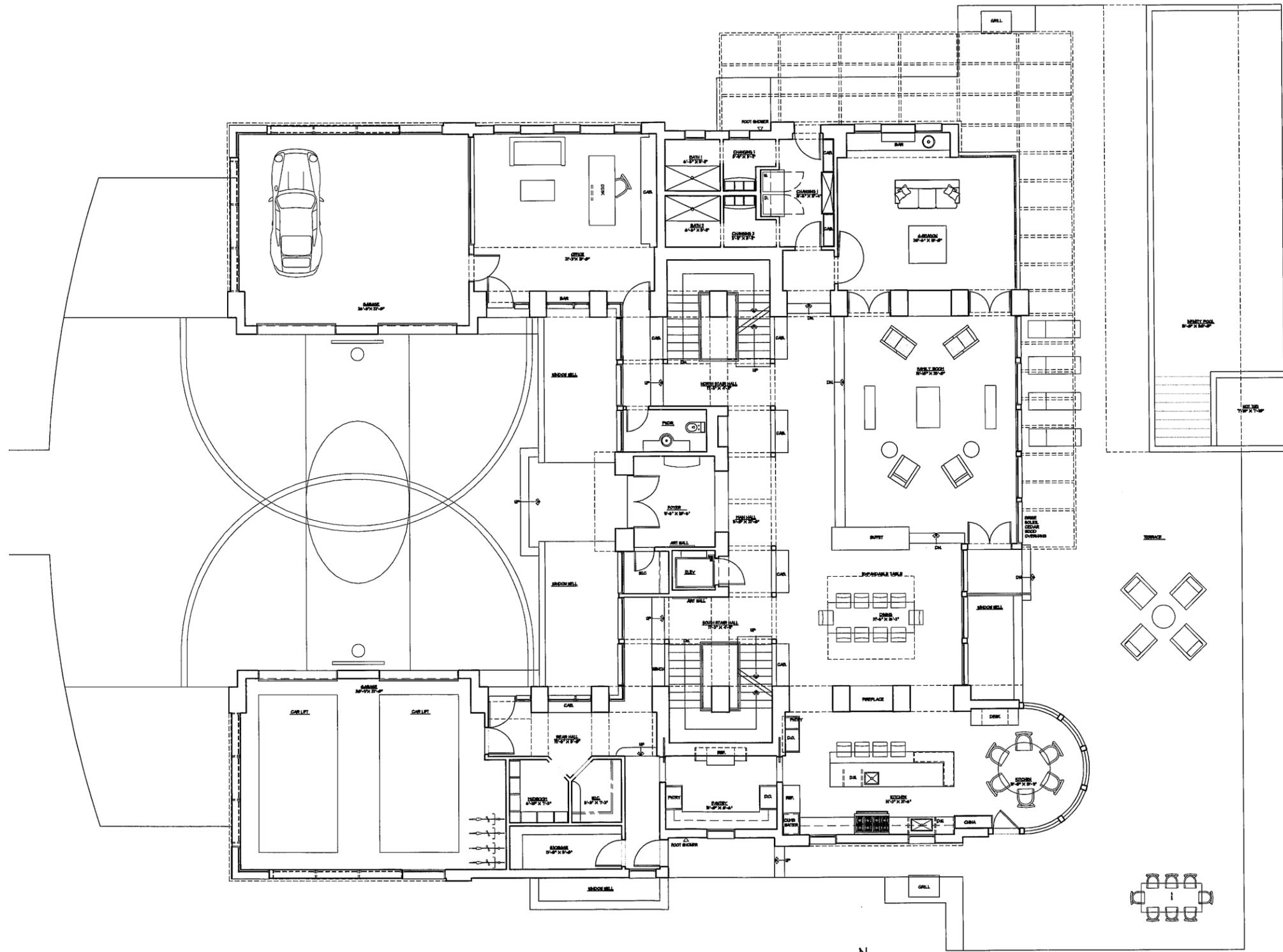
NOTE: SAID INSTRUMENT CONTAINS NO PROVISION FOR A FORFEITURE OF OR REVERSION OF TITLE IN CASE OF BREACH OF CONDITION.



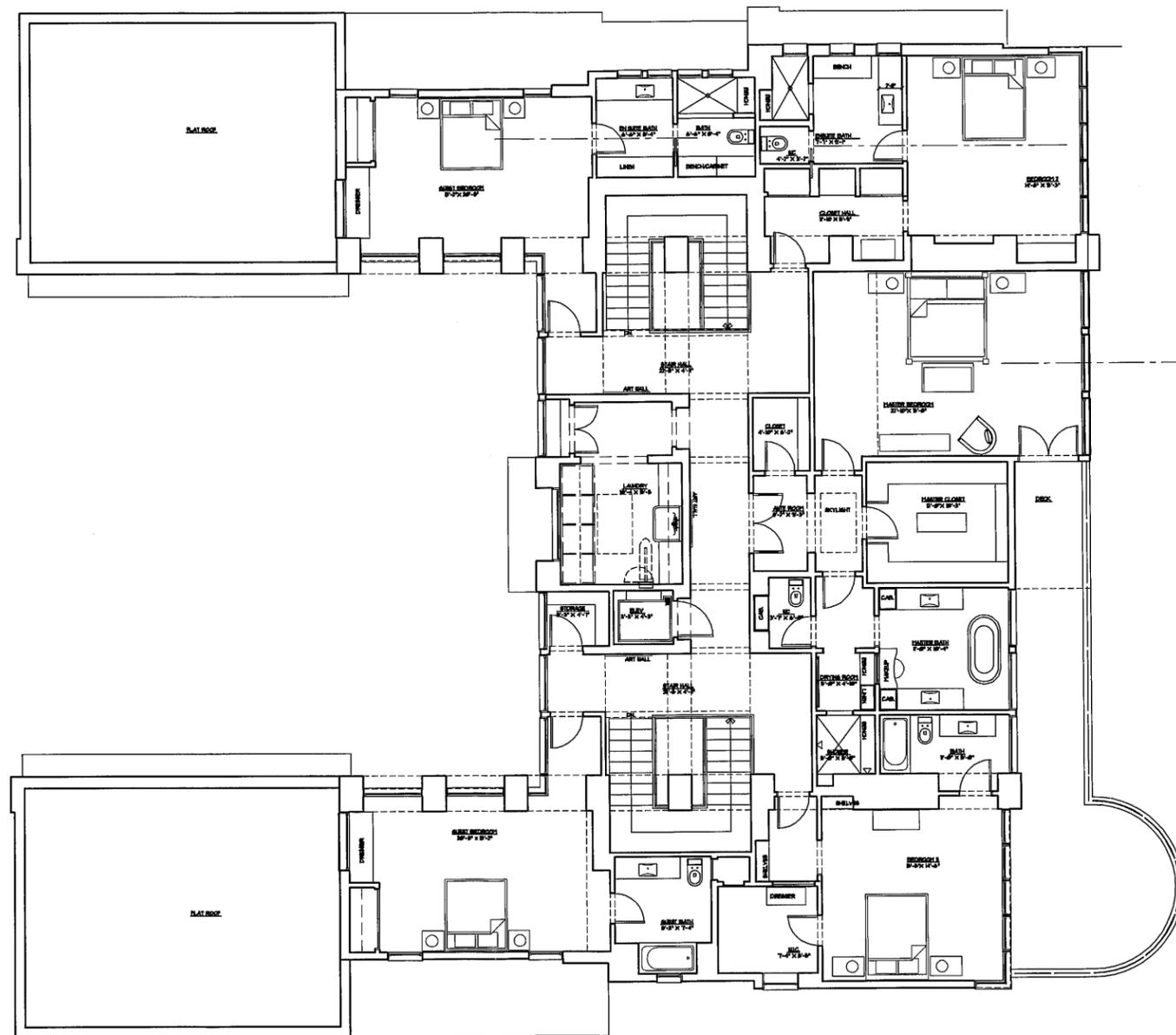
PROPOSED SITE PLAN

1/16" = 1'-0"





1 FIRST FLOOR PLAN
 1/8" = 1'-0"



2 SECOND FLOOR PLAN
 1/8" = 1'-0"





3 EAST ELEVATION LOOKING EAST
1/8" = 1'-0"



4 WEST ELEVATION LOOKING EAST
1/8" = 1'-0"







MORGANTE • WILSON ARCHITECTS, LTD.

2834 CENTRAL STREET, EVANSTON, IL 60201

TEL. 847.332.1001 FAX. 847.332.2388

ARCHITECTURE • INTERIOR DESIGN • URBAN PLANNING

June 3, 2016

City of Highland Park

NRC Meeting 6/8/16 6:30pm Village of Highland Park City Hall

Letter of Situation and Hardship for Pool Steep Slope Setback Encroachment Variance

RE: 975 Sheridan Road, Highland Park, IL

TO: Village of Highland Park Natural Resources Committee and Zoning Board

As part of the variance for this property, we, Morgante Wilson Architects are requesting on behalf of the owners, the Shapiro's, a 5 foot rear yard steep slope zone encroachment for a pool. Based on the desired layout and circulation of the plan, there is limited space for a pool in the rear yard. By moving the pool 5 feet into the required 50 foot setback, a more comfortable distance from the home is achieved. Pool chairs are desired right up against the home to benefit from occasional shade, and for ease of access from the entry. We feel that 12 feet is a minimum distance from the edge of the pool to the wall of the house in order to accommodate lounge chairs and adequate circulation pathway.

It is the professional opinion of the geotechnical engineer (see attached letter) that the siting of the pool will not negatively impact the slope stability, because the density of water is less than that of soil, so by having a pool there is less stress being put on the bluff line. There is precedent in other villages of pools and building walls built right up to the bluff line without negatively impacting the stability of the bluff. Also, the 45 foot setback from the bluff line is a more than adequate distance to ensure minimal disruption of soils during construction in the steep slope zone (defined as 40 foot area behind the top of the bluff line). Care will be taken for all materials and staging to occur on the west side of the pool (furthest away from setback line). Also, the construction will occur in tandem with the construction of the home, so the time areas are bare and exposed will be kept to a minimum. During times when it is bare and exposed, the site and area will be protected and secured.

Recognizing the existing topography and vegetation, the pool is sited on a flat piece of land with no trees or vegetation other than sod in the rear yard, part of which is currently an impervious stone patio (See attached overlay site plan). The proposed pool is only a 5 foot deep lap pool, 15 feet by 50 feet oriented North-South (parallel with the bluff line). The additional 10 foot setback for pools is likely due to the construction process of digging down means the angle of repose will extend beyond the edge of the pool at a 45 degree angle from the bottom of the excavation. Since we are only digging down 5 feet, the earth to the east of the pool would only need to be disturbed +/-5 feet past the edge of the pool, which would still not encroach into the 40 foot steep slope zone, where no structures are allowed. Aside from a walkway to the stairs at the retaining wall, there will be nothing but plantings and sod in the steep slope zone. Furthermore, this existing retaining wall works to stabilize the bluff line and reduces concerns for soil slippage/instability.

The proposed house's footprint is roughly where the existing home is located, and where it extends past the existing footprint it is in areas that are existing impervious surfaces so there is little change in the drainage

loads. If the civil engineer deems it necessary we will install drainage tile piping under paved areas and direct it to storm drain collection system or other means of acceptable drainage outlet(s).

In order to reduce the amount of impervious surfaces to be placed on table land adjacent to steep slopes, the proposed rear yard terrace will be sand set bluestone pavers. The proposed site plan has more planting and sod than the existing house; much of the existing impervious surfaces will be removed as part of the project. Additionally, we seek to enhance the landscape and vegetation by planting new trees to the north of the pool. These root structures will help to stabilize the bluff.

Thank you for your thoughtful consideration,

Fred Wilson

Morgante Wilson Architects

Prepared by: Monica Musialowski



office: 1-847-870-0544
fax: 1-847-870-0661
www.soilandmaterialconsultants.com
us@soilandmaterialconsultants.com

June 6, 2016

Ms. Monica Musialowski
Morgante Wilson Architects, Ltd.
2834 Center Street
Evanston, IL 60201

Letter of Situation and Hardship for Pool Steep Slope Setback Encroachment Variance

Re: 975 Sheridan Road
Highland Park, Illinois

Dear Ms. Musialowski:

As requested by Morgante Wilson Architects, Soil and Material Consultants, Inc. has reviewed the proposed site plan for the Shapiro Residence located at 975 Sheridan Road in Highland Park, Illinois. The proposed site plan includes a 5 foot deep pool, 15 feet wide by 50 feet long which is situated parallel to the bluff and encroaches 5 feet into the steep slope zone. In our opinion construction of the pool at the proposed location will not have a negative impact on the stability of the bluff. The pool construction will reduce the weight on the bluff as the density of water is approximately one-half the weight of the soil it will be replacing.

Sincerely,

SOIL AND MATERIAL CONSULTANTS, INC.

Thomas P. Johnson, P.E.
President

Exterior Lighting Code Modernization

Recommendations for Chapter 150 of the Highland Park Municipal Code
Follow Up Presentation

Plan and Design Commission

May 17, 2016



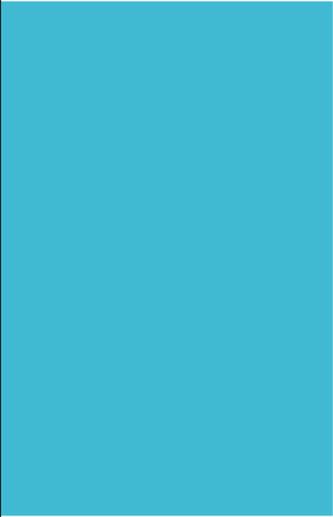
 Primera

Thank you for inviting me to present our recommendations to Code 150. This is a follow-up to our initial discussion at the April 19 meeting.

Agenda

- Review recommendations
- Responses to 4/19 questions
- Process
- Discussion

I will briefly review the key recommendations and get right into the specifics you inquired about on April 19. We will confirm the process moving forward, and discuss any new thoughts or questions you may have.



Review Recommendations

Changes to Article VI, Section 150

- Update the Ordinance to match current industry terms
- Update the Ordinance to accommodate new technologies
- Update the Ordinance to be bird-friendly
- Update the Ordinance to be dark-sky friendly
- Still allow Highland Park neighborhoods to maintain their distinct characters

So upon creating redline changes for the NRC to review – we set some goals. (see slide)

Current Codes: use old terms, don't address certain new technologies, currently address lighting trespass in a horizontal fashion only

Recommendations: update terms, address LED technology, address lighting trespass that affects sky glow (vertical calcs and uplight)

But through it all, allow HP neighborhoods to maintain character.

We understand that exterior lighting has two primary functions: first, it provides a safe environment for human activity. But also, lighting defines the character of a location. If you're on Michigan Avenue in the winter with all of the light displays and tree lights, you know you are in a special place that invites you to stroll and enjoy the view. If you are at a campsite at night armed only with your headlamp, it would be very out of place to suddenly walk upon a brightly lit sports venue.

Scope

- Applies only to permitted sites
 - Private property
 - Parking lots
 - Commercial buildings and sites
 - NOT Streets or Roadways
- Applies to NEW construction or Renovation Permits ONLY
 - Not retroactive
 - Not applicable to spot replacement

To summarize, this has been a review of article 6, chapter 150 recommended changes.

This applies to commercial and residential sites – NOT streets or roadways.

These recommended changes will only go into affect for NEW construction, or Permitted Renovations ONLY

This is not retroactive to existing buildings, and would not apply (for example, to a homeowner replacing and exterior lamp on existing fixtures, or installing a replacement fixture when one breaks)

Key Points

- Define Lighting Zones, and link to existing building zones
 - This correlates with the energy code, and allows local control over maximum illumination limits
- Set BUG levels per facility type within lighting zones
- Add Table R
- Add vertical max foot-candle levels at property line
- Limit uplighting
 - To reduce sky glow
- Add CRI and CCT requirements for LED fixtures

This is the summary of proposed changes:

To summarize, we are recommending establishing lighting zones, which link to illumination limits

Using BUG ratings to compare fixtures will allow designers to easily select the appropriate fixtures, and staff to easily determine whether or not the fixtures meet the code.

Adding table R to provide some restrictions to residential exterior lighting, and make it easier to apply the recommendations to residential grade materials.

Measuring vertical light in addition to horizontal light will allow staff to determine whether or not the proposed design will spill onto adjacent properties, or up into the sky-glow zone.

Adding LED limitations on color requirements will ensure that the City isn't dotted with a wide variety of light colors, maintaining the uniform nature of the community.



Responses to 4/19 Questions

After our last presentation you posed some valuable questions. Since then we have conducted additional research and consideration and have the following responses for you.

Residential Districts

What will and won't be allowed?

	LZ 1	LZ 2	LZ 3
	Lighting might adversely affect flora and fauna or disturb the character of the area	Areas of human activity where the vision of human residents and users is adapted to moderate light levels	Areas of human activity where the vision of human residents and users is adapted to moderately high light levels
Building Zones	R1-R7	RM1, RM2, Ro, B1, B2, B4, HC	B3, B5, I, PA
Main entry	One unshielded fixture up to 420lms (40W incand.) Fully shielded* no limit.	One unshielded fixture up to 630lms (60W incand.) Fully shielded no limit.	One unshielded fixture up to 630lms (60W incand.) Fully shielded no limit.
Other entrances	One unshielded fixture up to 315lms (30W incand.) Fully shielded no limit.	One unshielded fixture up to 315lms (30W incand.) Fully shielded no limit.	One unshielded fixture up to 315lms (30W incand.) Fully shielded no limit.
Other exterior locations	Must be fully shielded up to 1260lms (100W incand.). No limit on # of fixtures.	Must be fully shielded up to 1260lms (100W incand.). No limit on # of fixtures.	Must be fully shielded up to 1260lms (100W incand.). No limit on # of fixtures.
Vegetation lighting	Not allowed	Allowed, must be shielded per table 150.605 footnote 8	Allowed, must be shielded per table 150.605 footnote 8
Directional Flood Lighting	Not allowed	Allowed, must be shielded per table 150.605 footnote 8	Allowed, must be shielded per table 150.605 footnote 8

**Fully shielded = cannot see lamp source*

The first question was to clearly explain what will and won't be allowed in residential areas. This table looks detailed but it's actually quite simple. The first column addresses the types of exterior lighting addressed by this code – entries, other fixtures, which would include driveways, walkways, and garages, vegetation lighting, and flood lights. The three lighting zones describe the level of ambient light, and the recommended limits are aligned with that baseline level of light.

You will see that Lighting Zones 2 and 3 are the same. Lighting Zone 1 has the lowest limit, but the allowed fixtures are widely available and I'll show some examples on the next two slides. Vegetation lighting and flood lights are not allowed in this zone, but they are allowed in the other two.

Examples:

Unshielded
Fixtures
Entrances



All images from Restoration Hardware

These are examples of unshielded fixtures which are allowed in each lighting zone, with one such fixture at entrances, such as porches.

Examples:

Shielded Fixtures

*Entries
Walkways
Driveways
Steps
Decks*



Pathway lights
LZ 1, LZ 2, LZ 3



Pole Lights
LZ 1, LZ 2, LZ 3



Porch Lights
LZ 1, LZ 2, LZ 3



Flood lights
LZ 2, LZ 3



Step lights
LZ 1, LZ 2, LZ 3

All images from Wayfair.com

These are examples of shielded fixtures which are widely available from many manufacturers. The porch light shown at the top is an example of the type of fixture where multiple fixtures are desired.

Point of interest: Wayfair.com has a 'dark sky compliant' option in its search criteria, and yielded scores of fixtures.

Uplighting of Ground- Mounted Signs

Article VI vs Article XX

- Uplighting of signs from the ground will only be permitted as a variation by the Plan & Design Commission
 - Considered the same as uplighting/accent lights
 - Downward-facing sign lighting would be allowed
- New language in Article VI authorizing the PDC to consider the following variation:
 - "To permit uplighting, accent, or façade lighting, or vary from limits on Lumens, BUG rating, or Vertical Foot Candle levels provided that no greater impact on the surrounding property is found."

Uplighting Exceptions

- *Flags*
- *Special events*

- New footnote #12 has been added to table 150.605, which will apply to the entire "Light Source Shielding Requirements" column.

"Shielding Requirement Exceptions are as follows: Uplights dedicated to lighting official flags; Temporary spotlights for special events as approved by the city."



Discussion

Process and Discussion

- Revised recommendations presented this evening
- Answer any further questions
- Commission considers Findings of Fact recommending approval of modifications to the Lighting Code
- Recommendation will be forwarded to the City Council and appear at either a Committee of the Whole for discussion or on a regular agenda for consideration.

Contacts



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Table R

Table R - Residential Site Lumen Limits**				
Lighting Application	LZ0	LZ1	LZ2	LZ3
Row 1: maximum allowed luminaire lumens* for unshielded luminaires at one entry only	not allowed	420 lumens	630 lumens	630 lumens
Row 2: maximum allowed luminaire lumens for each fully shielded luminaire	630 lumens	1260 lumens	1260 lumens	1260 lumens
Row 3: maximum allowed luminaire lumens for each unshielded luminaire excluding main entry (row 1)	not allowed	315 lumens	315 lumens	315 lumens
Row 4: maximum allowed luminaire lumens for each landscape lighting luminaire	not allowed	not allowed	2100 lumens	2100 lumens
Row 5: maximum allowed luminaire lumens for each shielded directional flood light luminaire	not allowed	not allowed	2100 lumens	2101 lumens
Row 6: maximum allowed luminaire lumens for each low voltage landscape lighting luminaire	not allowed	not allowed	525 lumens	525 lumens

*Luminaire lumens equals the initial lamp lumens for a lamp, multiplied by the number of lamps per luminaire

**All fixtures for this zone must be a Row 2 style fixture, except for the following:

a - 1 main entry fixture per residence may be calculated under Row 1

b - other entry fixtures may be calculated under Row 3

c - landscape lighting aimed away from all adjacent properties may be calculated under Row 4 or 6^

d - fully shielded directional flood lighting in compliance with property line trespass values may be calculated under Row 5^

^All vertical and horizontal maximum trespass values must be met