

PUBLIC NOTICE

In accordance with the statutes of the State of Illinois and the ordinances of the City of Highland Park, a Regular Meeting of the *Historic Preservation Commission* of the City of Highland Park is scheduled to be held at the hour of 7:30 p.m., Thursday, January 14, 2016, at Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which meeting there will be a discussion of the following:

City of Highland Park
Historic Preservation Commission
Thursday, January 14, 2016
1707 St. Johns Avenue, City Hall
7:30 p.m.

REGULAR MEETING AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Minutes**
 - A. December 10, 2015 Regular Meeting
- IV. **Scheduled Business**
 - A. **Determination of Significance**
 - 804 Moseley Avenue
 - 436 Hazel Avenue
 - 1463 Arbor Avenue
 - 2944 Greenwood
 - 1127 Ridgewood Drive
- V. **Discussion Items**
 - Staffing changes
- VI. **Business From the Public**
- VII. **Other Business**
 - A. Next meeting scheduled for February 11, 2016
- VIII. **Adjournment**

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**MINUTES OF A REGULAR MEETING OF
HISTORIC PRESERVATION COMMISSION
OF THE CITY OF HIGHLAND PARK, ILLINOIS**

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MEETING DATE: Thursday, December 10, 2015

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MEETING LOCATION: Pre-Session Conference Room, City Hall, 1707 St. Johns Avenue, Highland Park, IL

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CALL TO ORDER

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At 7:31 p.m., Chairwoman Thomas called the meeting to order & asked Staff to call the roll.

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ROLL CALL

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Commissioners Present: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran

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Commissioner Absent: Reinstein,

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Ex-Officio Member Present: Benjamin

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Park District Liaison Present: Mike Evans

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Library Liaison Present: Julia Johnas

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Councilman Present: Blumberg

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Student Council Absent: Bartell

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Staff declared that a quorum was present.

38
39

Staff Present: Cross

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41

Also Present: Cerabona

42
43

APPROVAL OF MINUTES

- 44
45
1. Commissioner Temkin moved to approve the November 12, 2015, regular meeting minutes as amended. Commissioner Bramson seconded the motion.

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47

On a roll call vote

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49

Voting Yea: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran

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Voting Nay: None

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Chairwoman Thomas declared that the motion passed unanimously.

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SCHEDULED BUSINESS

Chairwoman Thomas advised this evening's order will change, having the Certificate of Appropriateness first.

1. Certificate of Appropriateness

- a. 132 Bell Avenue – Conversion of an existing screen porch into an enclosed four-season porch on the rear of the property

Staff reviewed the plan:

- Converting screened-in porch to a four-season room over the ravine
- Standards were referenced; none conflicting

1 Applicants, Mr. & Mrs. Bruce Wright, introduced themselves.

2
3 Some HPC comments are:

- 4 • Perfect mirror image of the front

5
6 Commissioner Curran moved to approve the Certificate of Appropriateness.

7
8 On a roll call vote

9 Voting Yea: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran

10 Voting Nay: None

11
12 Chairwoman Thomas declared that the motion passed unanimously.

13
14 2. Determination of Significance

15 a. 1725 Elmwood Drive

16 Staff reviewed the plan:

- 17 • Mid-Century traditional house
- 18 • Single-car garage; forward design
- 19 • Upper story
- 20 • Built in 1952
- 21 • Fritz Huszagh is the architect
- 22 • Listed as a Job C

23
24
25 Park District Liaison Mike Evans arrived at 7:37 p.m.

26
27 Applicant, Vu Trieu, with North Shore Development Group advised:

- 28 • House is 1,200 sq. ft.; tearing down and building a 3,600 sq. ft. house

29
30 Commissioner Bramson moved that the house does not meet any of the landmark criteria. Commissioner Fradin
31 seconded the motion.

32
33 On a roll call vote

34 Voting Yea: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran

35 Voting Nay: None

36
37 Chairwoman Thomas declared that the motion passed unanimously.

38
39 b. 1570 Hawthorne Avenue

40 Staff reviewed the proposal:

- 41 • Built in 1922
- 42 • Prairie style
- 43 • John Van Bergen is the architect
- 44 • Additional room built in rear and another room attached to that as well
- 45 • Swimming pool
- 46 • Detached garage
- 47 • Doorway has been modified

48
49 Audience Member, Marty Hackl, stated:

- 50 • The house marries different elements of Mr. Van Bergen
- 51 • Additions are easily reversible
- 52 • Porch on left is original
- 53 • House is original; woodwork has been painted

- Is structurally sound
- Eaves are stucco
- Perfect house to restore

Councilman Blumberg stated:

- Neighborhood is fairly eclectic
- Nearby homes were compared

Applicant is Cal Bernstein, Attorney at Law, Samuels & Bernstein, 491 Laurel Avenue, Highland Park, IL.

Some HPC comments are:

- Why do they want to tear the house down? Mr. Bernstein advised – they want to tear down and enlarge their property. He noted the owners learned this house retains little character.
- Did the realtor tell the owners the house has a Significant status? Mr. Bernstein advised – he doesn't know
- Meets #1,3,4,5, & 6 landmark criteria
- Disagree with #3 landmark criteria
- Meets #1, 4, 5, & 6 landmark criteria with a one-year delay

Commissioner Curran moved that this home meets #1, 4, 5, & 6 landmark criteria. Commissioner Temkin seconded the motion.

On a roll call vote

Voting Yea: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran

Voting Nay: None

Chairwoman Thomas declared that the motion passed unanimously.

Ex-Officio Member Benjamin asked about a Planned Development (with back yard). Councilman Blumberg stated a PUD is intended to address development. It is an important house in Highland Park. Combined and separate pin numbers were discussed. It was stated that consolidated lots can change setbacks.

Councilman Blumberg noted these important topics and issues could be discussed as a future agenda item. He stated an opportunity should be investigated to change the code, educate the owner, and address tear down delays, etc.

Commissioner Temkin stated it is important as a body of work; there is nothing wrong with this house.

Planning and zoning issues were addressed. Multi-family, commercial situations, new constructions were referenced.

Commissioner Bramson asked if this house can be moved elsewhere. Commissioner Temkin stated it's not practical. Commissioner Bramson suggested Mr. Bernstein advise the owners to relocate the house (for a tax incentive). She stated there is a difficulty saving homes in Highland Park.

Student Council Bartell departed at 8:21 p.m.

Councilman Blumberg suggested forming a Task Force with the Applicant to find a buyer to relocate the house.

1 **DISCUSSION ITEMS**

- 2
3 • Thank You to Outgoing Commissioners

4
5 Planner Cross presented Resolutions which Chairwoman Thomas read for Commissioners Curran & Bramson.
6 An applause was given to these outgoing Commissioners. Commissioner Curran thanked everyone for being a
7 part of this very qualified group. Commissioner Bramson stated she became an HPC Commissioner because she
8 bought a landmark home. Commissioner Curran gave a history on how she became an HPC Commissioner.
9

10 Planner Cross advised two new Commissioners will begin their term in January, 2016.

- 11
12 • Landmark Signs

13
14 Commissioner Bramson shared information on custom-designed signs (atop street signs; street sign toppers for
15 \$175.00 apiece). She noted different shapes are an option. Commissioner Bramson will forward information to
16 Planner Cross who advised this project can be slated for 2016.

17
18 Commissioner Curran suggested note (thank you) cards with an HPC logo to be given to those who have
19 opened their homes for tours.

20
21 Chairwoman Thomas suggested that pictures of residents' homes could be developed also (to be sold and to
22 raise money).
23

24
25 **BUSINESS FROM THE PUBLIC**

26
27 There was no Business from the Public.

28
29 **OTHER BUSINESS**

- 30
31 1. Next meeting is scheduled for January 14, 2016.

32
33 **ADJOURNMENT**

34
35 Commissioner Fradin moved to adjourn the meeting at 8:45 p.m. Commissioner Bramson seconded the motion.

36
37 On a roll call vote
38 Voting Yea: Chairwoman Thomas, Commissioners Bramson, Temkin, Becker, Fradin, Curran
39 Voting Nay: None

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41 Chairwoman Thomas declared that the motion passed unanimously.
42

43
44 Respectfully Submitted,

45
46
47
48 Gale Cerabona
49 Minute Taker

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51
52 **MINUTES OF NOVEMBER 12, 2015, WERE APPROVED WITHOUT CORRECTIONS**

Historic Preservation Commission

804 Moseley Road Demolition Review – Interior Demolition

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 1/14/2016

<i>Year Built:</i>	1956
<i>Style:</i>	Ranch
<i>Petitioner</i>	Janis Sklare, Owner
<i>Size:</i>	2,440 square feet
<i>Historical Status:</i>	N/A Area not surveyed
<i>Original Architect:</i>	Jules Marling
<i>Original Cost:</i>	\$40,000
<i>Significant Features:</i>	Low-slung roof line, rear-facing window wall
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 804 Moseley Road and how it may satisfy any of the landmark standards in Chapter 176.



The owners of 804 Moseley Road are planning improvements to mid-century Ranch house on the property. These include a front porch and rear one-story addition, as well as a new two-level flat roof. The scope of the improvements requires the alteration of a number of existing elements on the house. Page A-1 of the attached set of plans identifies these under the heading “Demolition Notes.” The amount of demolition will result in the removal of more than 50% of the interior structure of the house.

If a house is to be partially deconstructed beyond a certain point in Highland Park, it is classified as a “demolition.” That point is defined as the removal of 50% or more of the house. The renovation at 804 Moseley will surpass that threshold, so the owners have submitted an application for an Interior Demolition on the property. This demolition requires the same review by the Historical Preservation Commission as a standard demolition, but in this case the original house will not be removed, only modified.

Historic Preservation Commission

The house at 804 Moseley was built in 1956. Architectural drawings indicate a bedroom addition may have been added in 1991. But otherwise the house has been largely unaltered. Photographs illustrate the current appearance of the house. The applicant has also submitted contextual photographs of other houses on Moseley Road

The structure is not locally landmarked or within any historic districts. As a result, the current renovations do not require a Certificate of Appropriateness from the Historic Preservation Commission. The Commission may inquire about the planned alterations, but the objective of this review is the determination of historical significance and whether the existing structure satisfies any landmark criteria.

Jules Marling – Architect

The Ranch house at 804 Moseley was originally designed by Jules Marling. He's not an architect that has come before the Commission before, but is credited with several houses in Highland Park in the Architectural Resource Surveys. He is listed in the AIA membership archives in 1956, 1962, and 1970, though the listing only provides his office addresses. He is first listed at 8 South Michigan in Chicago and later in Northfield.

MARLING, JULES.* AIA 54. Chicago Chapter 8 South Michigan, Chicago 3, Ill.

Jules Marling Houses in the Surveys

Address	Year	Style	Historical Status	Demolished
191 Lakewood Place	1950	Ranch	NC	No
977 Bob-O-Link	1951	Ranch	C	No
931 Fairview	1951	Ranch	C	No

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City.

Historic Preservation Commission

- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per within Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations creating a mandatory 365-day Review Period commencing on the Application Completion date,
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations creating a mandatory 180-day Review Period commencing on the Application Completion date,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, and the Application for Demolition shall be processed.

Attachments

Location Map

Site Photos

County Assessor Data

Architectural drawings for the proposed modifications to 804 Moseley



Carlyle Ter

Dryden Ln

Thackeray Dr

Chaucer Ln

Saxony Dr

Green Bay Rd

Ravinia Rd

Ridgewood Pl

Alvin Pl

Burton Ave

Ava St

Edgewood Middle School

Moseley Rd

Broadview Ave

Crawford Pl

Pleasant Ave

Bellevue Pl

Edgewood Rd

Carroll F. Snyder Park

Northmoor Country Club

Green Bay Rd

101st AVE S

UNION PACIFIC

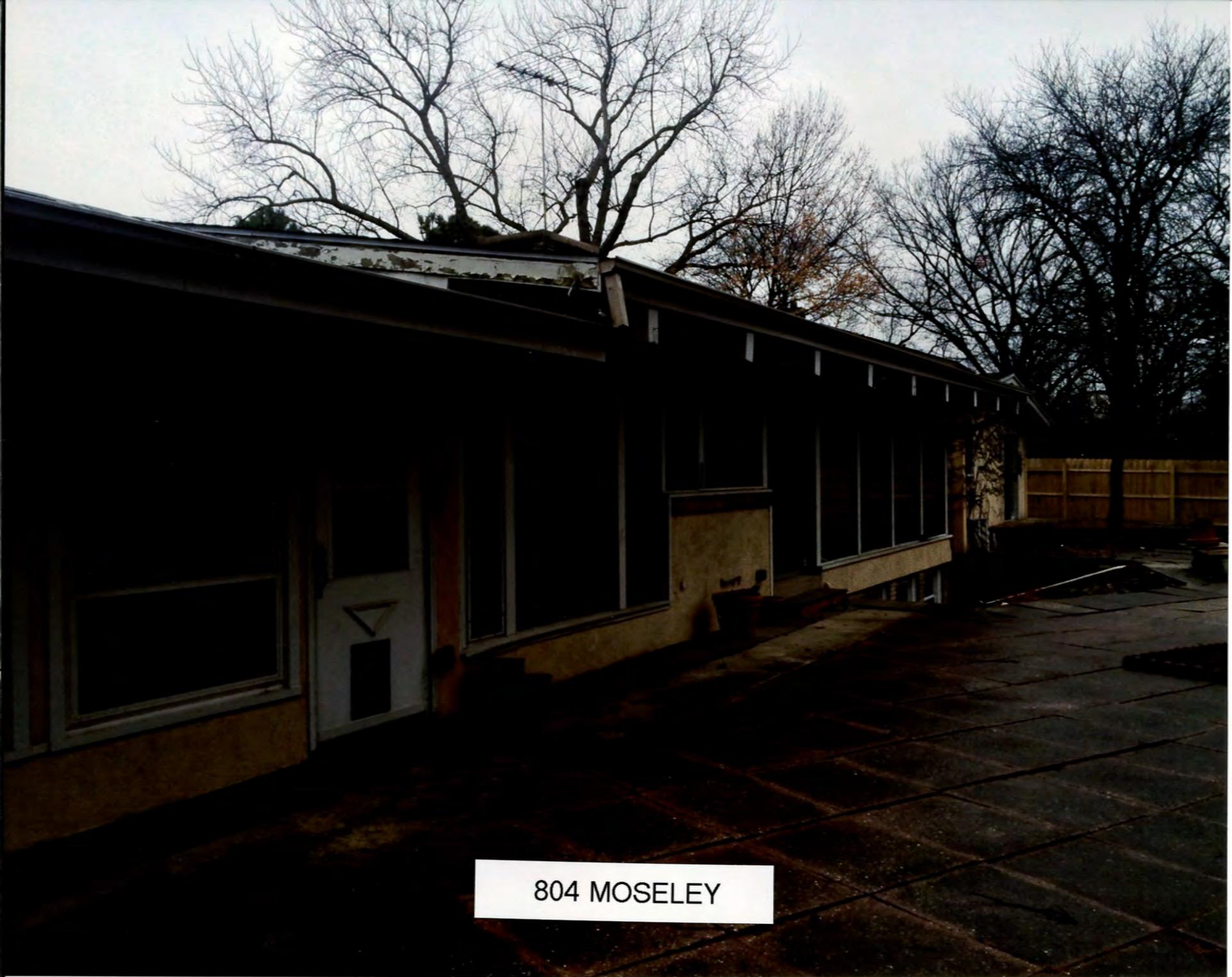


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804 MOSELEY



804 MOSELEY



804 MOSELEY



Lake County, Illinois

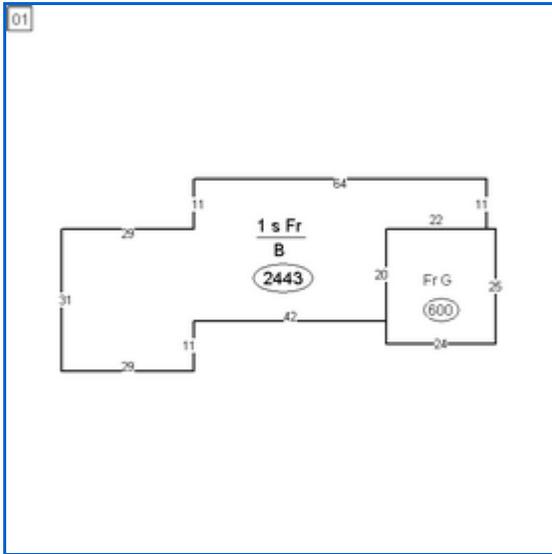
Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-26-416-005	Neighborhood Number:	1836080
Street Address:	804 MOSELEY RD	Neighborhood Name:	Marion
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$79,289	Total Land Square Footage:	17226
Building Amount:	\$113,387	House Type Code:	43
Total Amount:	\$192,676	Structure Type / Stories:	1.0
Township:	Moraine	Exterior Cover:	Wood siding
Assessment Date:	2015	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1956 / 1956
		Condition:	Average
		Quality Grade:	VGd
		Above Ground Living Area (Square Feet):	2443
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	2443
		Finished Basement Area (Square Feet):	225
		Number of Full Bathrooms:	2
		Number of Half Bathrooms:	1
		Fireplaces:	2
		Garage Attached / Detached / Carport:	1 / 0 / 0
		Garage Attached / Detached / Carport Area:	600 / 0 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	544



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.



Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
6/11/2015	\$580,000	Qualified	

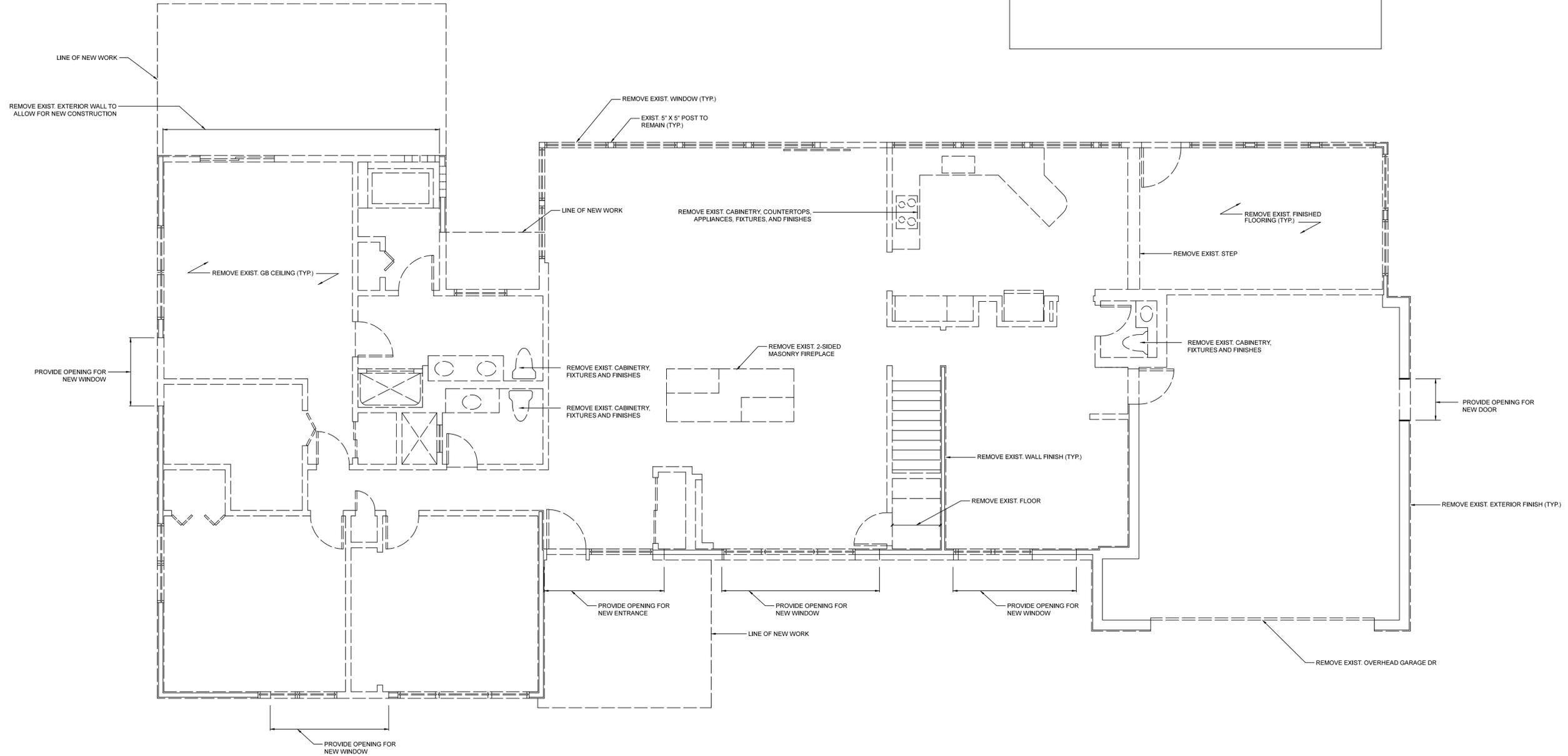
Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.

Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.

<http://apps01.lakecountyil.gov/spassessor/comparables/ptaipin.aspx?Pin=1626416005>

DEMOLITION NOTES

1. REMOVE ROOF FRAMING AS INDICATED ON DRAWINGS.
2. REMOVE ALL EXISTING ROOF SHINGLES AND UNDERLAMENT AS INDICATED ON DRAWINGS.
3. CUT-BACK EXISTING ROOF OVERHANGS AS INDICATED ON DRAWINGS.
4. REMOVE EXISTING MASONRY CHIMNEY.
5. REMOVE ALL EXISTING EXTERIOR WOOD SIDING, STUCCO, AND BRICK VENEER.
6. REMOVE ALL EXISTING WINDOWS.
7. REMOVE ALL EXISTING EXTERIOR DOORS AND GARAGE DOOR.
8. REMOVE FRONT ENTRANCE DOOR AND SIDELIGHTS.
9. REMOVE EXTERIOR PARTITIONS AS REQUIRED TO ACCOMMODATE NEW WORK.
10. REMOVE ALL EXISTING CONCRETE STOOP AND STEPS.
11. REMOVE WOOD DECK, PAVER PATIO, AND IN-GROUND SWIMMING POOL.
12. REMOVE EXISTING CONC. STAIR TO BASEMENT AND LANDING.
13. REMOVE CEILING FRAMING AS INDICATED ON DRAWINGS.
14. REMOVE INTERIOR PARTITIONS AS INDICATED ON DRAWINGS.
15. REMOVE ALL EXISTING WALL FINISHES.
16. REMOVE ALL FLOOR FINISHES AND DAMAGED SUBFLOORING.
17. REMOVE ALL INTERIOR DOORS.
18. REMOVE ALL CABINETRY, COUNTERTOPS, APPLIANCES, AND FIXTURES.
19. REMOVE ALL PLUMBING SUPPLY AND DRAIN LINES.
20. REMOVE ALL ELECTRICAL OUTLETS, JUNCTION BOXES, LIGHT FIXTURES, AND CONDUIT.
21. REMOVE EXISTING FURNACE, CONDENSOR UNIT, AND DUCTWORK.
22. REMOVE EXISTING WATER HEATER.



LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED

1 FIRST FLOOR EXISTING/DEMOLITION PLAN
1/4" = 1'-0"

REV.	DATE	ISSUE
—	08.10.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
—		
—		
—		
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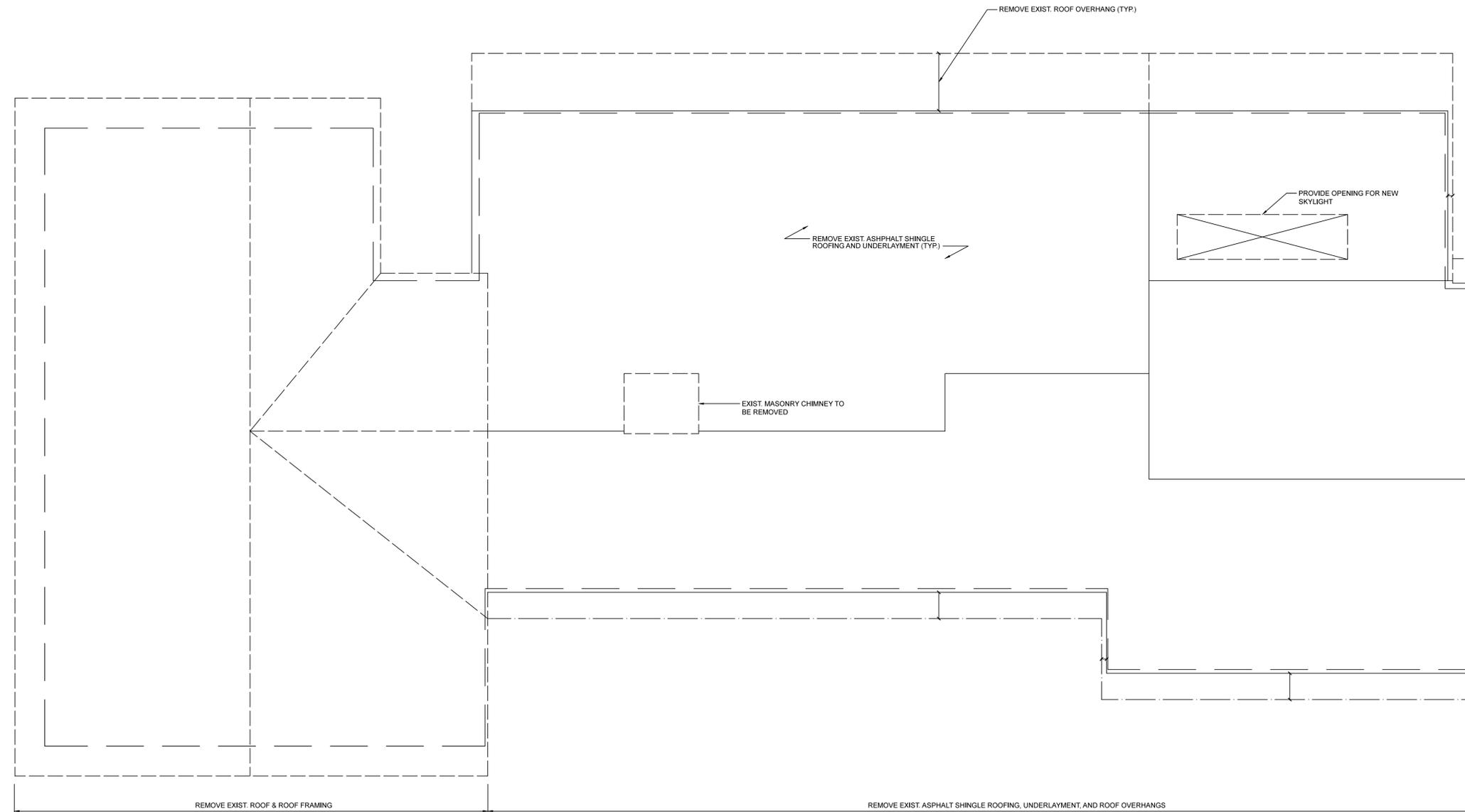
FIRST FLOOR EXIST./DEMOLITION PLAN,
DEMOLITION NOTES

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 08.10.15
SCALE: 1/4" = 1'-0"
JOB NO.: 1544

DEMOLITION NOTES

1. REMOVE ROOF FRAMING AS INDICATED ON DRAWINGS.
2. REMOVE ALL EXISTING ROOF SHINGLES AND UNDERLAMENT AS INDICATED ON DRAWINGS.
3. CUT-BACK EXISTING ROOF OVERHANGS AS INDICATED ON DRAWINGS.
4. REMOVE EXISTING MASONRY CHIMNEY.
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21. REMOVE EXISTING FURNACE, CONDENSOR UNIT, AND DUCTWORK.
22. REMOVE EXISTING WATER HEATER.



LEGEND

————— EXISTING CONSTRUCTION TO REMAIN

- - - - - EXISTING CONSTRUCTION TO BE REMOVED

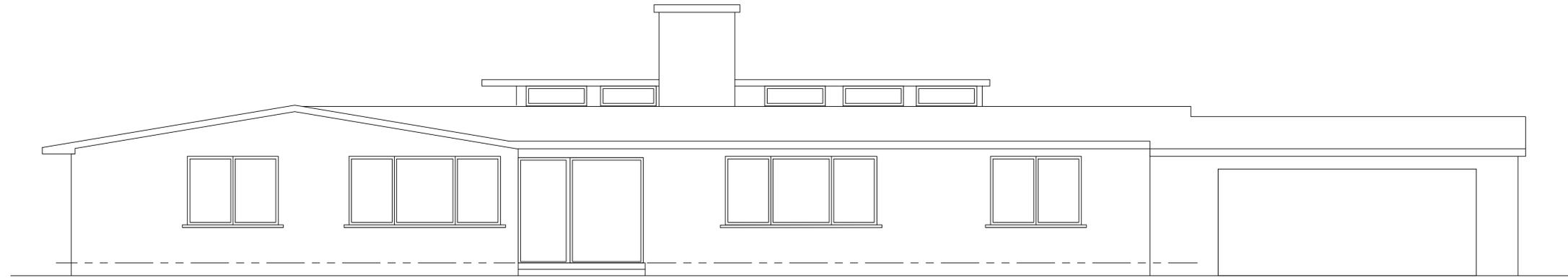
1 ROOF EXIST./DEMOLITION PLAN
1/4" = 1'-0"

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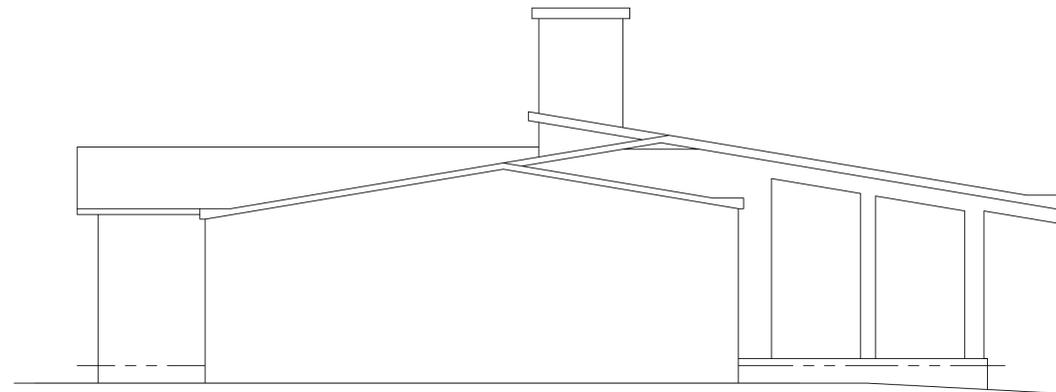
ROOF EXIST./DEMOLITION PLAN,
DEMOLITION NOTES

ADDITION/RENOVATION OF:
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804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 08.10.15
SCALE: 1/4" = 1'-0"
JOB NO.: 1544



1 EXISTING EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



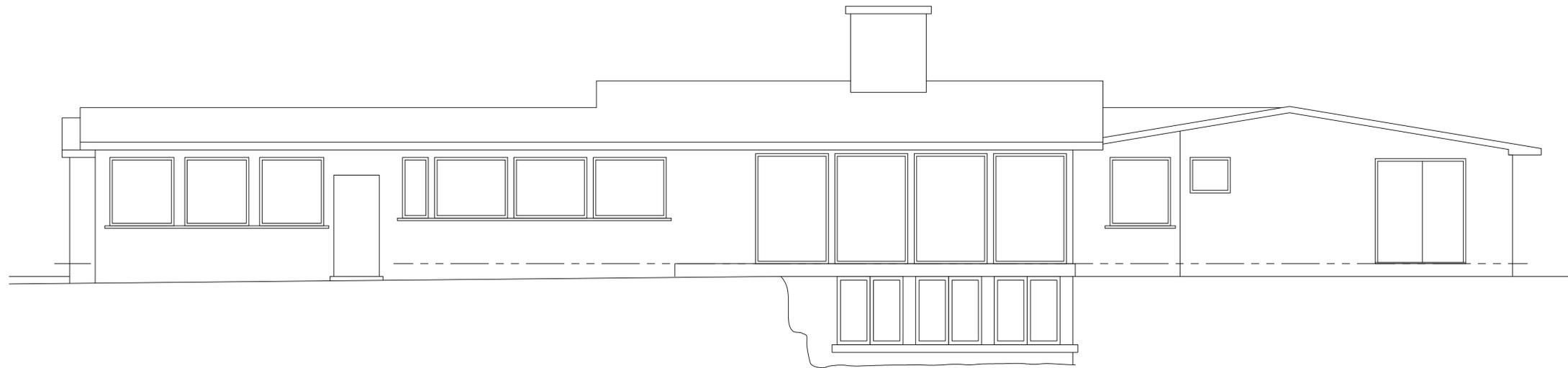
2 EXISTING EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

REV.	DATE	ISSUE
—	08.10.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
—	—	—
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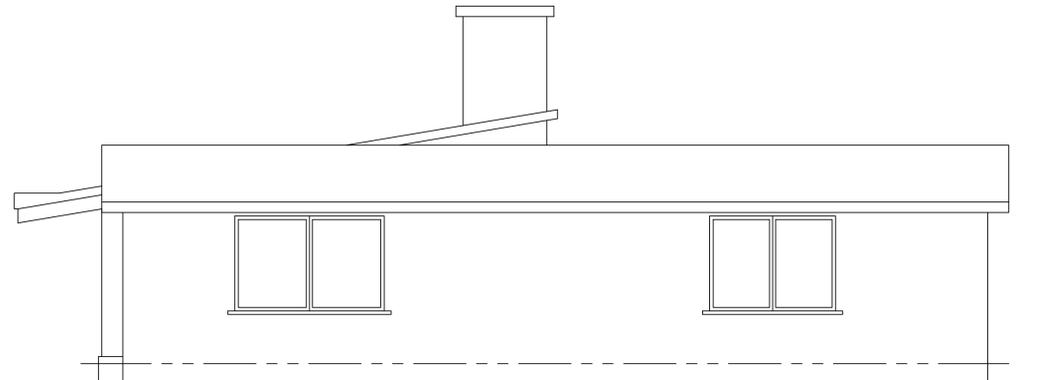
EXISTING EXTERIOR ELEVATIONS

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 12.22.15
SCALE: 1/4" = 1'-0"
JOB NO.: 1544



1 EXISTING EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

REV.	DATE	ISSUE
—	08.10.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
—	—	—
—	—	—
—	—	—
—	—	—
—	—	—
—	—	—

EXISTING EXTERIOR ELEVATIONS

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 12.22.15
SCALE: 1/4"=1'-0" A-4
JOB NO.: 1544

LIGHT AND VENTILATION SCHEDULE

NO.	ROOM	AREA (SF)	ORDINANCE REQUIREMENT		ACTUAL		ORDINANCE REQUIREMENT	
			GLASS (SF)	VENT (CFM)	GLASS (SF)	VENT (CFM)	SUPP (CFM)	EXH (CFM)
B01	STAIR 1	47			EXISTING - NO WORK	0.0	NR	NR
B02	CORRIDOR 1	52	0.0	0.0	EXISTING - NO WORK	0.0	NR	NR
B03	STORAGE ROOM	138	0.0	0.0	EXISTING - NO WORK	0.0	NR	NR
B04	UTILITY ROOM	135			EXISTING - NO WORK			
B05	BASEMENT	469			EXISTING - NO WORK			
B06	STUDY	118	9.44	4.72	39.6	45.3	NV	NV
B07	BATHROOM 2	75	0.0	0.0	0.0	0.0	NR	75*
101	FOYER	130	0.0	0.0	72.1	0.0	NR	NR
102	BOOKLESS LIBRARY	215	17.2	8.6	57.3	41.5	NV	NV
103	LIVING ROOM	203	16.24	8.12	43.2	41.5	NV	NV
104	2-CAR GARAGE	401			EXISTING - NO WORK			
105	KITCHEN	348	27.84	13.92	27.84	13.92	NV	900
106	DINING	235	18.8	9.4	61.4	47.2	NV	NV
107	GREAT ROOM	425	34	17	111.1	90.5	NV	NV
108	SITTING ROOM	140	11.2	5.6	34.1	11.5	NV	NV
109	CORRIDOR 2	82	0.0	0.0	0.0	0.0	NR	NR
110	POWDER ROOM	43	0.0	0.0	0.0	0.0	NR	50*
111	CORRIDOR 3	52	0.0	0.0	0.0	0.0	NR	NR
112	LAUNDRY	24	0.0	0.0	0.0	0.0	NR	NR
113	TOILET ROOM	18	0.0	0.0	0.0	0.0	NR	50*
114	M. BEDROOM	353	28.24	14.12	64.6	33.2	NV	NV
115	M. BATHROOM	140	0.0	0.0	18.1	0.0	NR	150*
116	WALK-IN CLOSET	111	0.0	0.0	0.0	0.0	NR	NR
117	BEDROOM 2	187	0.0	0.0	0.0	0.0	NR	NR
118	BATHROOM 3	65	0.0	0.0	0.0	0.0	NR	75*

NR = NO REQUIREMENT
NV = NATURAL VENTILATION
* = 1 AIR CHANGE EVERY 12 MINUTES (SECTION 303.3)

PARTITION NOTE:

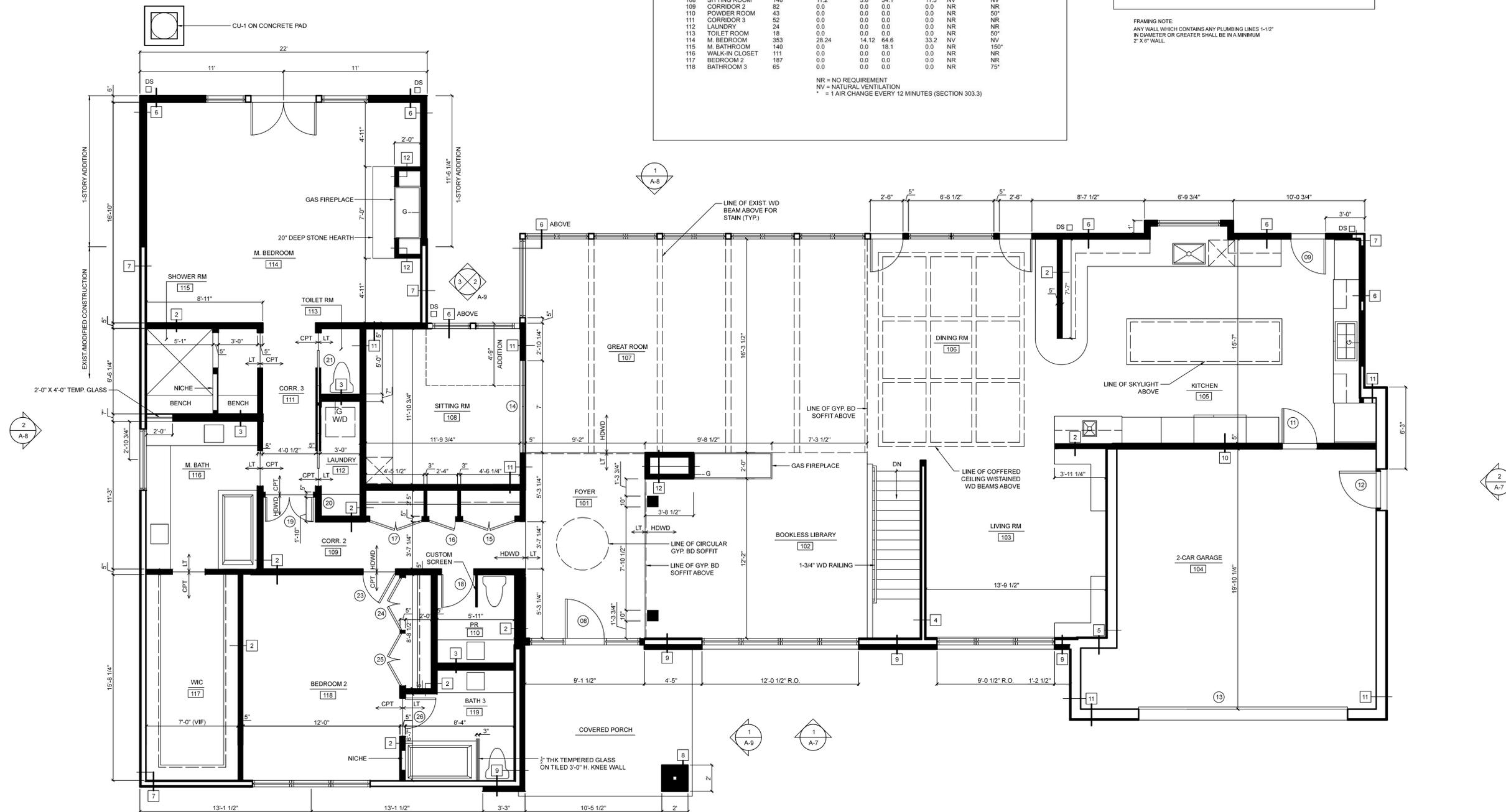
PROVIDE GREENBOARD AT ALL WET LOCATIONS AND CEMENTITIOUS BOARD AT SHOWERS AND BATHTUBS.
BATT INSULATION AT WALLS IN BATHROOMS, POWDER ROOM, UTILITY ROOM, LAUNDRY ROOM AND MECHANICAL ROOMS WITH SEALANT AT BOTH SIDES OF WALL, TOP AND BOTTOM.

NOTES:

- ALL INTERIOR WALL AND CEILING FINISHES SHALL HAVE CLASS 1 FRAME SPREAD RATING
- HINGE SIDE OF ALL INTERIOR DOORS TO BE CENTERED ON WALL OR 6" FROM ADJACENT WALL U.N.O.
- ALL TOILET ROUGHS TO BE 12" U.N.O.
- ALL SHOWER SEATS ON EXTERIOR WALLS SHALL BE INSULATED AND DRYWALLED BELOW THEM TO THE FLOOR.

FRAMING NOTE:

ANY WALL WHICH CONTAINS ANY PLUMBING LINES 1-1/2" IN DIAMETER OR GREATER SHALL BE A MINIMUM 2" X 6" WALL.



- LEGEND**
- EXISTING CONSTRUCTION
 - NEW CONSTRUCTION

1 FIRST FLOOR PLAN
1/4" = 1'-0"

REV.	DATE	ISSUE
—	08.04.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
—		
—		
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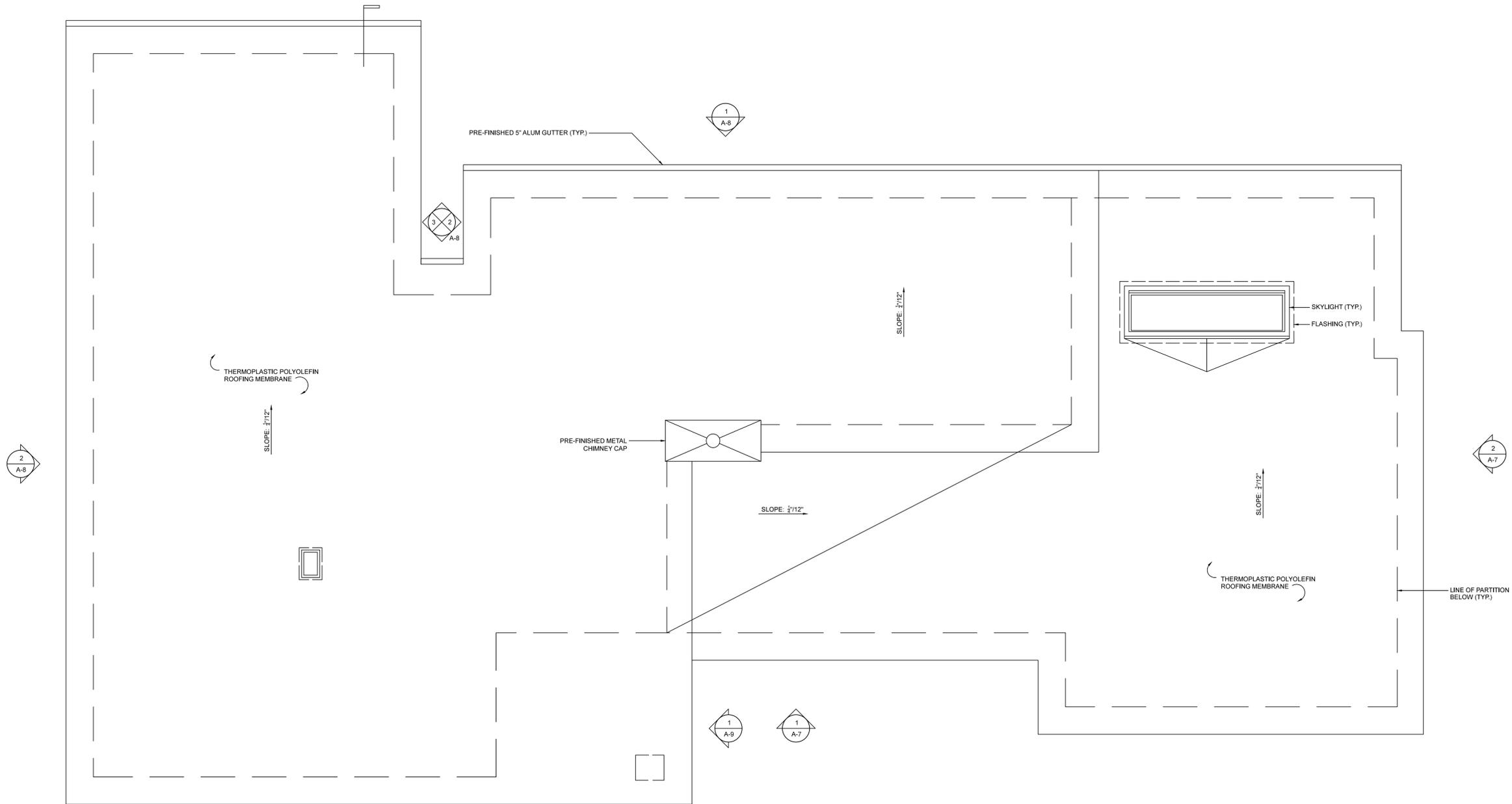
FIRST FLOOR PLAN, PARTITION NOTES, LIGHT AND VENTILATION SCHEDULE

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 06.27.15

SCALE: 1/4" = 1'-0"

JOB NO.: 1544



REV.	DATE	ISSUE
—	08.10.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
—	—	—
—	—	—
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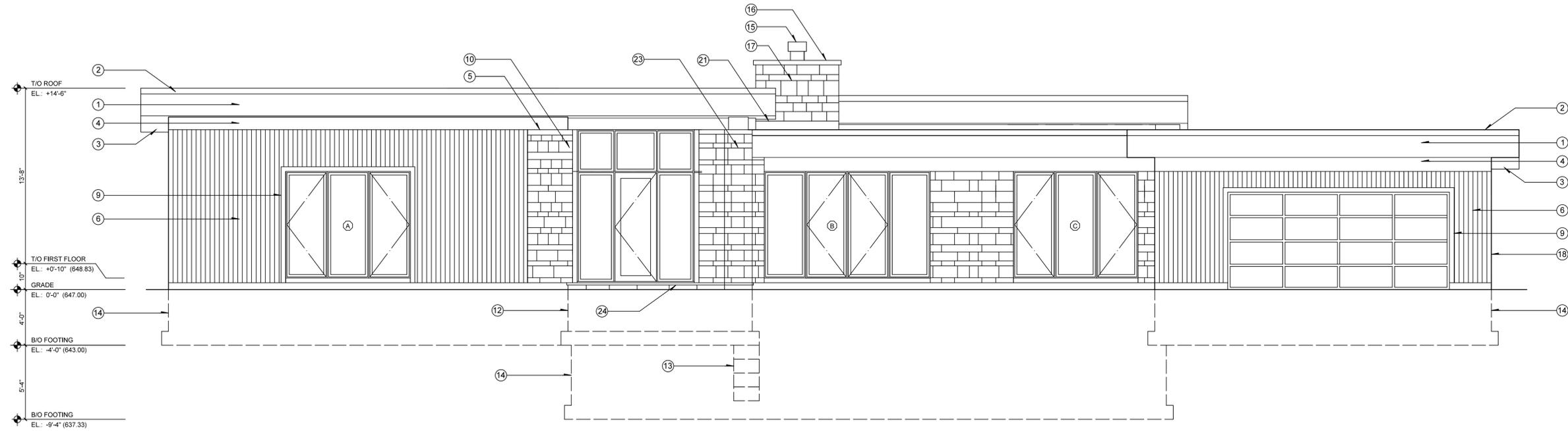
1 ROOF EXIST./DEMOLITION PLAN
1/4" = 1'-0"

ROOF PLAN

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

DATE: 08.10.15
SCALE: 1/4" = 1'-0"
JOB NO.: 1544

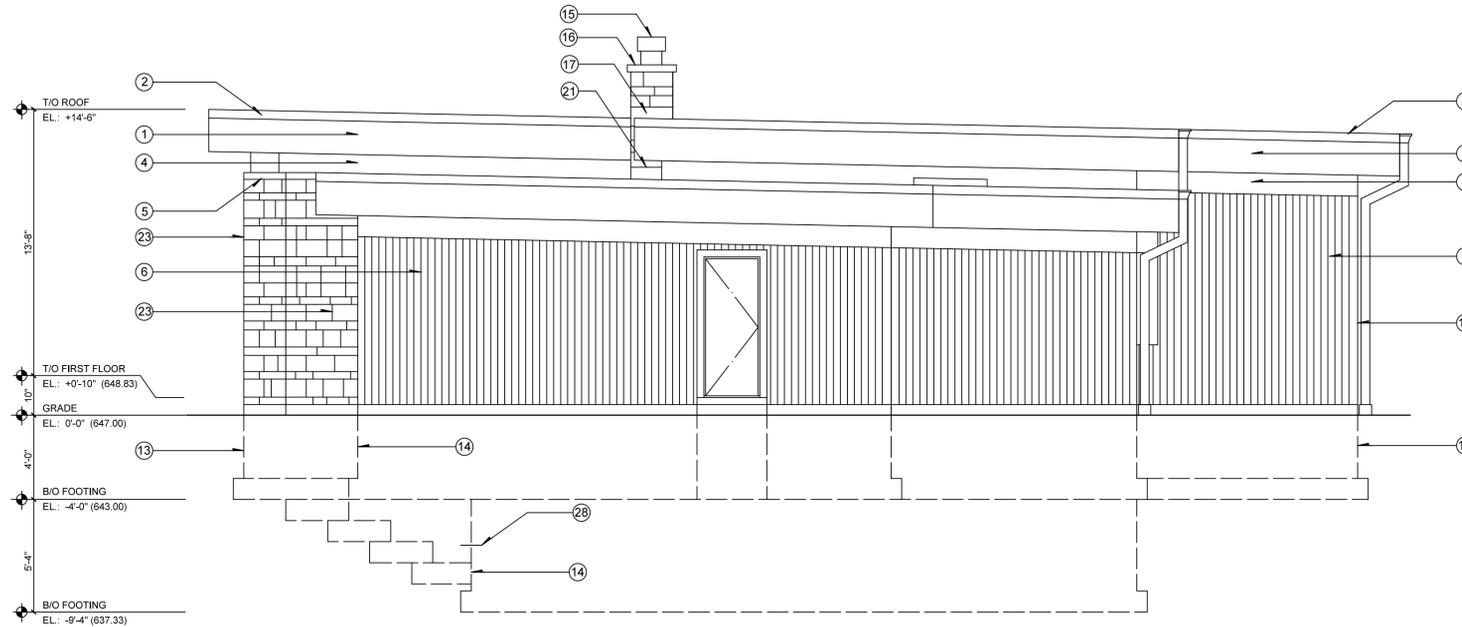
A-6



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

MATERIALS LEGEND

1. 24" H. PRE-FINISHED METAL FASCIA
2. 5" H. PRE-FINISHED METAL DRIP CAP
3. PRE-FINISHED METAL SOFFIT
4. 12" H. SMOOTH WESTERN RED CEDAR FRIEZE BOARD (S1S2E) FOR STAIN
5. 4" STONE SILL
6. SMOOTH WESTERN RED CEDAR VERTICAL SIDING FOR STAIN
- 4" EXPOSURE
- GRADE: A-CLEAR AND BETTER
7. EXISTING 5' X 5' COLUMN FOR PAINT
8. 5' X 5' COLUMN TO MATCH EXISTING FOR PAINT
9. 4" SMOOTH WESTERN RED CEDAR TRIM (S1S2E) FOR STAIN
10. 4" THICK STONE VENEER
11. PRE-FINISHED METAL PANEL
12. CONCRETE FOUNDATION WALL AND FOOTING
13. STEPPED CONCRETE FOUNDATION WALL AND FOOTING
14. EXISTING CONCRETE FOUNDATION WALL
15. CHIMNEY FLUE W/SPARK ARRESTOR
16. PRE-FINISHED METAL CHIMNEY CAP
17. THIN VENEER STONE CHIMNEY
18. 4" SMOOTH WESTERN RED CEDAR CORNER BOARD (S1S2E) FOR STAIN
19. 12" H. PRE-FINISHED METAL CAP
20. 12" PRE-FINISHED ALUM. GUTTER AND DOWNSPOUT. CONNECT DOWNSPOUT TO NEW STORM SEWER SYSTEM
21. FLASHING (TYP)
22. SURFACE-MOUNTED LIGHT FIXTURE. VERIFY HEIGHT WITH OWNER/ARCHITECT.
23. 4" THICK STONE VENEER COLUMN
24. SELECT BLUESTONE PORCH AND STEPS. PROVIDE SELECT BLUESTONE AT ALL EXPOSED FACES.
25. CONCRETE STOOP AND STEP - BROOM FINISH
26. SMOOTH WESTERN RED CEDAR FASCIA BOARD (S1S2E) (FOR STAIN)
27. THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE
28. (2) #5 T&B - IMBEDDED 6" MIN. INTO NEW & EXIST. CONC. FOUNDATION WALL
29. 12" H. SMOOTH WESTERN RED CEDAR BAY FOR STAIN
30. LINE OF EXISTING CONSTRUCTION



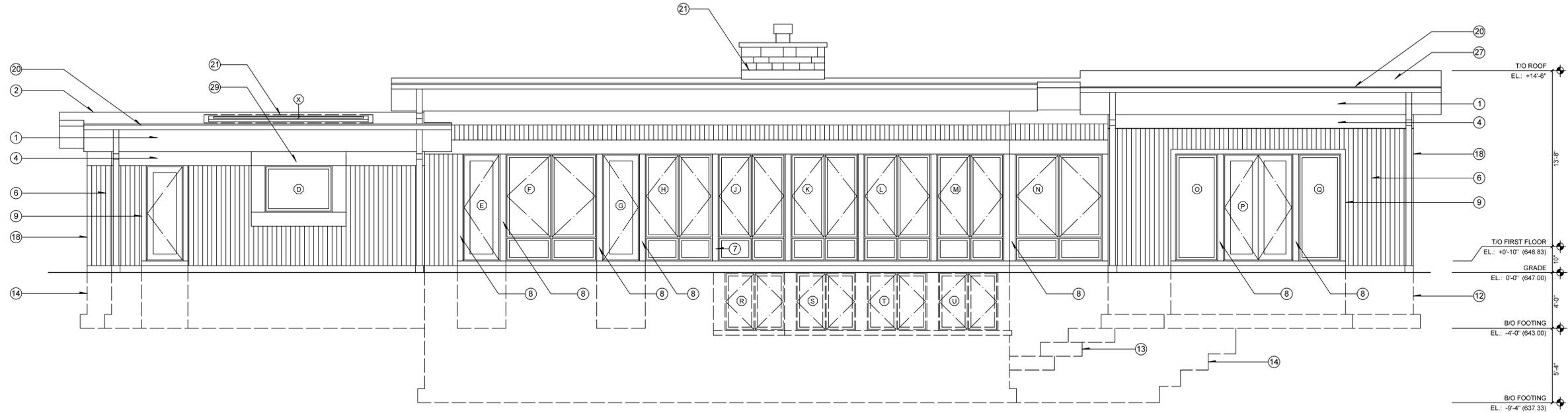
2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

REV	DATE	ISSUE
—	07.11.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
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EXTERIOR ELEVATIONS, MATERIALS LEGEND

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

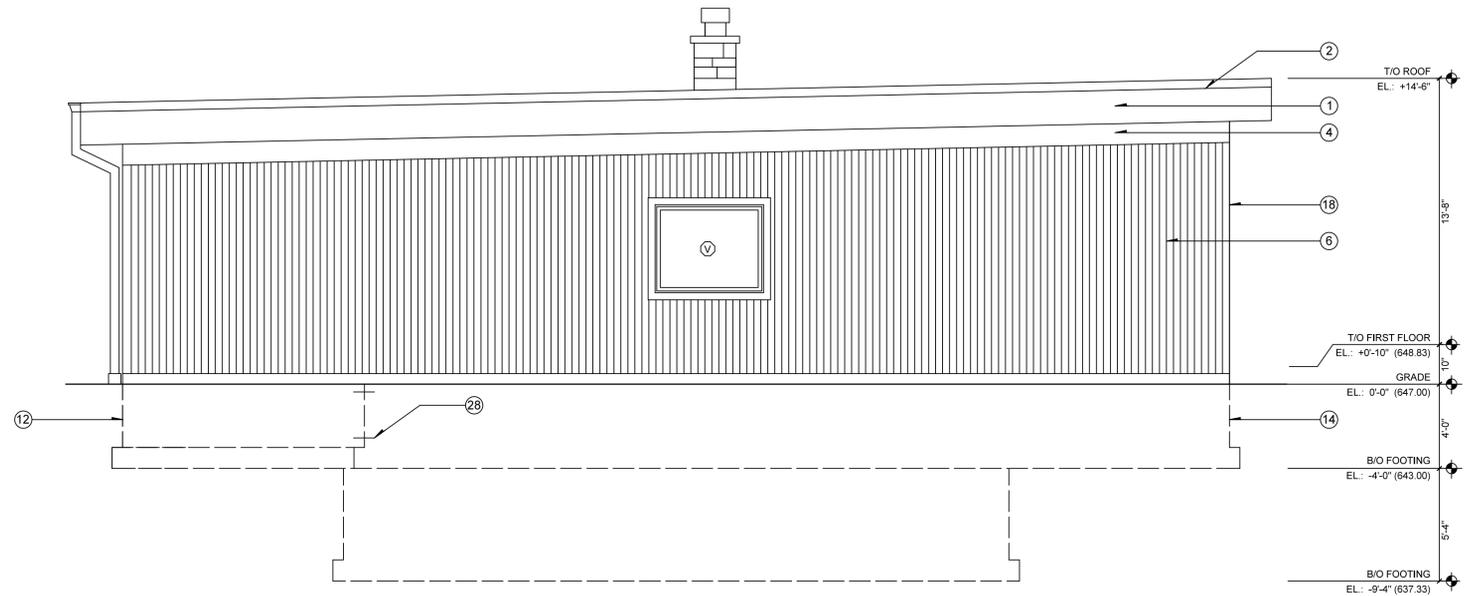
DATE: 06.27.15
SCALE: 1/4" = 1'-0" **A-7**
JOB NO.: 1544



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

MATERIALS LEGEND

1. 24" H. PRE-FINISHED METAL FASCIA
2. 5" H. PRE-FINISHED METAL DRIP CAP
3. PRE-FINISHED METAL SOFFIT
4. 12" H. SMOOTH WESTERN RED CEDAR FRIEZE BOARD (S1S2E) FOR STAIN
5. 4" STONE SILL
6. SMOOTH WESTERN RED CEDAR VERTICAL SIDING FOR STAIN
+4" EXPOSURE
GRADE: A CLEAR AND BETTER
7. EXISTING 5' X 5' COLUMN FOR PAINT
8. 5' X 5' COLUMN TO MATCH EXISTING FOR PAINT
9. 4" SMOOTH WESTERN RED CEDAR TRIM (S1S2E) FOR STAIN
10. 4" THICK STONE VENEER
11. PRE-FINISHED METAL PANEL
12. CONCRETE FOUNDATION WALL AND FOOTING
13. STEPPED CONCRETE FOUNDATION WALL AND FOOTING
14. EXISTING CONCRETE FOUNDATION WALL
15. CHIMNEY FLUE W/SPARK ARRESTOR
16. PRE-FINISHED METAL CHIMNEY CAP
17. THIN VENEER STONE CHIMNEY
18. 4" SMOOTH WESTERN RED CEDAR CORNER BOARD (S1S2E) FOR STAIN
19. 12" H. PRE-FINISHED METAL CAP
20. 5" PRE-FINISHED ALUM. GUTTER AND DOWNSPOUT. CONNECT DOWNSPOUT TO NEW STORM SEWER SYSTEM
21. FLASHING (TYP)
22. SURFACE-MOUNTED LIGHT FIXTURE. VERIFY HEIGHT WITH OWNER/ARCHITECT.
23. 4" THICK STONE VENEER COLUMN
24. SELECT BLUESTONE PORCH AND STEPS. PROVIDE SELECT BLUESTONE AT ALL EXPOSED FACES.
25. CONCRETE STOOP AND STEP - BROOM FINISH
26. SMOOTH WESTERN RED CEDAR FASCIA BOARD (S1S2E) (FOR STAIN)
27. THERMOPLASTIC POLYOLEFIN ROOFING MEMBRANE
28. (2) #5 T&B - IMBEDDED 6" MIN. INTO NEW & EXIST. CONC. FOUNDATION WALL
29. 12" H. SMOOTH WESTERN RED CEDAR BAY FOR STAIN
30. LINE OF EXISTING CONSTRUCTION



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

REV.	DATE	ISSUE
—	07.11.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
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EXTERIOR ELEVATIONS, MATERIALS LEGEND

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

WINDOW SCHEDULE

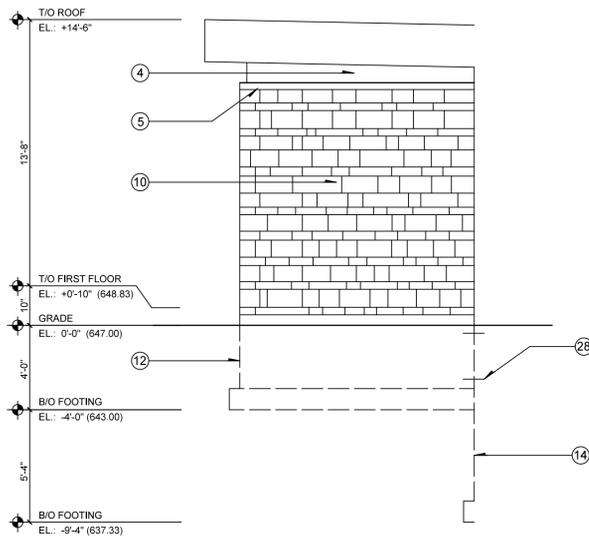
MARK	TYPE	R. O.	LIGHT (S.F.)	VENT (S.F.)
A*	PATIO DR 30710 SIDELIGHT 30710 PATIO DR 30710	9'-0" X 7'-10-3/4"	43.2	41.5
B	SIDELIGHT 30710 PATIO DR 30710 PATIO DR 30710 SIDELIGHT 30710	12'-0" X 7'-10-3/4"	57.3	41.5
C	PATIO DR 30710 SIDELIGHT 30710 PATIO DR 30710	9'-0" X 7'-10-3/4"	43.2	41.5
D	PICTURE 3446	3'-4-1/2" X 4'-6-1/2"	12.5	0.0
E	PATIO DR 28710	2'-9-5/8" X 7'-10-3/4"	14.1	22.1
F	CASEMENT 3360 PICTURE 3324 CASEMENT 3360 PICTURE 3324	6'-6-3/4" X 7'-10-3/4"	38.2	28.5
G	PATIO DR 28710	2'-9-5/8" X 7'-10-3/4"	14.1	22.1
H	CASEMENT 2450 PICTURE 2420 CASEMENT 2450 PICTURE 2420	4'-10" X 7'-10-3/4"	22.2	18.1
J	CASEMENT 2450 PICTURE 2420 CASEMENT 2450 PICTURE 2420	4'-10" X 7'-10-3/4"	22.2	18.1
K	CASEMENT 2450 PICTURE 2420 CASEMENT 2450 PICTURE 2420	4'-10" X 7'-10-3/4"	22.2	18.1
L	CASEMENT 2450 PICTURE 2420 CASEMENT 2450 PICTURE 2420	4'-10" X 7'-10-3/4"	22.2	18.1
M	CASEMENT 2450 PICTURE 2420 CASEMENT 2450 PICTURE 2420	4'-10" X 7'-10-3/4"	22.2	18.1
N	CASEMENT 3160 PICTURE 3124 CASEMENT 3160 PICTURE 3124	6'-2-3/4" X 7'-10-3/4"	34.1	33.2
O	SIDELIGHT 28710	2'-9-5/8" X 7'-10-3/4"	17.5	0.0
P*	PATIO DR 50710	5'-0-3/4" X 7'-10-3/4"	29.6	33.2
Q	SIDELIGHT 28710	2'-9-5/8" X 7'-10-3/4"	17.5	0.0
R	FRENCH CASEMENT 4340	4'-3-3/4" X 4'-0-1/2"	13.2	15.1
S	FRENCH CASEMENT 4340	4'-3-3/4" X 4'-0-1/2"	13.2	15.1
T	FRENCH CASEMENT 4340	4'-3-3/4" X 4'-0-1/2"	13.2	15.1
U	FRENCH CASEMENT 4340	4'-3-3/4" X 4'-0-1/2"	13.2	15.1
V	PICTURE 5046	5'-0-1/2" X 4'-0-1/2"	18.1	0.0
W	PICTURE 60710	6'-0-1/2" X 7'-10-3/4"	36.1	0.0
X	SKYLIGHT	11'-1-1/2" X 3'-1-1/2" (CURB)	16.1	0.0

NOTES:

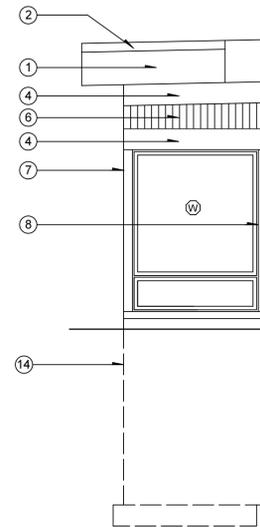
- CLASSIC WINDOWS AND DOORS TO HAVE THE FOLLOWING:
 - U-FACTOR: 0.24
 - SHGC: 0.29
 - LoE W/ARGON INSULATING GLASS
 - EXTERIOR CLAD FINISH - TO BE SELECTED
 - INTERIOR WOOD FINISH - PRIME FOR PAINT
 - OPERABLE WINDOWS/DOORS TO HAVE REMOVABLE INSECT SCREEN
 - JAMB EXTENSION AS REQUIRED
 - HARDWARE - TO BE SELECTED
 - GLASS AT PATIO DOORS OR BELOW 18" ABOVE FINISHED FLOOR SHALL BE TEMPERED
- PROVIDE SAFETY GLAZING IN ALL HAZARDOUS LOCATIONS INCLUDING WINDOWS WHERE AN EDGE IS WITHIN 24" OF EITHER EDGE OF A SWINGING DOOR, WINDOWS LOCATED LESS THAN 60" ABOVE A STAIRWAY LANDING OR WALKING SURFACE, OR WINDOWS WITH AN AREA OF GREATER THAN NINE SQUARE FEET AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
- WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR THE SURFACE BELOW SHALL NOT HAVE ANY OPENING LESS THAN 24" ABOVE FINISHED FLOOR IN THE ROOM.

MATERIALS LEGEND

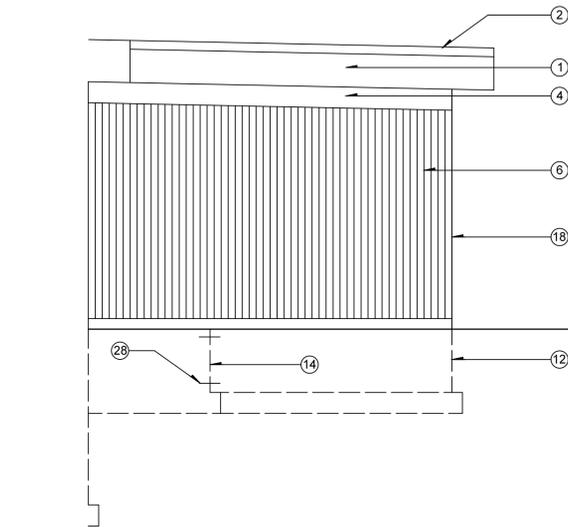
- 24" H. PRE-FINISHED METAL FASCIA
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- 12" H. SMOOTH WESTERN RED CEDAR FRIEZE BOARD (S1S2E) FOR STAIN
- 4" STONE SILL
- SMOOTH WESTERN RED CEDAR VERTICAL SIDING FOR STAIN
- 4" EXPOSURE
- GRADE: A CLEAR AND BETTER
- EXISTING 6" X 6" COLUMN FOR PAINT
- 5" X 5" COLUMN TO MATCH EXISTING FOR PAINT
- 4" SMOOTH WESTERN RED CEDAR TRIM (S1S2E) FOR STAIN
- 4" THICK STONE VENEER
- PRE-FINISHED METAL PANEL
- CONCRETE FOUNDATION WALL AND FOOTING
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- 5" PRE-FINISHED ALUM. GUTTER AND DOWNSPOUT. CONNECT DOWNSPOUT TO NEW STORM SEWER SYSTEM
- FLASHING (TYP.)
- SURFACE-MOUNTED LIGHT FIXTURE. VERIFY HEIGHT WITH OWNER/ARCHITECT.
- 4" THICK STONE VENEER COLUMN
- SELECT BLUESTONE PORCH AND STEPS. PROVIDE SELECT BLUESTONE AT ALL EXPOSED FACES.
- CONCRETE STOOP AND STEP - BROOM FINISH
- SMOOTH WESTERN RED CEDAR FASCIA BOARD (S1S2E) (FOR STAIN)
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- (2) #5 T&B - IMBEDDED 6" MIN. INTO NEW & EXIST. CONC. FOUNDATION WALL
- 12" H. SMOOTH WESTERN RED CEDAR BAY FOR STAIN
- LINE OF EXISTING CONSTRUCTION



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

REV	DATE	ISSUE
—	07.11.15	REVIEW
—	11.12.15	PERMIT
—	12.23.15	HPC REVIEW
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EXTERIOR ELEVATIONS, MATERIALS LEGEND, WINDOW SCHEDULE

ADDITION/RENOVATION OF:
RUBENS RESIDENCE
804 MOSELEY ROAD
HIGHLAND PARK, IL

Historic Preservation Commission

436 Hazel Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 1/14/2016

<i>Year Built:</i>	1946
<i>Style:</i>	Colonial Revival
<i>Petitioner:</i>	Steve Rudman, former owner
<i>Size:</i>	2,920 square feet
<i>Original Owner:</i>	Charles Schreiber
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	\$16,500
<i>Significant Features:</i>	Gabled-through-the-cornice dormers, Overhang above 1 st Floor with dentils
<i>Alterations:</i>	<ul style="list-style-type: none">• Enclosed Porch (1970)• Rear addition (1980)
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 436 Hazel Avenue and how it may satisfy any of the landmark criteria identified in Chapter 24.



436 Hazel Avenue is located just a few houses east of Highland Park City Hall on the south side of the street. The house was built in 1946 and was not included in the Hazel Avenue / Prospect Avenue National Register Historic District established in 1984. Many of the houses across the street and in the immediate vicinity are included in the district.

Hazel Avenue features many homes from the turn of the century, including the house of Elisha Grey, an early pioneer in telephone technology. Historical research for the National Register Historic District Nomination provides a lot of background on many of the historic homes on Hazel and is included in the attachments to this report.

The house at 436 Hazel was built in 1946 and is not among the historic structures in the area. It has a C – Contributing historical status, which means it could contribute to a new historic district if one was established in the area now. But the house was not determined to have enough historic or architectural significance on its own to merit designation as a local landmark. It was owned and constructed by Charles Schreiber, a builder with an office in Chicago. He is identified

Historic Preservation Commission

in the architectural surveys as having built several other houses in town in this same time period. None have an S – Significant historical status.

Biographical Information

Ex-Officio member Julia Johnas has been consulted for biographical information on Mr. Schreiber and other residents associated with 436 Hazel. Findings will be presented at the upcoming HPC meeting.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Historic Preservation Commission

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

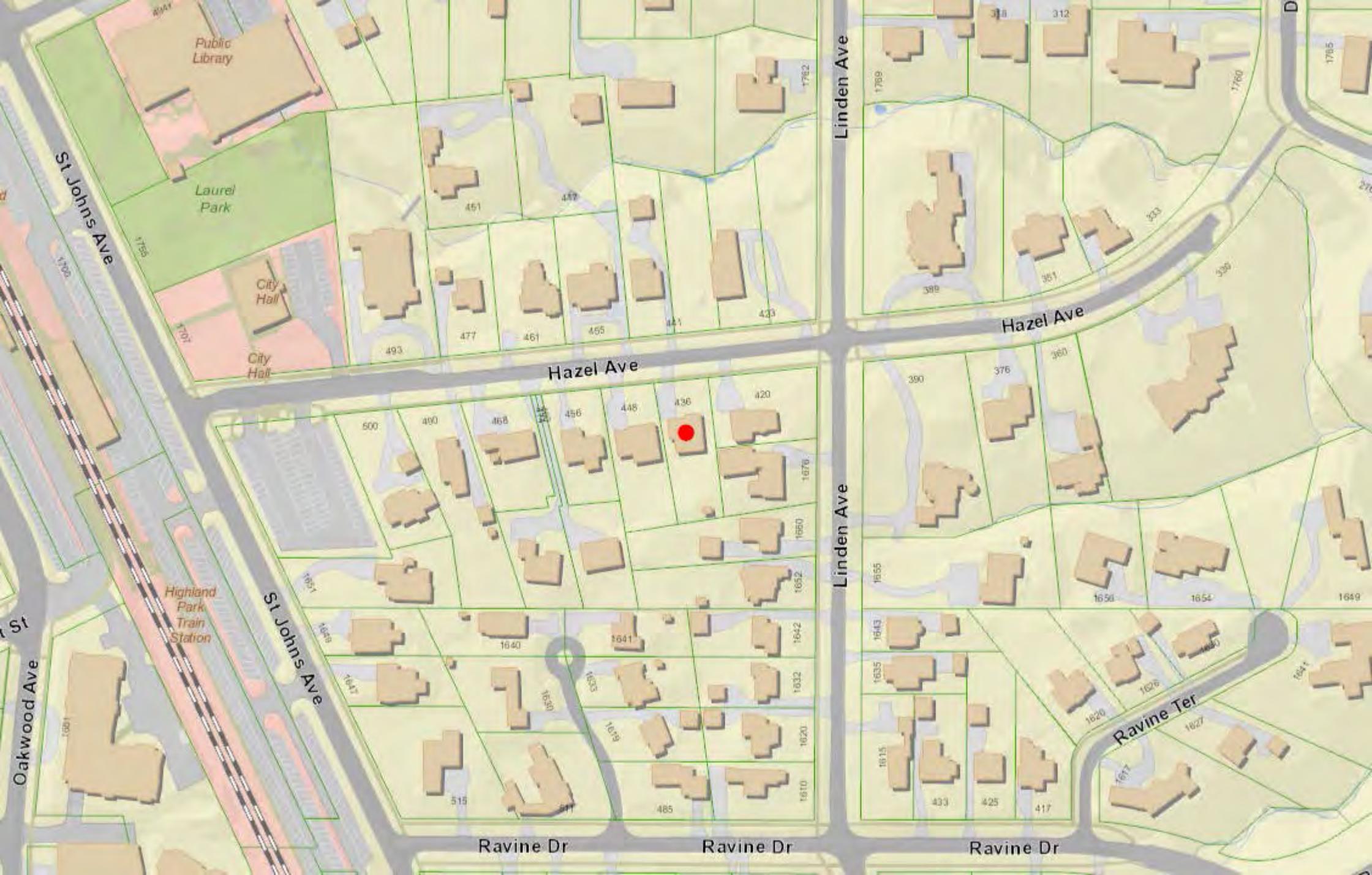
Location Map

Site Photos

Architectural Survey Entry

County Assessor Data

Original Building Permit



Public Library

Laurel Park

City Hall

City Hall

Highland Park Train Station

St Johns Ave

Hazel Ave

Linden Ave

Linden Ave

Ravine Dr

Ravine Dr

Ravine Dr

Ravine Ter

Oakwood Ave





City of HIGHLAND PARK

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY



STREET # 436
 STREET Hazel Ave
 ROLL # 25
 FRAME #s 2a
 ROLL #
 FRAME #s

GENERAL INFORMATION

<u>CLASSIFICATION</u>	building	<u>PRESENT USE</u>	single-family	<u>CONDITION</u>	excellent
<u>SECONDARY STRUCTURES</u>		<u>ORIGINAL USE</u>	single-family	<u>INTEGRITY</u>	minor alterations

ARCHITECTURAL INFORMATION

<u>ARCHITECTURAL STYLE/TYPE</u>	Colonial Revival	<u>NO. OF STORIES</u>	2
<u>ARCHITECTURAL DETAILS</u>		<u>EXT. WALLS (current)</u>	artificial stone wood clapboard/brick
<u>ORIGINAL CONSTRUCTION DATE</u>	1946	<u>EXT. WALLS (original)</u>	artificial stone wood clapboard/brick
<u>SOURCE</u>	permit-3/2/46	<u>FOUNDATION</u>	poured concrete
<u>OVERALL SHAPE OR PLAN</u>	rectangular	<u>ROOF (type & materials)</u>	side gable asphalt shingle
<u>LANDSCAPE FEATURES</u>	20' setback; side driveway; residential street with sidewalks; mature trees; screening on both lot lines	<u>WINDOW MATERIAL, TYPE(S)</u>	wood double hung; picture 1/1; 1 lt
		<u>PORCH</u>	

SIGNIFICANT FEATURES: Overhang above 1st floor with dentils; scalloped stringcourse; gable through-the-cornice dormers; brick end chimney; one car garage with paneled overhead door

ALTERATIONS (removals, replacements, additions, date (if known), etc.): 1st floor bay on front facade has replacement fixed 1 light windows; newer fixed shutters added



Lake County, Illinois

Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-23-417-008	Neighborhood Number:	1825014
Street Address:	436 HAZEL AVE	Neighborhood Name:	EAST Indian Trail
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$105,874	Total Land Square Footage:	14389
Building Amount:	\$115,349	House Type Code:	22
Total Amount:	\$221,223	Structure Type / Stories:	2.0
Township:	Moraine	Exterior Cover:	Brick
Assessment Date:	2015	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1947 / 1952
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	2920
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	1029
		Finished Basement Area (Square Feet):	823
		Number of Full Bathrooms:	3
		Number of Half Bathrooms:	1
		Fireplaces:	3
		Garage Attached / Detached / Carport:	1 / 0 / 0
		Garage Attached / Detached / Carport Area:	300 / 0 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

March 2 1936



Building Permit No. 4901

Location of Building—No. 346⁴³⁶ Street Hazel Avenue

Name of Owner Chas. Schreiber

Present Address 6233 Wayne Avenue, Chicago Phone Bri. 6786

Type of Construction Frame and Brick Remodeling

General Contractor Chas Schreiber Address ##### Phone Amb. 1070
1791 Howard St. Chgo.

Permit issued to Owner to construct a Single Family Dwelling.

building on Lot 5 & pt 4 Blk. 60 Sub'n. H.P. Hazel Linden

Builder's estimate \$ 16500.00 Permit fee \$ 56.00

Location on Lot verified 1936 by H. Sasch
Plan 30-1936 location Blk. etc by final record plan

Other inspections

Deposits J.O. # 3513 \$ 50.00 Sidewalks planked

Remarks Postal card

Job completed Receipt for returned plans Owner

Final plat in -

Electrical Contractor Erland's Address 751 Howard Ave E
 Wiring Permit No. 3647 Issued 9/19/47 Fixture Permit No. 3647 Issued 9/19/47
 1st Inspection 9-20-46 193 by H. Sarch
 2nd Inspection _____ 193 by _____
 Size of main wire 8 Size of branch wire 12-14 System Conduit
 No. of Openings 7-101 No. Sockets _____ No. Circuits 8 No. Motors _____ No. Ranges _____
 Certificate of Inspection Issued _____ 193 No. _____
 Date of Public Service Tap _____ Remarks 24 Fixtures

Plumbing Contractor John Brown Reg. + Ill. Address 4342 N. Lowell Ave. Chicago
 Water Tap No. 3786 Sewer Tap No. 3288 Job Order No. 3517 Issued Mar 8-46 Paid 50⁰⁰ + 70⁰⁰
 Inspected _____ 193 by _____
 Inspected Aug 2. 46 193 by H. Sarch
 No. Catch Basins 1 No. Lavatories 3 No. Toilets 3
 No. Baths 2 No. Sinks 1 No. Laundry Tubs 1 Tray
 No. Shower Baths 20+ No. Stacks 3 Other Items 1-7 floor Drain
 Certificate of Inspection Issued _____ 193 No. _____
 Downspouts connected to _____
 Kind of Heat Gas Heat Name of Burner _____

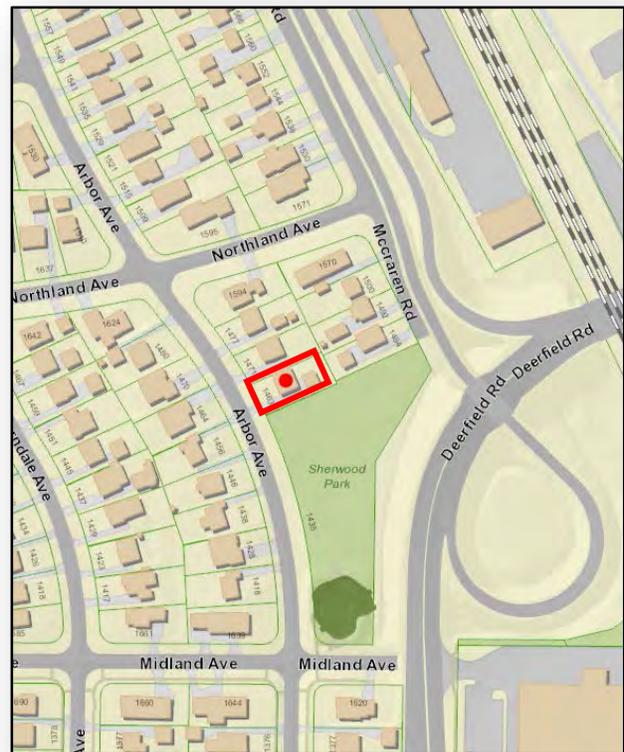
Tank Inspection _____
Mixer # 178 6-1-46
Mayer Paring 6-

Historic Preservation Commission

1463 Arbor Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 1/14/2016

Year Built:	1953
Style:	Traditional
Petitioner:	The Jacobs Company, LLC
Size:	1073 square feet
Original Owner:	Creative Developers
Architect:	Whalley & Gould
Original Cost:	\$18,000
Significant Features:	None identified
Alterations:	<ul style="list-style-type: none">• Detached frame garage (1956)
Staff Opinion:	Staff recommends that the Commission discuss the structure at 1463 Arbor Avenue and how it may satisfy any of the landmark criteria identified in Chapter 24.



A demolition application has been submitted for the house at 1463 Arbor Avenue. It is located on the west side of Highland Park in the Sherwood Forest subdivision. The subdivision plats date to the 1930's, though most of the housing was built in the post-war years.

The traditional-style house at 1463 Arbor is 1,073 square feet in size and has a detached garage. The house's original building permit from 1953 lists the owner and the general contractor as *Creative Developers* and the architect was the firm of Whalley and Gould. Architectural drawings for the house are stored in microfilm in City archives. The drawings are titled "Type A" of the "6-Room Bi-Level Homes for Creative Home Builders." This suggests the catalog house was likely built speculatively with other houses in the subdivision by *Creative Developers*.

Historic Preservation Commission

The Historic Preservation Commission recently discussed other houses by the architectural firm of Whalley & Gould. Three adjacent houses on Marion Avenue were designed by the firm: 782, 788, and 796 Marion Avenue. All were small Traditional style brick homes and owned and built by a development company before being sold to private owners. Two were demolished in 2008 and the third in 2015.

Whalley & Gould are credited with several modest mid-century homes around Highland Park. Those in the surveys range in common styles: Split Level, Neo-Traditional, and Colonial Revival.

Whalley & Gould Homes Identified in Surveys:

Address	Style	Year Built	Historical Status	Demolished
1355 Ridge road	Split Level	1953	N/A	No
441 Dell Lane	Split Level	1953	Contributing	No
85 Lakeside Place	Modern	1950	N/A	2001 (Fire)
945 Rollingwood Place	Split Level	1956	NC	No
167 Indian Tree	Colonial Revival	1951	Contributing	No
788 Marion	Traditional	1951	N/A	No

Sherwood Forest Subdivision

1463 Arbor is located on the eastern edge of Sherwood Forest. The West Side Architectural Resource Survey provides a brief write-up on that development:

Sherwood Forest was originally called Nixon's Highland Park Gardens Addition until it was resubdivided and renamed in 1930. It is bounded by Berkeley on the north, Midland on the south, Arbor on the east, and Ridge on the west. Though it has been stated in *Highland Park, An American Suburb At Its Best* that Sherwood Forest was developed by Samuel Insull and a group of investors, research could not confirm it. Building permits and plat maps provided no indication that Insull was involved with the project. With 255 buildings, 26% (68) were built before 1950, and an even greater number, 60% (153) are from the 1950s.

Biographical Information

Ex-Officio member Julia Johnas has been consulted for biographical information on owners of the property subsequent to the development company. Findings will be presented at the upcoming HPC meeting.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.

Historic Preservation Commission

- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

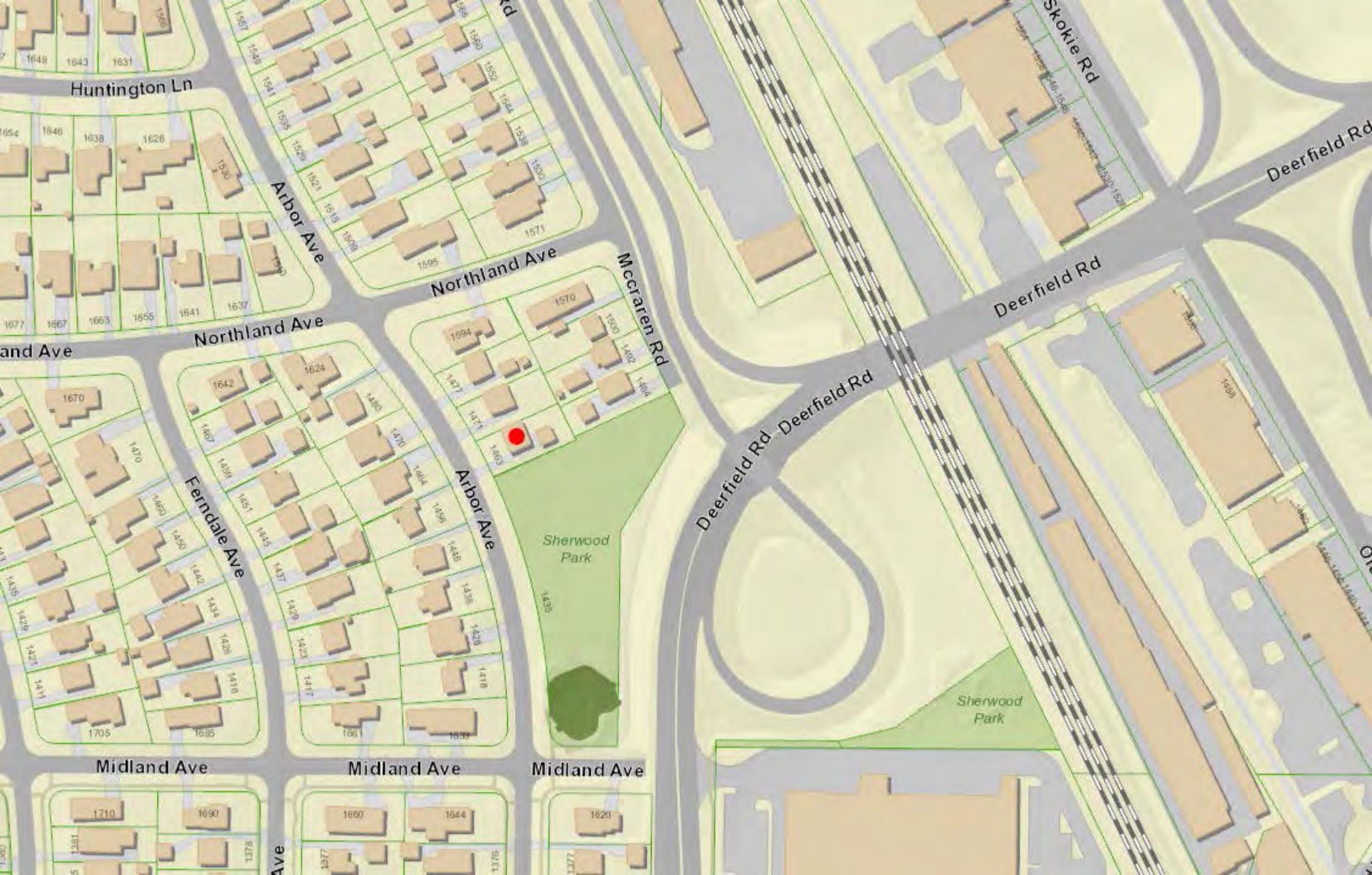
- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

Location Map

Site Photos

County Assessor Data



Huntington Ln

Arbor Ave

Northland Ave

McCraren Rd

Deerfield Rd

Deerfield Rd

Northland Ave

and Ave

Ferndale Ave

Arbor Ave

Deerfield Rd - Deerfield Rd

Sherwood Park

Sherwood Park

Midland Ave

Midland Ave

Midland Ave

Ave



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Date 2-24-1953

CITY OF CHICAGO 42254
2883
Building Permit No. 7088

Inspected by H. Saschl Date 1-17-54
For certificate of occupancy

Location of Building — No. 1463 Street ARBOR AVE

Name of Owner CREATIVE DEVELOPERS

Present Address 134 N. LA SALLE ST., CHGO. Phone CE 6-2275

Type of Construction 3 1/2' x 7' RC AGO BSTRUC

Architect WHALLEY & GOULD Address 3125 ARBOR AVE Phone EA 7-3531

General Contractor OWNER Address Phone

Permit issued to OWNER to construct a SINGLE FAMILY DWELLING

building on Lot 33 Blk. Sub'n. SHERWOOD FOREST

Builder's estimate 18,000- Permit fee 61- Job Order No. 6468 Amt. \$ 50-

Location of building on Lot verified 2-24-53 19. by H. Saschl

Sanitary provisions approved by

Other Inspections Posted Card

Unattached frame garage Permit # 6994 issued 5-17-56

7/22/55 Fence (Spec. Permit #442) \$500

Plumbing Ins
6-3-53-2:00 PM
Sasch
6.1K

Electrical Contractor Amber Electric Co Address 2476 No. Lincoln - Chicago, Ill
Wiring Permit No. 5465 Issued July 17, 1953 No. Fixtures 17
Floor Area _____ No. 15 Amp. Circuits required _____ No. 20 Amp. Circuits required _____
Size of main wire 2-6, 1-8 Size of branch wire 12 + 14 System 6.0
No. of Openings 46 No. Sockets _____ No. Circuits 3 No. Motors _____ No. Ranges _____
Other Appliances _____
Inspection by _____ Date _____
Plumbing Contractor L. J. Brown P. Lbrg Address 542 N. Cass St
Water Tap No. 5071 Sewer Tap No. 436 Job Order No. 6498 Issued 2-24-53 Paid 90-50
Work Order No. 1100 Storm Tap No. 1123
No. Catch Basins 1- No. Lavatories 1- No. Toilets 1-
No. Baths 1- No. Sinks 1- No. Laundry Tubs 1 Tray
No. Shower Baths 1.0T. No. Stacks 1-4" - 1-2" Other Items 1-2 Drain
Inspections 6-3-53 - H. Sasch
Downspouts connected to _____ 19 _____ No. _____
Kind of heat Oil Name of Burner Bard
Tank and Burner Inspection 10-17-53 # 1290 Western Supply & Fed. Co.
Driveway Permit No. 1270 Date August 11, 1953 Contractor Glader & Tazioli
Type black top driveway and concrete approach



Lake County, Illinois

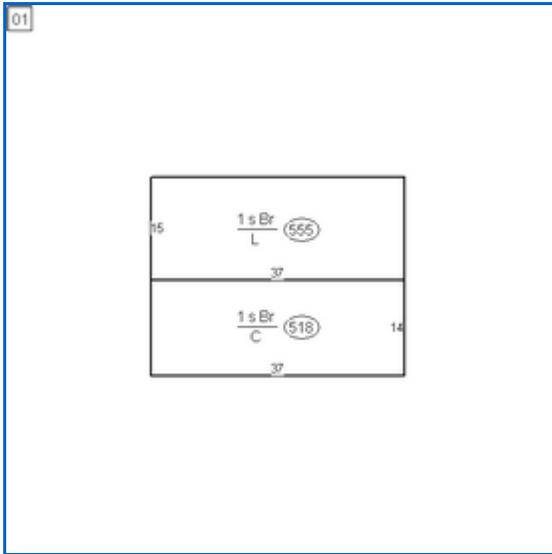
Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-27-110-004	Neighborhood Number:	1827050
Street Address:	1463 ARBOR AVE	Neighborhood Name:	Sherwood Forest
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$33,472	Total Land Square Footage:	7259
Building Amount:	\$45,890	House Type Code:	72
Total Amount:	\$79,362	Structure Type / Stories:	Tri
Township:	Moraine	Exterior Cover:	Brick
Assessment Date:	2015	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1953 / 1953
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	1073
		Lower Level Area (Square Feet):	555
		Finished Lower Level (Square Feet):	555
		Basement Area (Square Feet):	0
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	1
		Number of Half Bathrooms:	0
		Fireplaces:	0
		Garage Attached / Detached / Carport:	0 / 1 / 0
		Garage Attached / Detached / Carport Area:	0 / 484 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.



Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
11/9/2015	\$195,000	Not validated	

Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.

Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.

<http://apps01.lakecountyil.gov/spassessor/comparables/ptaipin.aspx?Pin=1627110004>

Historic Preservation Commission

2944 Greenwood Avenue Demolition Review

To: Historic Preservation Commission
 From: Nusrat Jahan, Planner
 Date: 1/14/2016

<i>Year Built:</i>	1938
<i>Style:</i>	Two-Story Colonial-Influence
<i>Petitioner:</i>	Peter Sperling
<i>Size:</i>	1430 square feet
<i>Original Owner:</i>	M. Lindenmann
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	\$5400.00
<i>Significant Features:</i>	Double Pitched roof with two gabled widows in the front and one gabled window at the rear
<i>Alterations:</i>	<ul style="list-style-type: none"> Framed toll House/Garage (1942)
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 2944 Greenwood Avenue and how it may satisfy any of the landmark criteria identified in Chapter 24.



Location Map – 2944 Greenwood Avenue

A demolition application has been submitted for the house at 2944 Greenwood Avenue. 2944 Greenwood Avenue is not located within a Highland Park survey area and no determination of significance has been made. The Lake County Tax Assessor’s data indicates the house was built in 1939, and the City of Highland Park Building Division records indicate the home was built in 1938 for a cost of \$5,400. The 1938 building permit lists the architect as “None” and the owner, “M. Lindemann” was the General Contractor for the house’s construction. A tool house/detached garage was constructed in 1942. Plans of the addition, including the existing home, are available on microfilm. Permit files on microfilm include the original construction and addition.

2944 Greenwood Avenue is located in the north part of Highland Park, this area was developed from the early and mid-twentieth century. The subject property in R6 Medium Density Single

Historic Preservation Commission

Family Residential zoning district which requires smaller zoning lot area in Highland Park.



Front View – 2944 Greenwood Avenue



Rear View – 2944 Greenwood Avenue

Several houses from the adjacent block north of Old trail have appeared before the HPC in the last five years. 2930 Greenview Avenue just south of the subject property was reviewed and approved for demolition in 2002.

Architectural Analysis

As the photographs show, there aren't any architectural characteristics on this two story house with basement. The planning staff identifies the home has influenced by Dutch Colonial style, because of architectural characteristics of the low pitched, gable widows, symmetrical gable on the second floor with projecting canopy over the front entrance. The rear part of the house contains one gable on the second floor and two pairs of windows on the first floor. The commission may conduct further discussion of determining the architectural style of the house.

Biographical Information

The original owner of this house was Peter Sperling. Ex-Officio member Julia Johnas has been consulted for biographical information on the original ownership of the property. Findings will be presented at the upcoming HPC meeting.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.

Historic Preservation Commission

- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
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- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

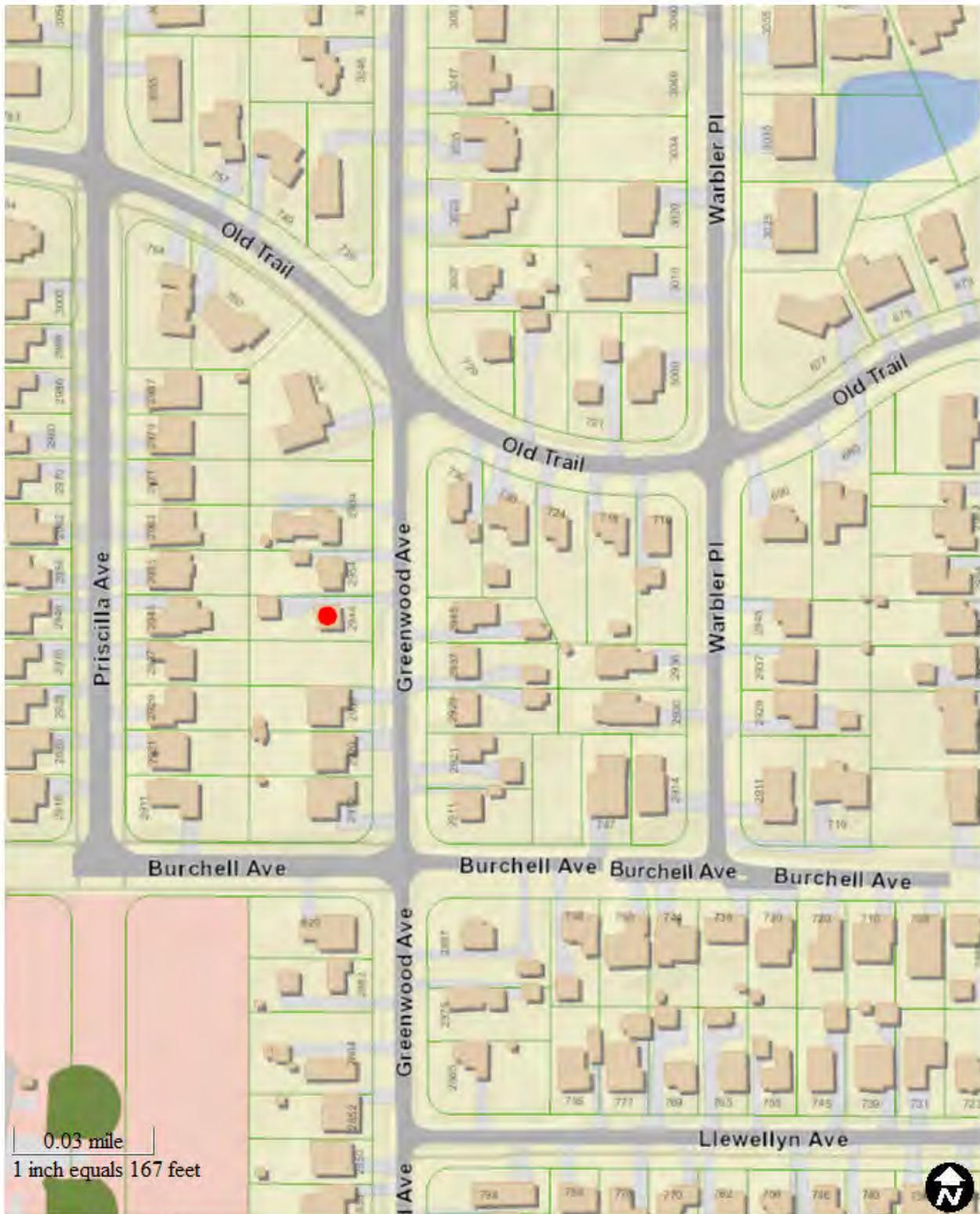
- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
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Attachments

Location Map

Site Photos

County Assessor Data



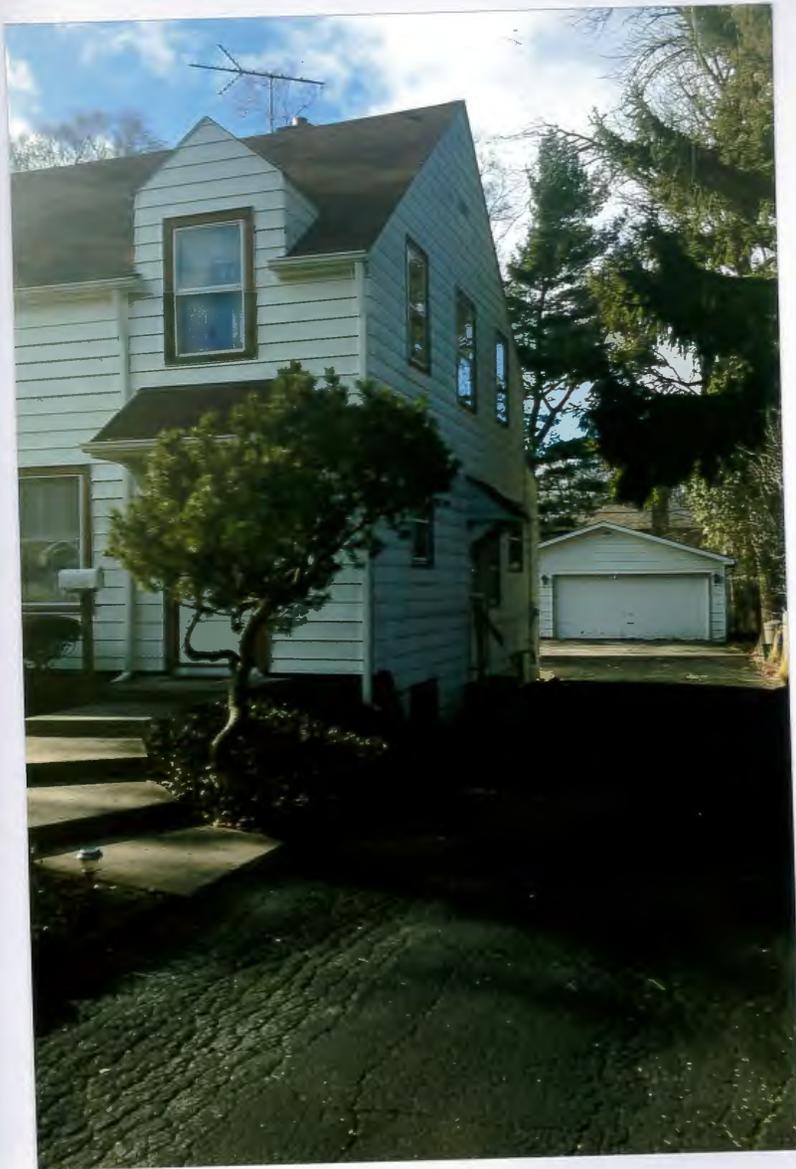
Map created on January 8, 2016.

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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.





Date Aug 16 1938 Building Permit No. 3802

Location of Building—No. 1720 Street Greenwood Avenue.

Name of Owner M. Lindenmann

Present Address 6740 Lakewood Avenue Chicago. Phone Brigade 5020

Type of Construction Frame Remodeling _____

General Contractor Owner Address _____ Phone _____

Permit issued to Owner to construct a Single Family Dwelling

building on Lot 17 Blk. 7 Sub'n. H.P. Woodland

Builder's estimate \$ 5400.⁰⁰ Permit fee 19.⁰⁰

Location on Lot verified _____ 193 _____ by _____

Other inspections Aug 24 checked

Deposits JO# 2468 - \$ 50.⁰⁰ Sidewalks planked _____

Remarks _____

Job completed _____ Receipt for returned plans _____ Owner

*Formulated by
Attergott, good.*



Date APRIL 10, 1934 Building Permit No. 4540

Location of Building—No. 1720 Street GREENWOOD AVE.

Name of Owner M. LINDENMANN

Present Address 1720 GREENWOOD AVE. Phone 4516

Type of Construction FRA. TOOL HOUSE Remodeling —

General Contractor OWNER Address _____ Phone _____

Permit issued to OWNER to construct a FRAME TOOL HOUSE

building on Lot 17 & 8 Blk. 7 Sub'n H.P. WOODLANDS

Builder's estimate \$ 100.⁰⁰ Permit fee \$ 1.³³

Location on Lot verified _____ 193 _____ by _____

Other inspections _____

Deposits N.D. Sidewalks planked _____

Remarks _____

Job completed _____ Receipt for returned plans _____ Owner

ARCHT. E. H. HUGHES - H.P.

File

Electrical Contractor Wm H. Hundley Address _____
 Wiring Permit No. 2847 Issued Oct 7 38 Fixture Permit No. 2847 Issued Oct 7 38
 1st Inspection Oct 17 1938 by _____
 2nd Inspection _____ 193 _____ by _____
 Size of main wire _____ Size of branch wire 14 System _____
 No. of Openings _____ No. Sockets _____ No. Circuits 2 No. Motors _____ No. Ranges _____
 Certificate of Inspection Issued _____ 193 _____ No. _____
 Date of Public Service Tap _____ Remarks Ground on water pipe & window
 Plumbing Contractor Chas Ewing Address 4812 N Kilpatrick Ave
 Water Tap No. 2483 Sewer Tap No. no Job Order No. 2483 Issued Sept 30 1938 Paid 35.00
 Inspected Oct 3 1938 by _____
 Inspected _____ 193 _____ by _____
 No. Catch Basins Block No. Lavatories 2 No. Toilets 2
 No. Baths 1 No. Sinks 1 No. Laundry Tubs 1
 No. Shower Baths nd wa No. Stacks 1 Other Items 1
 Certificate of Inspection Issued _____ 193 _____ No. _____
 Downspouts connected to _____
 Kind of Heat H.A Name of Burner Hand fired
 Tank Inspection Philip Jimmy

Electrical Contractor _____ Address _____
 Wiring Permit No. _____ Issued _____ Fixture Permit No. _____ Issued _____
 1st Inspection _____ 193 _____ by _____
 2nd Inspection _____ 193 _____ by _____
 Size of main wire _____ Size of branch wire _____ System _____
 No. of Openings _____ No. Sockets _____ No. Circuits _____ No. Motors _____ No. Ranges _____
 Certificate of Inspection Issued _____ 193 _____ No. _____
 Date of Public Service Tap _____ Remarks _____
 Plumbing Contractor None Address _____
 Water Tap No. _____ Sewer Tap No. _____ Job Order No. _____ Issued _____ Paid _____
 Inspected _____ 193 _____ by _____
 Inspected _____ 193 _____ by _____
 No. Catch Basins _____ No. Lavatories _____ No. Toilets _____
 No. Baths _____ No. Sinks _____ No. Laundry Tubs _____
 No. Shower Baths _____ No. Stacks _____ Other Items _____
 Certificate of Inspection Issued _____ 193 _____ No. _____
 Downspouts connected to _____
 Kind of Heat _____ Name of Burner _____
 Tank Inspection _____



Lake County, Illinois

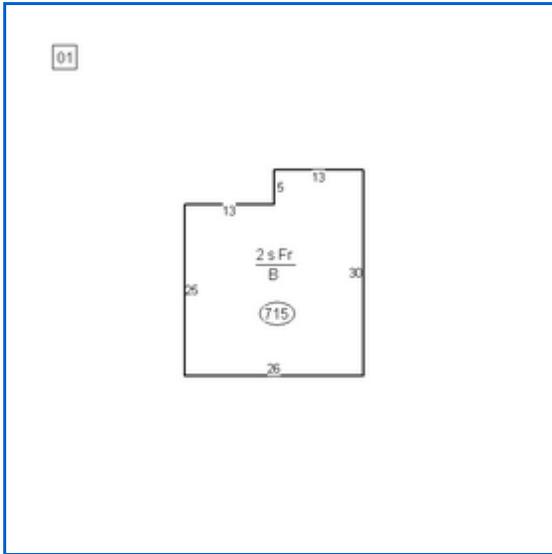
Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-15-111-017	Neighborhood Number:	1810040
Street Address:	2944 GREENWOOD AVE	Neighborhood Name:	The Highlands
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$46,193	Total Land Square Footage:	8250
Building Amount:	\$45,903	House Type Code:	22
Total Amount:	\$92,096	Structure Type / Stories:	2.0
Township:	Moraine	Exterior Cover:	Wood siding
Assessment Date:	2015	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1939 / 1939
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	1430
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	715
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	1
		Number of Half Bathrooms:	1
		Fireplaces:	0
		Garage Attached / Detached / Carport:	0 / 1 / 0
		Garage Attached / Detached / Carport Area:	0 / 484 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.



Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
No Previous Sales Information Found.			

Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.

Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.

<http://apps01.lakecountyil.gov/spassessor/comparables/ptaipin.aspx?Pin=1615111017>

Historic Preservation Commission

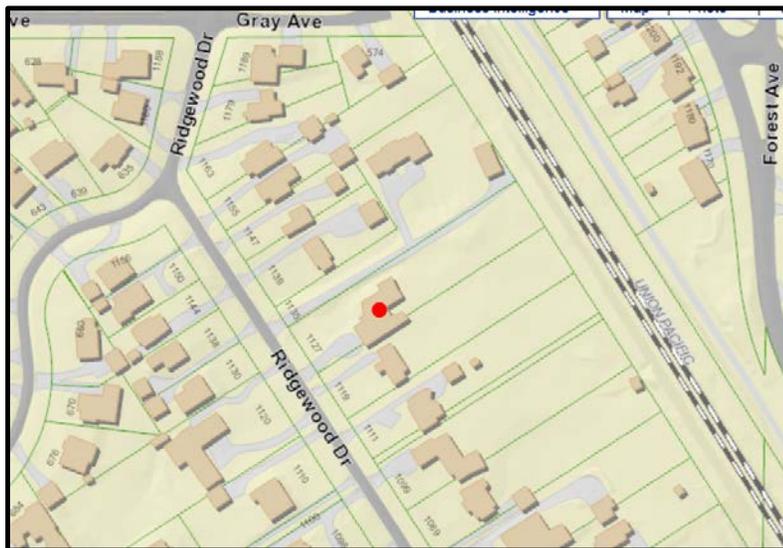
1127 Ridgewood Drive Demolition Review

To: Historic Preservation Commission
From: Nusrat Jahan, Planner
Date: 1/14/2016

<i>Year Built:</i>	c. 1952
<i>Style:</i>	Contemporary
<i>Petitioner:</i>	Hedgehog LLC
<i>Size:</i>	Original size unknown
<i>Original Owner:</i>	Jack Kapes
<i>Architect:</i>	W. Kroeber
<i>Original Cost:</i>	\$21,000
<i>Significant Features:</i>	Flat roof with overhanging eaves, low sprawling massing,
<i>Alterations:</i>	<ul style="list-style-type: none">• Conversion of carport to bed room and Brick court wall (1956)• Clearstory windows on the west and south walls (1962)• Addition and enlarge of a screened porch (1970)
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 1127 Ridgewood Drive and how it may satisfy any of the landmark criteria identified in Chapter 24.

Summary of the House

A demolition application has been submitted for the house at 1127 Ridgewood Drive. The house is located within the Bob-O-Link survey area and was assigned a local significance rating of "C – Contributing." The Lake County Tax Assessor's data indicates the house was built in 1953, and the City of Highland Park Building Division records indicate



1127 Ridgewood Drive – Location Map

Historic Preservation Commission

the home was constructed in 1952. Any plans or records from the original construction or for the addition are not available on microfilm. City's Building Division record indicates that west and south side clearstory windows were placed in 1960 and the 2005 survey record indicates that an addition of a screened porch that was constructed in 1970, however no permit record has been found for the 1970 addition.

The house is on an oversized 27,906 square foot lot, the minimum lot size in this R5 zoning district is 12,000 square feet. The home is a single story, low height and sprawling mass with simple clean lines. The exterior material is wood siding, the home is less stylized and representative of the modest scale of the home. The front of the house is rather less open with clerestory windows than the rear part with ample glass surface and large widows.



1127 Ridgewood Drive - Front View

Architectural Analysis

The home at 1127 Ridgewood Drive is best described as a Contemporary/Ranch style home because of architectural characteristics of with flat roof and over hanging eaves. Contemporary style emerged around 1940s, which is a less rectangular form with minimal ornamentation. Ranch houses became popular in the 1950s and according to Bob-O-Link survey report there were 35 Contemporary style residence within the survey area.

1127 Ridgewood Drive known as Jack House was designed by architect W. Kroeber who was member of The American Institute of Architects (AIA) since 1955. He practice was based in Arlington Height, Illinois where he designed various institutional building, churches and held various public service position. 1127 Ridgewood Drive house was designed for Jack Kapes, Mr.

Historic Preservation Commission

Kapes was also the builder of the house. The original contemporary low sprawling ranch house was designed in 1952 when the modern and contemporary ranch styles were popular. In 1956, architect Gordan Krupp designed the court wall and convert the carport to bedroom. The alteration of the west and the south wall with clerestory windows were constructed in 1962, the City of Highland Park Building Division records indicate the Jake Kapes was the owner and also acted as a general contractor for this work. The original house is obscured by the alterations from the 1960s

Biographical Information

Ex-Officio member Julia Johnas provided biographical research on Jack Kapes, on the original ownership of the property. Jack Kapes was born in Chicago on November 27, 1915 and died on January 21, 1991. He was a commercial artist for over 40 years and the owner of Jack Kapes Associates. His was connected with Chicago advertising giant Leo Burnett. Jack Kapes says that his house was the "house that Tony the Tiger built." character for Kellogg's Co.'s Frosted Flakes cereal." See the attached link bellow.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.

Historic Preservation Commission

9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
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Attachments

Location Map

Site Photos

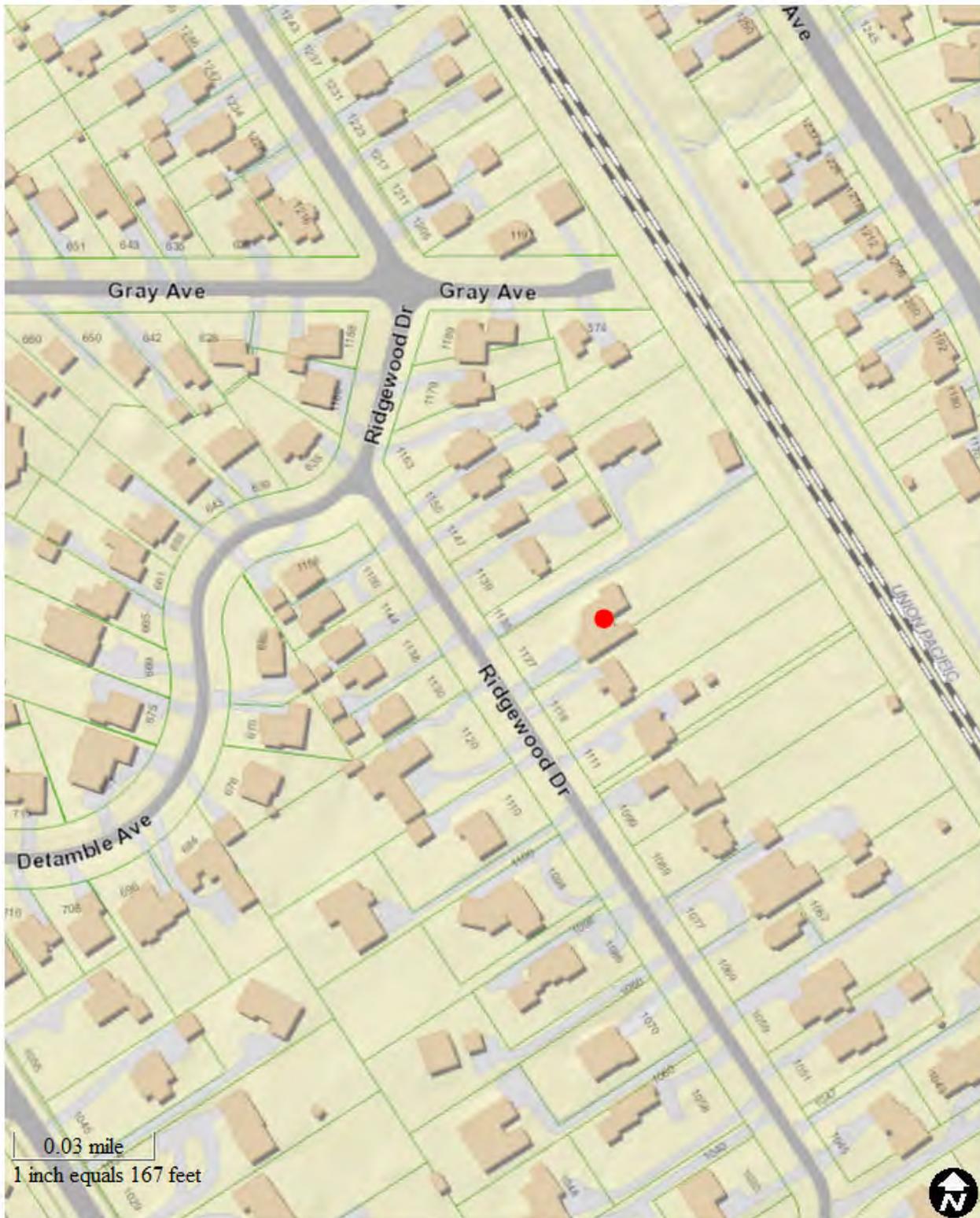
Architectural Survey Entry

County Assessor Data

Obituary on Jake Kapes

Hyperlink bellow - Miscellaneous information on Walter Kroeber

<http://www.chicagoreader.com/chicago/tale-of-the-tigernews-bites/Content?oid=907433>



Map created on January 8, 2016.

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Date 5-15-1952 Building Permit No. 6826

Location of Building—No. 1127 Street RIDGEWOOD DRIVE

Name of Owner JACK KAPES

Present Owner ^{add.} 165 E. ONTARIO ST. Phone DE 7-2554

Type of Construction BALKAN FR'S CO'URWA° Remodeling

Architect W. KROEBER Address 459 CENTRAL Phone HI 2-1719

General Contractor OWNER Address Phone

Permit issued to OWNER to construct a SINGLE FAMILY DWELLING

building on Lot 1 Blk Sub'n JOHN H. SASSER'S

Builder's estimate 21,000- Permit fee 71- Job Order No. 6142 Amt. \$ 50-

Location of Lot verified 5-15-1952 by H. SASSER

Other inspections Coated Card.

Deposits Sidewalks Planked

Remarks Mort Singer has Plans for this home

9-3-52 See plan addition Taken out 7-31-52

Val. 3000 - Fee \$ 11- Sasser

Plan Returned to Jack Kapes 3-3-53 - Sasser + catchpole

*Made an Inspection
Friday 19-5-52
Dick + Ruth*



Electrical Contractor Glenview Elec Co Address Glenview Ill.

Wiring Permit No. 5287 Issued 10-24-52 Fixture Permit No. 5287 Issued 10-24-52

Size of main wire 24-1-6 Size of branch wire 12-1-4 System Conduit

No. of Openings 88 No. Sockets _____ No. Circuits 13 No. Motors _____ No. Ranges 1-Range

Certificate of Inspection issued 78 Distances 19. No. 1-Dryer

Inspector H. Saich 10-24-52 5128 W. Augusta

✓ Plumbing Contractor Regan Plumbing & Heating Address 1127 Ridgely Chicago

no 956 Water Tap No. 1907 Sewer Tap No. 4234 Job Order No. 6179 Issued 12-5-50 Paid 6-9-52

No. Catch Basins 1 No. Lavatories 17 No. Toilets 2

No. Baths 1 No. Sinks 1 No. Laundry Tubs 1 Tray

No. Shower Baths 10T No. Stacks 1-4-1-4" Other Items 1-2 Drain

Certificate of Inspection issued 10-21-52 Saich

Downspouts connected to _____ 19. No. _____

Kind of heat Hot Gas Heat Name of Burner _____

Tank and Burner Inspection _____

✓ Driveway Permit No. 1164 Date 3-24-1953 Contractor Alex Rossi

Type Conc. Bond 281 - J.O. 6551

Date October 24 19 56

Building Permit No. 9324

Inspected by Date
For certificate of occupancy

Location of Building - No. 1127 Street Ridgewood Drive

Name of Owner Jack Kapes

Present Address same as above Phone

Type of Construction conversion of carport to bedroom and court wall brick &

Architect Gordon Krupp Address Phone Frame

General Contractor Owner Address Phone

Permit issued to Owner to construct a see above

building on Lot Blk. Sub'n.

Builder's estimate \$1,500.00 Permit fee \$6.00 Job Order No. Amt. \$

Location of building on Lot verified 19..... by

Sanitary provisions approved by

Other Inspections

.....
.....
.....
.....

Electrical Contractor Address
 Wiring Permit No. Issued No. Fixtures
 Floor Area..... No. 15 Amp. Circuits required No. 20 Amp. Circuits required
 Size of main wire Size of branch wire System
 No. of Openings No. Sockets No. Circuits No. Motors No. Ranges
 Other Appliances
 Inspected by Date
 Plumbing Contractor Address
 Water Tap No. Sewer Tap No. Job Order No. Issued Paid
 Work Order No. Storm Tap No.
 No. Catch Basins No. Lavatories No. Toilets
 No. Baths No. Sinks No. Laundry Tubs
 No. Shower Baths No. Stacks Other Items
 Inspections
 Downspouts connected to 19..... No.
 Kind of heat Name of Burner
 Tank and Burner Inspection
 Driveway Permit No. Date 19..... Contractor
 Type

DATE PERMIT ISSUED

December 4, 1962

BUILDING ADDRESS

1127 Ridgewood Drive

BUILDING PERMIT NUMBER

12089

BUILDING ON

OF LOT

BLOCK

SUBDIVISION

NAME OF OWNER

Jack Kapes

ADDRESS

Same

PHONE NUMBER

ID 2-1129

ARCHITECT

ADDRESS

PHONE NUMBER

GENERAL CONTRACTOR

Owner

ADDRESS

PHONE NUMBER

PERMIT ISSUED TO

Owner

ADDRESS

PHONE NUMBER

TYPE OF CONSTRUCTION

4BL3
SFD Alteration-Window

SQUARE FEET

CUBIC FEET

LOT AREA

BUILDER'S ESTIMATE

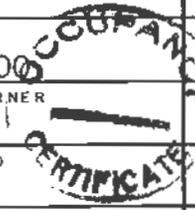
\$

BUILDING DEPT. EST.

\$ 500.00

PERMIT FEE

\$ 5.00



BUILDING DEPOSIT

GUARANTEE DEPOSIT NUMBER

TYPE OF HEAT

PERMIT NUMBER

MAKE OF BURNER

DATE INSTALLED

LOCATION

DRIVEWAY PERMIT NO.

DEPOSIT NUMBER

DATE ISSUED

CONTRACTOR

SITE INSPECTION

12/5/62

BY

FOOTING AND FOUNDATIONS

BY

FRAMING

1/14/63

BY

ROOFING

BY

HEATING

BY

DRIVEWAY

BY

PLUMBING CONTRACTOR		ADDRESS			PHONE NUMBER	
WATER TAP NO.	GUARANTEE DEPOSIT NO.	FEE	DATE ISSUED	SEWER TAP NO.	STORM TAP NO.	
NO. LAVATORIES	NO. LAUNDRY TUBS	NO. TOILETS	NO. BATHS	NO. SINKS	NO. SHOWERS	NO. STACKS
OTHERS		DOWNSPOUTS CONNECT TO			DATE COMPLETED	
ELECTRICAL CONTRACTOR		ADDRESS			PHONE NUMBER	
ELEC. PERMIT NO.	DATE ISSUED	NO. FIXTURES	FLOOR AREA	SIZE OF MAIN WIRE	SIZE OF BRANCH WIRE	
SYSTEM	NO. 15 AMP CIRCUITS	NO. 20 AMP CIRCUITS		NO. OPENINGS	NO. SOCKETS	
NO. CIRCUITS	NO. MOTORS	NO. RANGES		OTHERS		
DRAINAGE				BY		
PLUMBING				BY		
ELECTRICAL				BY		
FIRE REGULATIONS				BY		
FINAL INSPECTION				BY		
PLOTTED SURVEY SUBMITTED				CERTIFICATE OF OCCUPANCY ISSUED		
				1/15/69 <i>E. J. [Signature]</i>		

CITY OF HIGHLAND PARK, ILLINOIS
BUILDING DEPARTMENT

BUILDING PERMIT FILE CARD



Property Tax Assessment Information by PIN



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Property Address

Pin: 16-26-404-010
 Street Address: 1127 RIDGEWOOD DR
 City: HIGHLAND PARK
 Zip Code: 60035
 Land Amount: \$81,502
 Building Amount: \$65,113
 Total Amount: \$146,615
 Township: Moraine
 Assessment Date: 2015

Property Characteristics

Neighborhood Number: 1826050
 Neighborhood Name: Ravinia Highlands
 Property Class: 104
 Class Description: Residential Improved
 Total Land Square Footage: 27906
 House Type Code: 43
 Structure Type / Stories: 1.0
 Exterior Cover: Wood siding
 Multiple Buildings (Y/N): N
 Year Built / Effective Age: 1953 / 1953
 Condition: Fair
 Quality Grade: Good
 Above Ground Living Area (Square Feet): 2490
 Lower Level Area (Square Feet):
 Finished Lower Level (Square Feet):
 Basement Area (Square Feet): 0
 Finished Basement Area (Square Feet): 0
 Number of Full Bathrooms: 2
 Number of Half Bathrooms: 0
 Fireplaces: 1
 Garage Attached / Detached / Carport: 0 / 0 / 0
 Garage Attached / Detached / Carport Area: 0 / 0 / 0
 Deck / Patios: 0 / 0
 Deck / Patios Area: 0 / 0
 Porches Open / Enclosed: 1 / 0
 Porches Open / Enclosed Area: 120 / 0
 Pool: 0



[Click here for a Glossary of these terms.](#)



Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
12/4/2007	\$520,000	Qualified	

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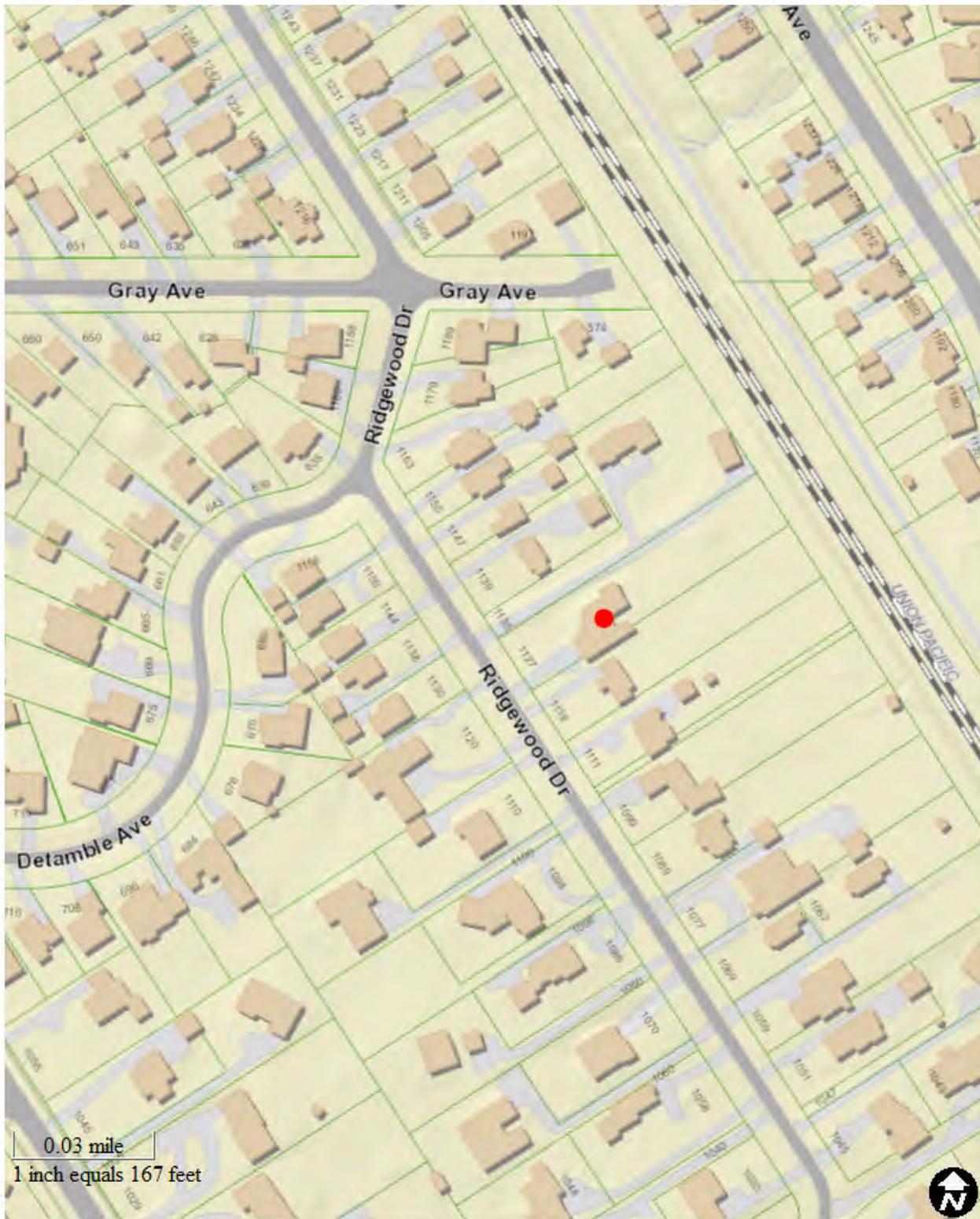
Jack Kapes

Jack Kapes of Highland Park died Jan. 21 at Highland Park Hospital.

Mr. Kapes, a commercial artist for over 40 years and owner of Jack Kapes Associates of Chicago, was born in Chicago.

Survivors include his wife, Ruth; three sons, Roger Kapes of Albuquerque, N.M., Russell Kapes of Naples, Fla., and Gordon Kapes of Chicago; and three sisters, Belle Levin, Frances Evensen and Lillian Stotten.

Services were private. Memorials may be made to the Chicago Botanic Garden, Glencoe, Ill.



Map created on January 8, 2016.

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CUBIC FEET

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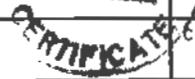
DATE INSTALLED

LOCATION

DRIVEWAY PERMIT NO.

DEPOSIT NUMBER

DATE ISSUED



CONTRACTOR

SITE INSPECTION

12/5/62

BY

[Signature]

FOOTING AND FOUNDATIONS

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FRAMING

1/14/63

BY

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ROOFING

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HEATING

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DRIVEWAY

BY

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PLUMBING				BY		
ELECTRICAL				BY		
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FINAL INSPECTION				BY		
PLOTTED SURVEY SUBMITTED				CERTIFICATE OF OCCUPANCY ISSUED		
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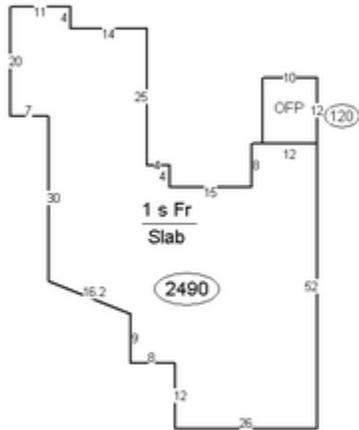
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 Deck / Patios Area: 0 / 0
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