

PUBLIC NOTICE

In accordance with the statutes of the State of Illinois and the ordinances of the City of Highland Park, a Regular Meeting of the *Historic Preservation Commission* of the City of Highland Park is scheduled to be held at the hour of 7:30 p.m., Thursday, August 13, 2015, at Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which meeting there will be a discussion of the following:

City of Highland Park  
Historic Preservation Commission  
**Thursday, August 13, 2015**  
1707 St. Johns Avenue, City Hall  
**7:30 p.m.**

**REGULAR MEETING AGENDA**

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Minutes**
  - A. July 9, 2015
- IV. **Scheduled Business**
  - A. **Determination of Significance**
    - 500 Clavey Court
  - B. **Certificate of Appropriateness**
    - 545 Green Bay Road – Exterior Improvement
    - 326 Central Avenue - Application withdrawal & discussion
- V. **Discussion Items**
  - Yard Signs for Historic Preservation Month
  - 2016 Work Plan
  - HPC Participation in the Historic Ravinia Event
- VI. **Business From the Public**
- VII. **Other Business**
  - A. Next meeting scheduled for September 10, 2015
- VIII. **Adjournment**

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35

**MINUTES OF A REGULAR MEETING OF  
HISTORIC PRESERVATION COMMISSION  
OF THE CITY OF HIGHLAND PARK, ILLINOIS**

6 **MEETING DATE:** Thursday, July 9, 2015

8 **MEETING LOCATION:** Pre-Session Conference Room, City Hall, 1707 St. Johns Avenue, Highland Park, IL

10 **CALL TO ORDER**

11 At 7:33 p.m., Chairwoman Thomas called the meeting to order & asked Staff to call the roll.

13 **ROLL CALL**

14 Commissioners Present: Chairwoman Thomas, Commissioners Reinstein, Temkin, Becker, Fradin

16 Commissioners Absent: Curran, Bramson

18 Ex-Officio Members Present: Benjamin, Axelrod

20 Park District Liaison Present: Mike Evans

22 Councilman Absent: Blumberg

24 Student Council Absent: Bartell

26 Staff declared that a quorum was present.

28 Staff Present: Sloan, Cross

30 Also Present: Cerabona

32 Commissioner Becker arrived at 7:34 p.m.

34 **APPROVAL OF MINUTES**

- 36 1. Commissioner Temkin moved to approve the June 11, 2015, regular meeting minutes. Commissioner Reinstein  
37 seconded the motion.

39 On a roll call vote

40 Voting Yea: Chairwoman Thomas, Commissioners Reinstein, Temkin, Becker, Fradin

41 Voting Nay: None

43 Chairwoman Thomas declared that the motion passed unanimously.

45 Park District Liaison Mike Evans arrived at 7:39 p.m.

47 **SCHEDULED BUSINESS**

49 There is no Scheduled Business this evening.

51 Planner Cross advised there's an ongoing conversation with the Petitioner from the Subdivision at 326 Central. This  
52 petition will be on the August agenda – as a formal withdrawal. Planner Cross explained same.

54 Chairwoman Thomas asked why there is a question as to why a section of the Code is inapplicable. Planning  
55 Division Manager Sloan explained Corporation Counsel's position, interpretation, and contradiction (Chapter 24

1 was referenced). She noted the Code's 3 criteria points for an alteration:

- 2 • requires a building permit
- 3 • does not require a building permit
- 4 • alteration to landscaping

5  
6 Discussion and rationale took place on Corporation Counsel's position.

7  
8 Commissioner Temkin referred to Anthony Rubano, of the Illinois Historic Preservation Agency/IHPA, and shared  
9 his comments/read his explanation on this subject. Planning Division Manager Sloan noted the expedited review  
10 process.

11  
12 Some Commissioners stated this is unacceptable. Discussion took place as to next steps. Planner Cross stated the  
13 HPC could provide suggestions to Petitioner (so that something could be built). Interpretation and violation of  
14 standards were discussed. Planning Division Manager Sloan explained the appeal process (for the COA).

15  
16 It was stated that Corporation Counsel should identify the Ordinance that explains its interpretation. Based on this  
17 reverse decision, consensus is that the courtesy of an explanation to the HPC should occur. Chairwoman Thomas  
18 stated it is a concern when this is the second property in which this happened. It was stated the explanation is  
19 deemed public information.

20  
21 Planning Division Manager Sloan read the Department Director's comments that were submitted to the property  
22 owners of the Subdivision at 326 Central.

23  
24 Member Benjamin uncovered the possibility of diminishing values. Commissioner Reinstein concurred and  
25 referenced density.

26  
27 Chairwoman Thomas questioned why a subdivision isn't an alteration. Discussion took place as to whether the  
28 garage is historic. Planning Division Manager Sloan noted there must be a principal structure to have an accessory  
29 structure. Interpretations of subdividing land (and orientation) were discussed. The question was asked as to how  
30 large a structure could be built. Member Benjamin asked and Planning Division Manager Sloan confirmed there is  
31 only one way the land could be subdivided.

32  
33 Planner Cross suggested a letter (written by the Chair) be drafted by the HPC and submitted to City Council.

34  
35 Commissioner Fradin moved to formally request a letter of explanation to the HPC from Corporation Counsel, and  
36 an opportunity for the HPC to act on the pending COA application, as to why Subdivision of the property at 326  
37 Central does not require a COA prior to City Council taking any action and before the Plan Commission or its Chair  
38 takes action. Commissioner Temkin seconded the motion.

39  
40 On a roll call vote

41 Voting Yea: Chairwoman Thomas, Commissioners Reinstein, Temkin, Becker, Fradin

42 Voting Nay: None

43  
44 Chairwoman Thomas declared that the motion passed unanimously.

45  
46 Commissioner Fradin stated the Director should not have written the Petitioner to not come before the HPC.  
47 Member Benjamin noted deliberating is a consequent step.

48  
49 **DISCUSSION ITEMS**

50  
51 1. 2016 Commission Work Plan

52  
53 Planner Cross explained objectives and operating expenses that comprise the 2016 HPC budget.

1 Planner Cross asked for recommendations from Commissioners/Members:

- 2 • Member Benjamin suggested engaging the community and offering proactive progressive events.
- 3 • Chairwoman Thomas believes a bigger commitment from City Council & the Chamber of Commerce
- 4 is needed to promote HPC and its branding. She noted a foundation (like Lake Forest) is not in place.
- 5 • Commissioner Reinstein suggested:
  - 6 ○ education of buildings in Highland Park (which may or may not be landmarks) i.e. *Home of*
  - 7 *the Month* that would be promoted in the media
  - 8 ○ a beautiful hardcover coffee-table book (for sale) with photography perhaps donated by
  - 9 students
- 10 • Commissioner Temkin shared what other communities do:
  - 11 ○ a newsletter (quarterly, etc.). Planning Division Manager Sloan suggested giving the City a
  - 12 project regarding the new Highland Park brand (internal & external marketing) which is
  - 13 *Living with Heart, Leading with Passion*
  - 14 ○ host an event for realtors/developers (*People Don't Embrace What They Don't Understand*).
  - 15 Commissioner Reinstein suggested tying this in with an existing Highland Park event (Taste,
  - 16 Art Festival, etc.). Commissioner Temkin suggested co-sponsoring tours.

17  
18 Commissioner Temkin suggested historic tourism should be a part of BEDSE. A Matching Grant  
19 Program was discussed.

- 20  
21 • Member Axelrod asked how you capture a resident's passion for Highland Park. The survey topic  
22 (who is surveyed, the value of surveys) was discussed. Member Benjamin reminded it's a baseline.

23  
24 Member Axelrod departed at 9:05 p.m.

- 25  
26 • Commissioner Reinstein suggested enumerating these ideas and establishing budgets for each.
- 27 • Commissioner Temkin recommended the HPC dovetail on an October Historic Ravinia
- 28 program/event (that she is working on) to promote HPC awareness. She noted this could tie in with
- 29 Historic Preservation Month. It was recommended that HPC be a co-sponsor. Commissioner Becker
- 30 suggested the HPC absorb the entrance fee. Adding a trolley was recommended. Member Benjamin
- 31 suggested printing banners; Planning Division Manager Sloan recommended tying this in with
- 32 Highland Park's new brand.
- 33 • Member Benjamin suggested:
  - 34 ○ signage in front of landmark properties. Planner Cross concurred and will design a sign
  - 35 template.
  - 36 ○ giving projects to high school students.

37  
38 2. 105 S. Deere Park Drive – Property Maintenance Concerns

39  
40 Planner Cross advised the above is in bankruptcy/foreclosure.

41  
42 3. 2015 State Conference Summary &

43 4. Handouts & Educational Initiatives

44  
45 The above two discussion items were referenced during this evening's dialogue.

46  
47 **BUSINESS FROM THE PUBLIC**

48 There was no business from the public.

49  
50 **OTHER BUSINESS**

- 51  
52 1. Next meeting is scheduled for August 13, 2015

1 **ADJOURNMENT**

2

3 Commissioner Fradin moved to adjourn at 9:24 p.m. Commissioner Reinstein seconded the motion.

4

5 On a roll call vote

6 Voting Yea: Chairwoman Thomas, Commissioners Reinstein, Temkin, Becker, Fradin

7 Voting Nay: None

8

9 Chairwoman Thomas declared that the motion passed unanimously.

10

11

12 Respectfully Submitted,

13

14

15

16 Gale Cerabona

17 Minute Taker

18

19

20 MINUTES OF JUNE 11, 2015, WERE APPROVED WITHOUT CORRECTIONS

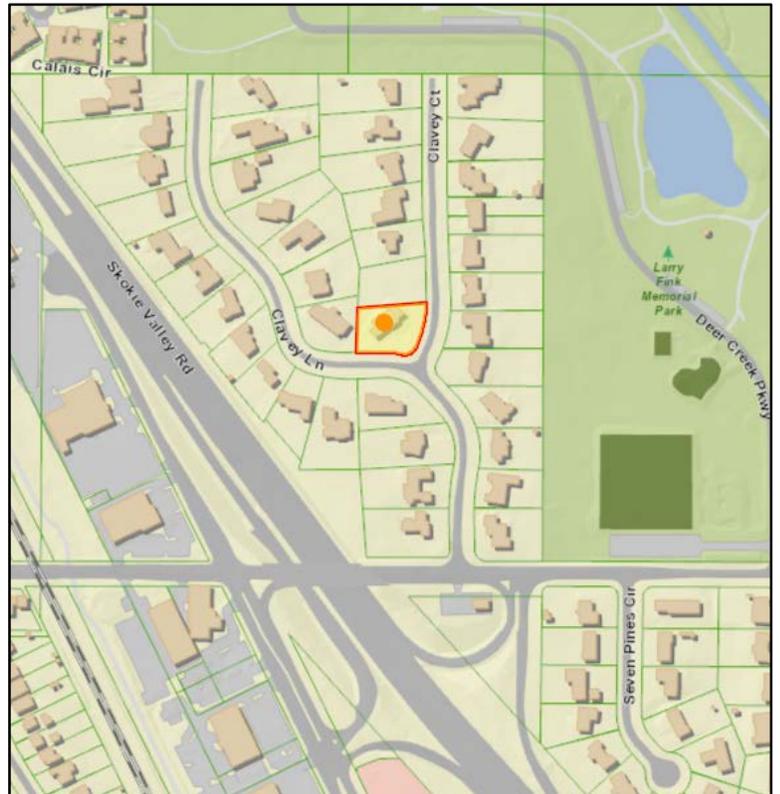
DRAFT

# Historic Preservation Commission

## 500 Clavey Court Demolition Review

To: Historic Preservation Commission  
From: Andy Cross, Planner II  
Date: 8/13/2015

<i>Year Built:</i>	1941
<i>Style:</i>	Ranch
<i>Petitioner:</i>	Northshore Development 3, LLC
<i>Size:</i>	3,000 square feet
<i>Original Owner:</i>	C. Paul Herman
<i>Architect:</i>	A.H. Bacci, Chicago
<i>Original Cost:</i>	\$16,000
<i>Significant Features:</i>	None noted
<i>Alterations:</i>	<ul style="list-style-type: none"><li>• Kitchen addition (1963)</li></ul>
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 500 Clavey Court and how it may satisfy any of the landmark criteria listed below.



A demolition application has been submitted for the house at 500 Clavey Court. The property is not located within a Highland Park survey area and no determination of significance has been made.

The single-story Ranch house was built in 1941 by C. Paul Herman, an auditor for a merchandise company. It's about 3,000 square feet, including a 1963 kitchen addition. There no records of major improvements other than the addition.



# Historic Preservation Commission

The original architect is noted as A.H. Bacci from Chicago. He is listed in the AIA architect directories for 1956, 1962, and 1970, which trace his career from associate to partner at the Chicago firm of Schmidt, Garden, and Erikson. He worked on many notable commercial buildings in the area and was designated a Fellow in the AIA in 1967. The AIA directory notes he passed away in 1988. His name does not appear in any of the historical resource surveys for Highland Park and no other examples of his work have been identified in town.

## **Biographical Information**

Ex-Officio member Julia Johnas provided biographical research on C. Paul Herman, the original owner of the house. Christlieb Paul Herman was born in 1892 in Waterloo, Iowa. The 1940 Federal Census lists him as an auditor for a merchandise company, but doesn't indicate which one. The owner of the house on Clavey Court in 1951 is shown as Michael R. Shepard, suggesting that Mr. Herman had left the house by then. A 1951 news article indicates Mr. Shepard was the victim of a burglary at 500 Clavey where thieves got away with \$10,000 worth of goods.

## **Landmark Criteria**

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial

# Historic Preservation Commission

structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.

- 9) It possesses or exhibits significant historical and/or archaeological qualities.

## **Recommended Action**

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

## **Attachments**

Location Map

Site Photos

County Assessor Data

# 500 CLAVEY COURT, HIGHLAND PARK



# 500 CLAVEY COURT, HIGHLAND PARK



**REAR/NORTH  
ELEVATION**



**EAST SIDE ELEVATION**

# 500 CLAVEY COURT, HIGHLAND PARK



WEST SIDE ELEVATION



Calais Cir

Clavey Ct

Skokie Valley Rd

Clavey Ln

Larry Fink Memorial Park

Deer Creek Pkwy

Congregational Solel

Seven Pines Cir

Lakspur Dr

Date AUGUST 27 1934 2186 Building Permit No. 4428

Location of Building—No. 1460 Street CLAVEY LANE Court

Name of Owner C. PAUL HERMAN OFFICE PHONE - KEDZIE 2500, EXTEN 2143

Present Address 725-17<sup>th</sup> ST. WILMETTE, ILL Phone WL. 1865

Type of Construction FRA<sup>1</sup>, R<sup>6</sup>, AG<sup>2</sup>, WA, OIL, Wd. Sh. Remodeling CHICAGO, ILL.

General Contractor R. ALEXANDER & Co. Address 4256 No. KIMBLE Phone JUN 3947

Permit issued to OWNER to construct a SINGLE FAMILY DWELLING

building on Lot 19 Blk. Sub'n CLAVEY'S

Builder's estimate \$ 16,000 Permit fee \$ 54.33

Location on Lot verified AUG 29 1934 by S.D.M. EXCAVATION

Other inspections 10/14/41 FRAMING, 11/17/41 PLASTERING 2<sup>nd</sup> COAT NO MASONRY WALL BETWEEN HOUSE

Deposits J.O. # 3138<sup>3</sup> 50 BY ALEXANDER Sidewalks planked FURRED WALL FOR ANOTHER PLASTERED WALL FORMING A 8" WALL

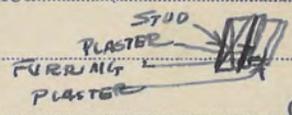
Remarks Trimming & Hanging Doors 12/15/41

Job completed 1/22/42 Receipt for returned plans OWNER

ARCHT. - A.H. BACCI, 534 ROSCOE ST., CHGO, ILL. PHONE - L.V. 7780



Handwritten notes on the left margin: '11/14/41 FRAMING', '11/17/41 PLASTERING', 'NO MASONRY WALL BETWEEN HOUSE', 'FURRED WALL FOR ANOTHER PLASTERED WALL FORMING A 8" WALL', 'TRIMMING & HANGING DOORS 12/15/41', 'JOB COMPLETED 1/22/42', 'RECEIPT FOR RETURNED PLANS OWNER', 'ARCHT. - A.H. BACCI, 534 ROSCOE ST., CHGO, ILL. PHONE - L.V. 7780'



7/22/55 Elec. Permit # 6262 <sup>Controlled</sup> <sup>2424 Dempster, Evanston</sup> <sup>PHONE → UNIV. 5692</sup>  
Motors - Air Conditioning

Electrical Contractor SHORE LINE ELECT. CO. Address 245 DODGE AVE. EVANSTON ILL

Wiring Permit No. 3382 Issued 8/27/41 Fixture Permit No. 3382 Issued 8/27/41

1st Inspection OK. 193 by RWA - 11/14/41 POSTED CARD

2nd Inspection 193 by

Size of main wire # 6 Size of branch wire # 14 System

No. of Openings 59 No. Sockets No. Circuits 6 No. Motors No. Ranges OK

Certificate of Inspection Issued 193 No.

Date of Public Service Tap 12/18/41 Remarks

Plumbing Contractor ARTHUR H. SWANSON Address 386 CENTRAL AVE. H.P.

Water Tap No. 3683 Sewer Tap No. STORM - 249 Job Order No. 3141 Issued 9/2/41 Paid # 40 + 30

Inspected 10/16/41 193 by RWA. UNDERGROUND IS OK - RWA

Inspected 193 by

No. Catch Basins 1 No. Lavatories 2 No. Toilets 2

No. Baths 2 No. Sinks 1 No. Laundry Tubs 1

No. Shower Baths 2 OVER No. Stacks 2 Other Items 1 FLOOR DRAIN.

Certificate of Inspection Issued 193 No.

Downspouts connected to STORM SEWER

Kind of Heat W.A. - OIL Name of Burner SEARS ROEBUCK HERCULES 1000 GAL TANK

Tank Inspection P. Martin TANK & BURNER PERMIT # 1145

INSTALLED BY SEARS ROEBUCK SERVICE DEPT., LAGRANGE, ILL  
H.P. FUEL SUPPLY TANK

Sheeting over furnace

DATE PERMIT ISSUED  
May 29, 1963

BUILDING ADDRESS  
500 Clavey Court

BUILDING PERMIT NUMBER  
12329

BUILDING ON

OF LOT

BLOCK

SUBDIVISION

NAME OF OWNER

Edwin Foreman, Jr.

ADDRESS

Same

PHONE NUMBER

ID 2-1146

ARCHITECT

Helen F. Tyler

ADDRESS

PHONE NUMBER

GENERAL CONTRACTOR

Rizzolo Brothers

ADDRESS

653 Broadview, H.P.

PHONE NUMBER

ID 2-2944

PERMIT ISSUED TO

Same

ADDRESS

PHONE NUMBER

TYPE OF CONSTRUCTION

4BL3

SFD-Addition-Alteration-Kitchen

SQUARE FEET

CUBIC FEET

LOT AREA

BUILDER'S ESTIMATE

\$ 14,509.00

BUILDING DEPT. EST.

\$ 15,000.00

PERMIT FEE

\$ 51.00

BUILDING DEPOSIT

\$

GUARANTEE DEPOSIT NUMBER

TYPE OF HEAT

PERMIT NUMBER

MAKE OF BURNER

DATE INSTALLED

LOCATION

DRIVEWAY PERMIT NO.

DEPOSIT NUMBER

DATE ISSUED

CONTRACTOR

SITE INSPECTION

5/31/63 WR

BY

FOOTING AND FOUNDATIONS

Inspection not called for

BY

FRAMING

6/26/63 WR

BY

ROOFING

6/26/63 WR

BY

HEATING

none

BY

DRIVEWAY

none

BY

PLUMBING CONTRACTOR		ADDRESS				PHONE NUMBER
WATER TAP NO.	GUARANTEE DEPOSIT NO.	FEE	DATE ISSUED	SEWER TAP NO.	STORM TAP NO.	
NO. LAVATORIES	NO. LAUNDRY TUBS	NO. TOILETS	NO. BATHS	NO. SINKS	NO. SHOWERS	NO. STACKS
OTHERS		DOWNSPOUTS CONNECT TO			DATE COMPLETED	
ELECTRICAL CONTRACTOR		ADDRESS				PHONE NUMBER
<i>Rotary Electric Co. Inc.</i>		<i>3218 Lakota Hwy, H.P.</i>				<i>ID 2-1255</i>
ELEC. PERMIT NO.	DATE ISSUED	NO. FIXTURES	FLOOR AREA	SIZE OF MAIN WIRE	SIZE OF BRANCH WIRE	
<i>10554</i>	<i>6/14/63</i>	<i>5</i>				
SYSTEM	NO. 15 AMP CIRCUITS	NO. 20 AMP CIRCUITS	NO. OPENINGS		NO. SOCKETS	
					<i>20</i>	
NO. CIRCUITS	NO. MOTORS	NO. RANGES	OTHERS			
DRAINAGE			BY			
<i>none</i>						
PLUMBING			BY			
<i>complete 6/26/63 WR</i>						
ELECTRICAL			BY <i>B</i>			
<i>Rough 6.26.63 Final 10/14/63</i>						
FIRE REGULATIONS			BY			
FINAL INSPECTION			BY			
<i>10/15/63 WR</i>						
PLOTTED SURVEY SUBMITTED			CERTIFICATE OF OCCUPANCY ISSUED			
<i>N.R.</i>			<i>10/10/63 E. Carter</i>			



CITY OF HIGHLAND PARK, ILLINOIS  
BUILDING DEPARTMENT

BUILDING PERMIT FILE CARD



## Lake County, Illinois

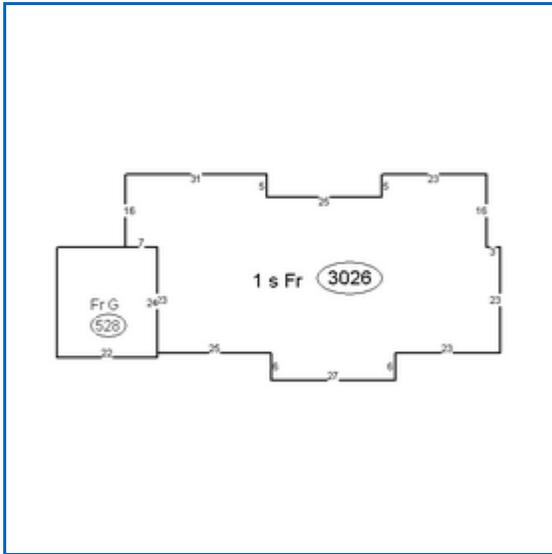
### Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-35-103-016	Neighborhood Number:	1835010
Street Address:	500 CLAVEY CT	Neighborhood Name:	Aspen-Clavey Lane
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$0	Total Land Square Footage:	21360
Building Amount:	\$0	House Type Code:	43
Total Amount:	\$0	Structure Type / Stories:	1.0
Township:	Moraine	Exterior Cover:	Wood siding
Assessment Date:	2014	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1942 / 1942
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	3026
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	756
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	3
		Number of Half Bathrooms:	0
		Fireplaces:	2
		Garage Attached / Detached / Carport:	1 / 0 / 0
		Garage Attached / Detached / Carport Area:	528 / 0 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

**Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.**



**Property Sales History**

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
No Previous Sales Information Found.			

**Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.**

**Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.**

---

<http://apps01.lakecountyil.gov/spassessor/comparables/ptaipin.aspx?Pin=1635103016>

# Application for a Certificate of Appropriateness

*545 Green Bay Road*

*The Mildred Goodstein House*

*Local Historic Landmark (1988)*

TO:	The Historic Preservation Commission
DATE:	August 13, 2015
FROM:	Andy Cross, Planner II
SUBJECT:	Modification to the Historic House

**PETITIONERS / OWNERS:**

Henry & E. Ellen Criz  
545 Green Bay Road  
Highland Park, IL

**PROPERTY LOCATION:**

545 Green Bay Road

**STRUCTURE**

Style: Post Prairie  
Built: 1938  
Original Architect: Henry Dubin

**HISTORIC STATUS:**

Local Landmark (1988)

**ARCHITECT/BUILDER:**

Jim Chambers  
FWC Architects, Highwood, IL

**BACKGROUND OF THE SUBJECT PROPERTY**

545 Green Bay Road is a Post Prairie style house designed by Highland Park architect Henry Dubin in 1938. The house was nominated for landmark status by Susan Benjamin in 1987 and designated in 1988. The nomination form notes the following:

“Henry Dubin (1892 – 1963), a nationally-known and published Highland Park architect, in this house combined features of the International Style with Prairie School characteristics to create a superbly designed “Post Prairie” house. Its flat roof and streamlined look show International Style influences. Its use of materials and horizontal massing is pure Prairie.”



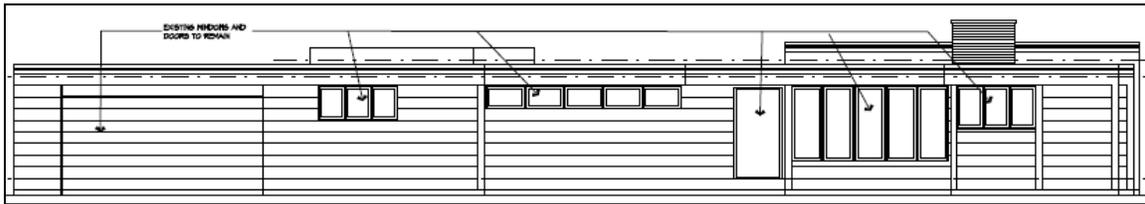
The house was nominated based on landmark standards 4, 5, and 6 in Chapter 24.

A Certificate of Appropriateness was issued for an addition on the house in 1997. The COA approved the “construction of a one-story rear addition containing a family room, bedroom, and bath.”

### **SUMMARY OF PROPOSAL**

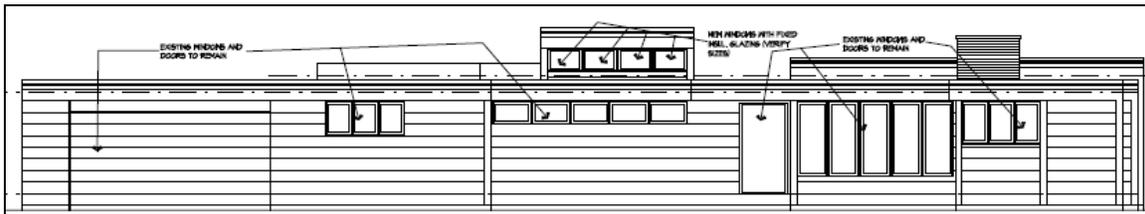
The 1997 addition enclosed an open area in the middle of the house. This is clearly visible on an aerial photograph of the house submitted by the applicants. The owners are proposing to enclose this open-air space with a roof and clerestory windows. The exterior impact of this change will be limited to four raised walls around the open area to accommodate the clerestory windows.

**Figure 1** below shows the existing front elevation of 545 Green Bay Road.



**Figure 1: Existing Front Elevation**

**Figure 2** shows the raised walls and windows proposed around the open atrium in the center of the house:



**Figure 2: Proposed front elevation**

The applicants have drafted a detailed project description that is included with this memo. Please refer to it and the full drawings for additional information.

### **Architect Henry Dubin**

Henry Dubin is strongly associated with examples of the International Style in Highland Park, most notably the “Battledeck” house at 441 Cedar that he designed for himself in 1930. That house was designated as a local landmark in 1985. A Dubin house at 2350 Maple is in a historic district, as are the Dubin & Dubin houses at 224, 229, and 239 Park Avenue.

The 2001 South Central Area historical survey provides a brief biographical write-up on Henry Dubin:

Henry Dubin (1892-1963) designed one of Highland Park’s most forward-looking and technically innovative International style residences in 1930 at 441 Cedar. A native Chicagoan, he received his architecture degree from the University of Illinois in 1915. He and his brother, George (1890-

1958), formed the firm Dubin and Dubin in 1932. His sons Arthur and Martin later joined the firm: Arthur in 1950 and Martin in 1952.

## **POLICY**

The house at 545 Green Bay Road is a Regulated Structure because of its status as a Local Landmark. Any Regulated Activity on the house, including repair of the structure, requires a Certificate of Appropriateness from the Historic Preservation Commission.

## **STANDARDS FOR CERTIFICATES OF APPROPRIATENESS**

The following are the Standards for Certificates of Appropriateness as listed in Section 24.030(D) of the City Code. These standards apply to modifications of all Regulated Structures within Historic Districts:

**(1) Height.** The height of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

**(2) Proportion of front facade.** The relationship of the width to the height of the front elevation of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

**(3) Proportion of openings.** The relationship of the width to height of windows and doors of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visually related.

**(4) Rhythm of solids to voids in front facades.** The relationship of solids to voids in the front facade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related. .

**(5) Rhythm of spacing and structures on streets.** The relationship of a Landmark, Regulated Structure, or a Contributing Regulated Structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

**(6) Rhythm of entrance porches, storefront recesses and other projections.** The relationship of entrances and other projections of the proposed new Structure to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

**(7) Relationship of materials and texture.** The relationship of the materials and texture of the façade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the predominant materials used in the structures to which it is visually.

*(8) Roof shapes. The roof shape of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the structures to which it is visually related.*

*The proposed modification will have an impact on the roofline of the house.*

**(9) Walls of continuity.** Facades and Property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places to which such elements are visually related.

**(10) Scale of a structure.** The size and mass of a Landmark, Regulated Structure, or a Contributing Regulated Structure in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which they are visually related.

**(11) Directional expression of front elevation.** A Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

**(12) Destruction or alteration of the historic features.** The distinguishing historic qualities or character of a Landmark Regulated Structure or Contributing Regulated Structure and its environment shall not be destroyed. The Alteration of any historic or material or distinctive architectural features should be avoided when possible.

**(13) Archaeological and natural resources.** Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

**(14) Architectural Compatibility.** In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

**(15) Use compatibility.** Every reasonable effort shall be made to provide a compatible use for a Regulated Structure or Contributing Regulated Structure that requires minimal alteration of the Regulated Structure or a Contributing Regulated Structure and its environment, or to use a Regulated Structure or Contributing Regulated Structure for its originally intended purpose.

**(16) Maintenance of Time Period Appearance.** All Regulated Structures or Contributing Regulated Structures shall be recognized as products of their own time and so alterations that have no historical basis and which seek to create an earlier appearance than is properly attributable to the particular Regulated Structure or Contributing Regulated Structure that is being altered shall be discouraged. However, contemporary design for Alterations and additions to Regulated Structures or Contributing Regulated Structures shall not be discouraged when such Alterations and additions do not destroy

significant historical, architectural, visual, aesthetic, archaeological or cultural material, and such design is compatible with the size, scale, color, material, and character of the Regulated Structure or Contributing Regulated Structure, neighborhood or environment.

**(17) Significance of changes made in the course of time.** Changes that may have taken place in the course of time are evidence of the history and development of Regulated Structure or Contributing Regulated Structure and their environments. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

**(18) Sensitivity to distinct features.** Distinctive stylistic features or examples of skilled craftsmanship or artistry, which characterize a Regulated Structure or Contributing Regulated Structure, shall be treated with sensitivity.

**(19) Repair to deteriorated features.** Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;

**(20) Surface cleaning.** The surface cleaning of the Regulated Structure or Contributing Regulated Structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or archaeologically significant materials used in such Landmark, Regulated Structure, or a Contributing Regulated Structure shall not be undertaken;

**(21)** Wherever possible, additions or Alterations to a Regulated Structure or Contributing Regulated Structure shall be done in such manner that if such additions or Alterations were to be removed in the future, the essential form and integrity of the Landmark, Regulated Structure, or Contributing Regulated Structure would not be impaired.

## **RECOMMENDATION**

Staff recommends that the Historic Preservation Commission discuss the proposed alteration to the Mildred Goodstein house and whether the standards listed above are satisfied. The Commission may approve the plans, or recommend changes to the plans to meet the standards listed above.

## **ATTACHMENTS**

- Project Narrative
- Plans
- Photographs of the house

## 545 Green Bay Rd.

### Historic Preservation Committee Review

We propose enclose the existing "atrium" of the home at 545 Green Bay Rd. This atrium was formed when the prior owners did a 2002 addition to a roughly "L" shaped house. By adding a bedroom and bathroom to the east and a family room to the north, a rectangular open-air space was created, enclosed on four sides by various rooms (see the Google Earth picture attached to this packet).

We feel strongly about carrying on the character of our wonderful home. Except for windows installed during the prior owners' modifications, the home's windows were redwood. They no longer had screens; storm windows could no longer be removed. Many windows were dry-rotted and deteriorating. In 2005 we replaced all old windows. Although we couldn't use redwood, we installed custom made wood windows that look exactly like the ones we removed. We saved what interior and exterior trim we could, but when we couldn't save enough for all the windows, we had trim milled to match exactly.

Our proposed modification will continue this dedication to maintaining the look and feel of this home. It will be virtually unnoticeable from any vantage point outside the home. We are simply enclosing an open-air space that exists within the outside walls. We do, however, currently enjoy interior natural light from the existing atrium, and would lose that natural light if we simply cover that space.

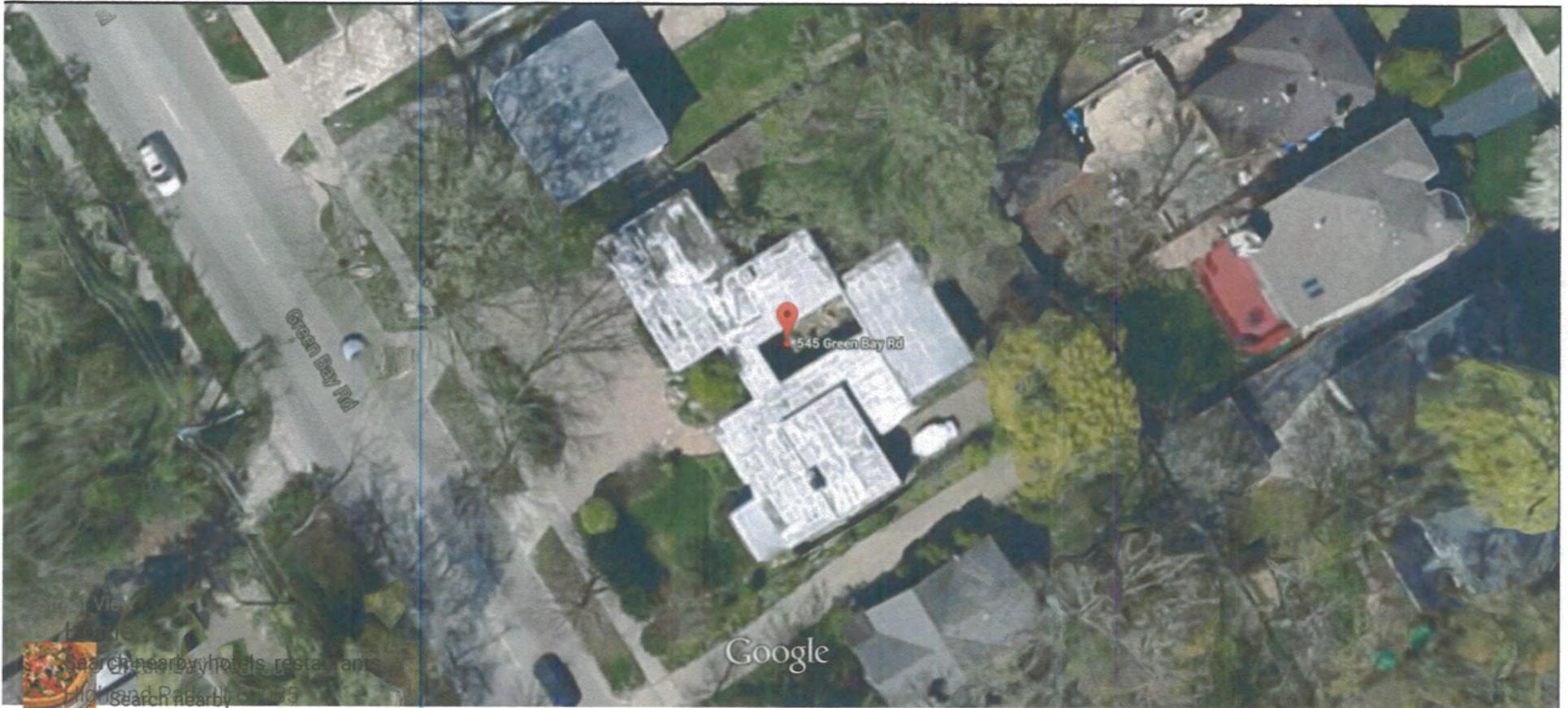
This is a flat roofed home with varying roof levels. The proposal extends a new flat roof above existing roof heights in order to install clerestory windows to replace that natural light within the home. These clerestory windows are exactly like the windows already located in many places in the home. In fact, we will remove a set of four windows currently facing the atrium and intend to them for one of the sets of planned clerestory windows. The other set of windows will be custom made to match existing windows. Once again, size, trim, and finish will match interior and exterior finishes of other windows in the home.

There will be a small amount of exterior finish – just short walls raised above the existing rooflines to accommodate the height of the clerestory windows. To finish this raised section appropriately, we will carefully remove the existing wood siding from the atrium (which matches the exterior walls visible on all sides of the house) and re-use it to finish new exterior on all four sides. If there is siding left over, we will save it for future use. Likewise, interior finish materials will match existing designs.

When we purchased the home in 2004, the sellers told us they had received recognition from the City of Highland Park for doing a good job of maintaining the appearance and "feeling" of the original construction. Like the prior owners, our goal is to have a completed project that appears to be part of the original 1938 structure.

Sincerely,

Henry and Ellen Criz



Street View  
Home  
Search nearby hotels restaurants  
Photo search nearby

Traffic Transit Bicycling  
Add a missing business

Imagery ©2015 Google, Map data ©2015 Google 20 ft

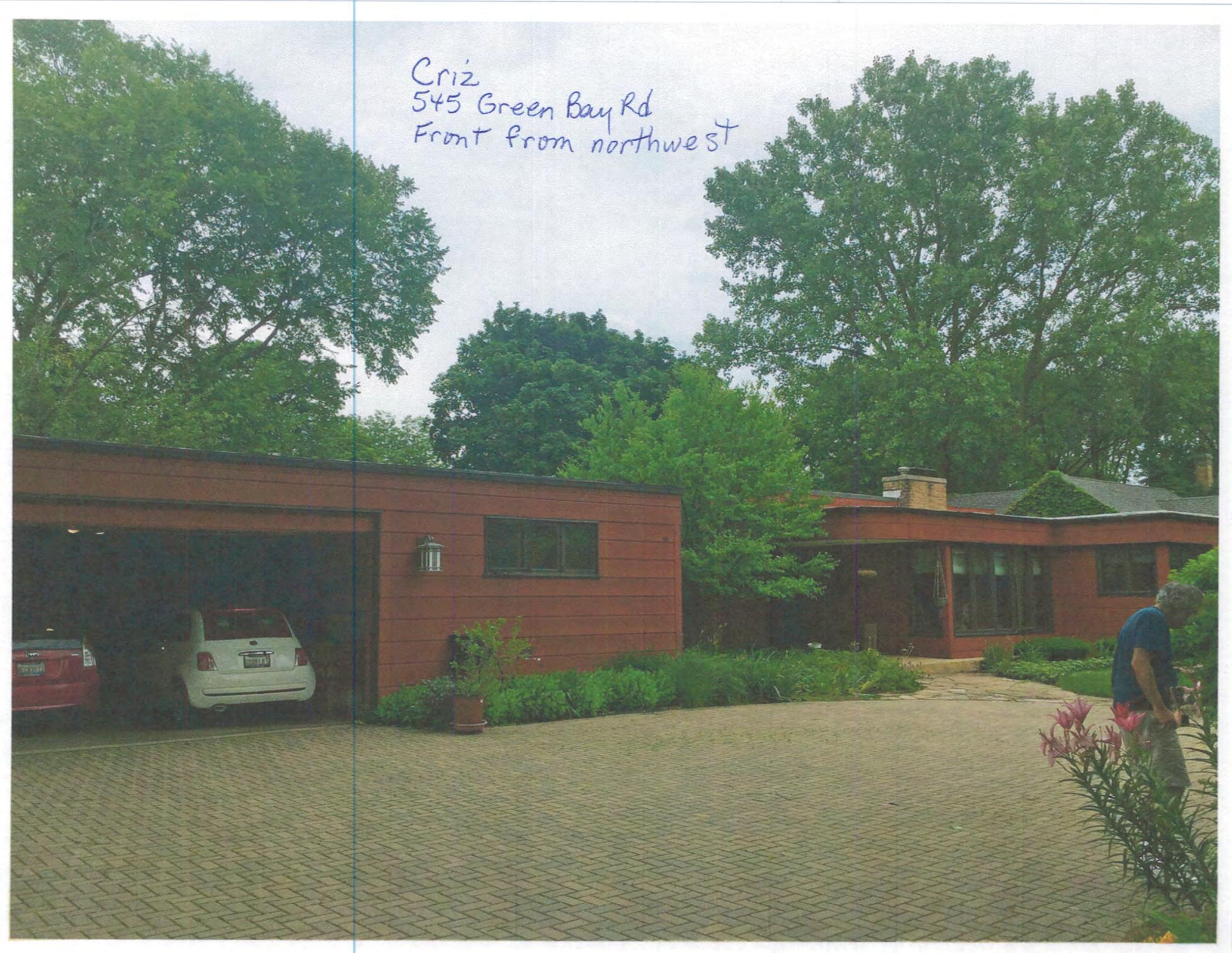
Criz  
545 Green Bay Rd  
front from southwest



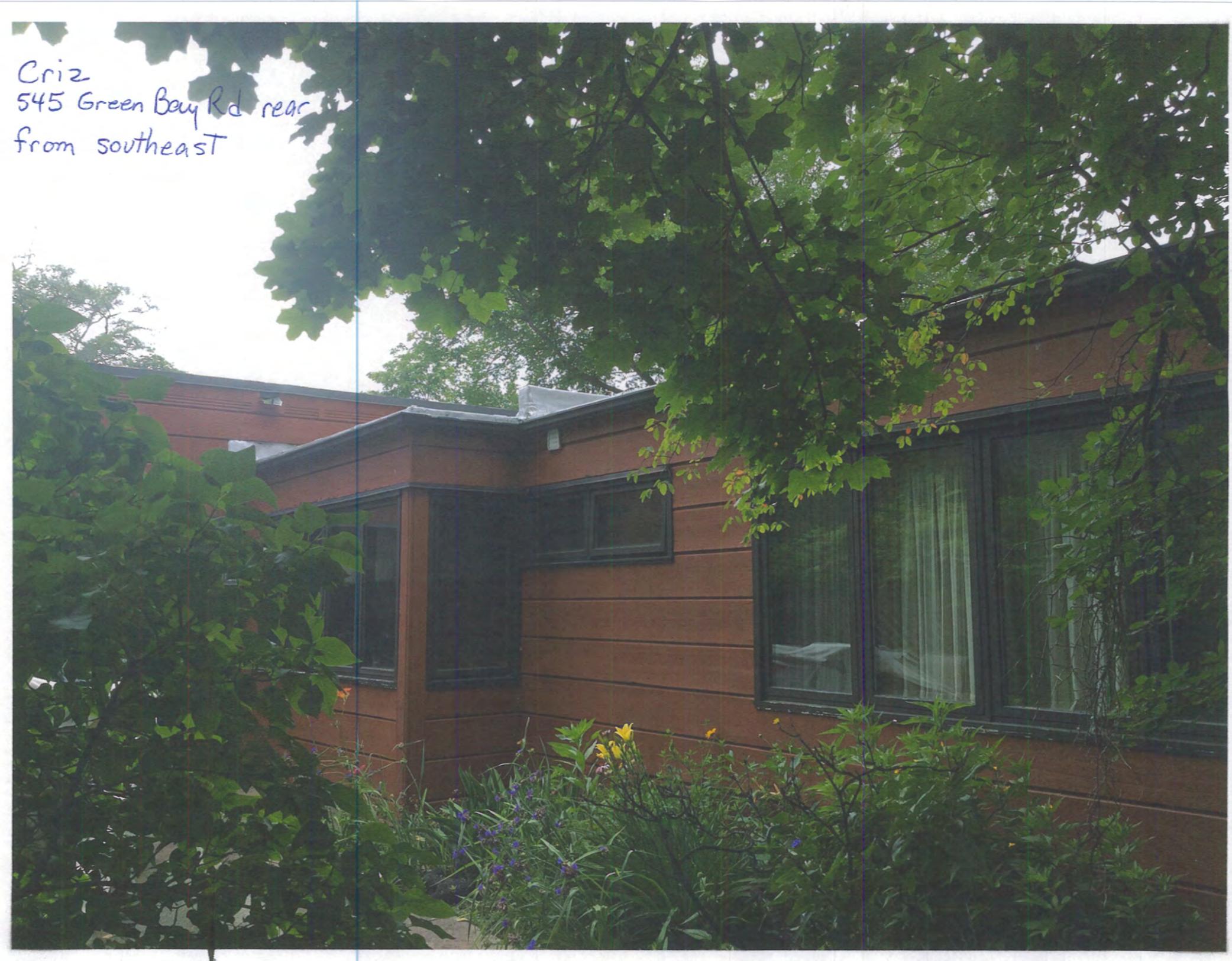
CR12  
545 Green Bay Rd  
Rear from  
northeast



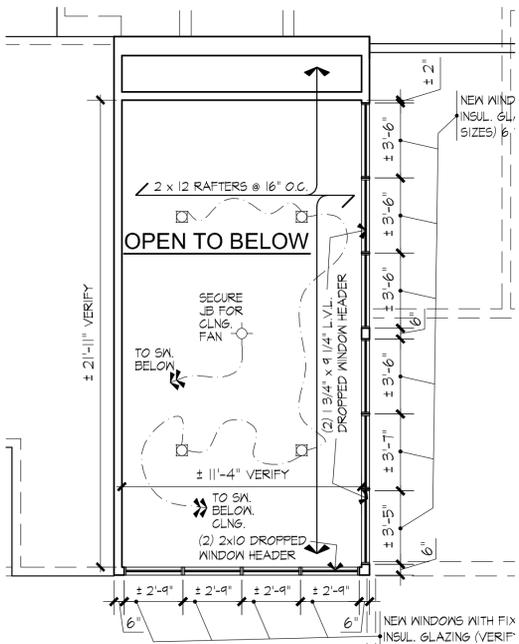
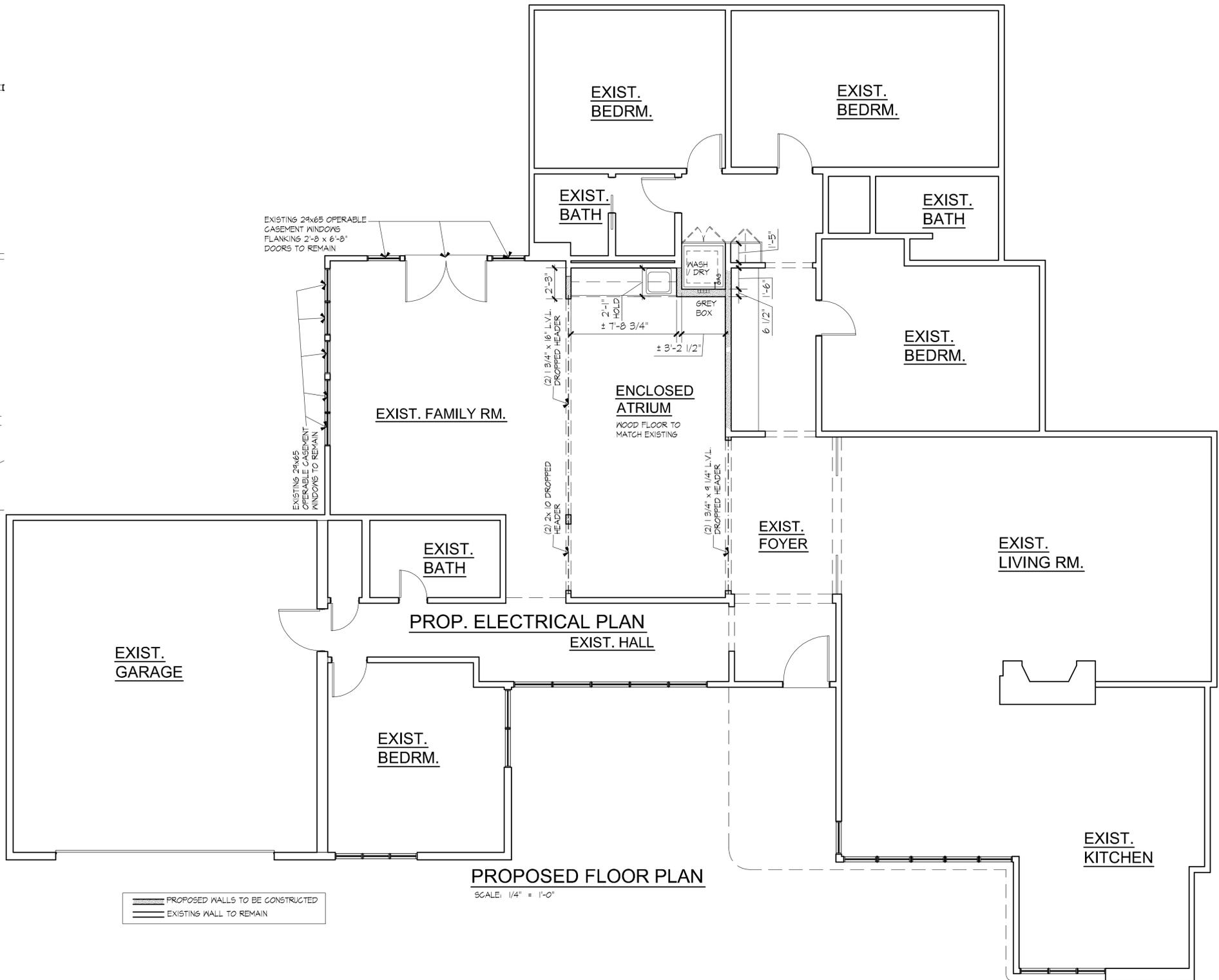
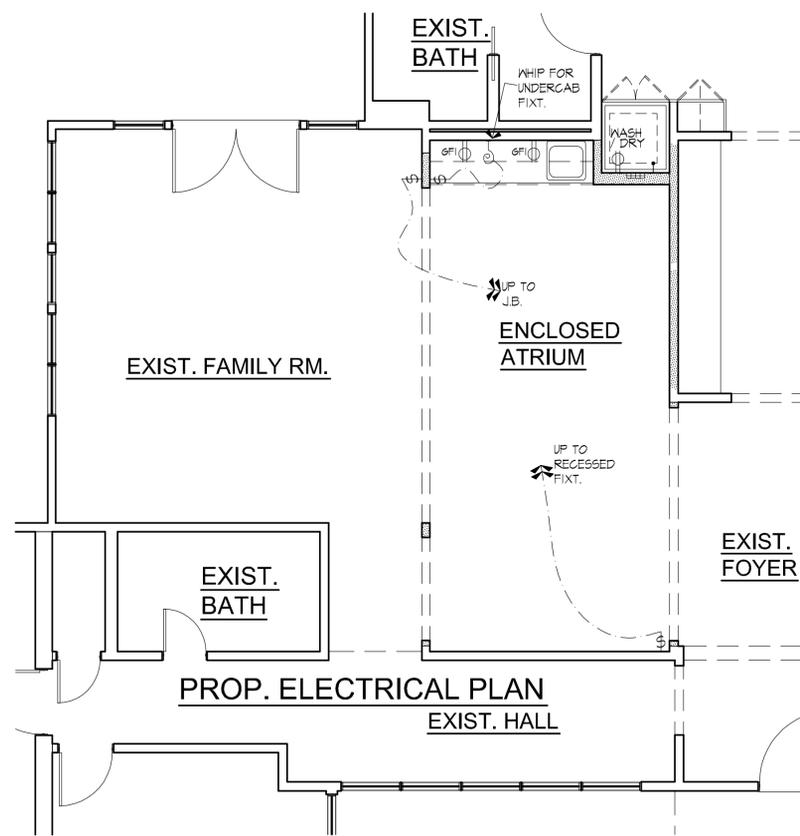
Criz  
545 Green Bay Rd  
Front from northwest



Criz  
545 Green Bay Rd rear  
from southeast







COPYRIGHT © 2008 FWC ARCHITECTS, INC. ALL RIGHTS RESERVED  
**FWC ARCHITECTS, INC.**  
 ILLINOIS DESIGN FIRM REG. # 184/00351  
 303 WAUKEGAN AVE.  
 HIGHWOOD, ILLINOIS 60040  
 TELEPHONE: (847) 579-5200  
 FAX: (847) 579-5203  
 ARTHUR M. COTTRELL

REVISIONS	CERTIFICATION
	THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER OUR PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF CONFORM TO THE LAWS AND ORDINANCES OF THE CITY OF: HIGHLAND PARK, IL
	<b>DO NOT SCALE DRAWINGS</b> CONTRACTOR SHALL VERIFY ALL PLAN AND EXISTING DIMENSIONS AND CONDITIONS ON JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECTS, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
	EXPIRES 11/30/2016
	Remodeling of: <b>The CRIZ RESIDENCE</b> 545 GREENBAY ROAD HIGHLAND PARK, IL SHIRAGO DESIGN & BUILD, LLC 1515 OAKWOOD LN HIGHLAND PARK, IL
	Date 5/1/2015 Drawn by AMC Checked by Comm. no. 1507 Sheet no. 2 of 3

**PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**DIVISION 1: GENERAL REQUIREMENTS**

ALL WORK SHALL COMPLY WITH ALL CODES AND AMENDMENTS ADOPTED BY THE CITY OF HIGHLAND PARK.

CITY OF HIGHLAND PARK ADOPTED CODES:  
 2009 INTERNATIONAL RESIDENTIAL CODE  
 2009 INTERNATIONAL MECHANICAL CODE  
 2012 INTERNATIONAL ENERGY CONSERVATION CODE  
 2014 ILLINOIS STATE PLUMBING CODE – PLUS HIGHLAND PARK AMENDMENTS  
 2005 NATIONAL ELECTRIC CODE – PLUS HIGHLAND PARK AMENDMENTS  
 2009 INTERNATIONAL FUEL – GAS CODE

**INTERNATIONAL ENERGY CONSERVATION CODE COMPLIANCE**

The building thermal envelope shall be durably sealed to limit air infiltration in accordance with Section 402.4.1. All ducts, air handlers, filter boxes and building cavities used as ducts shall be sealed.  
 Supply ductwork located partially or fully outside of building thermal envelope shall be insulated to a minimum of R-8. All other ductwork located partially or fully outside of building thermal envelope shall be insulated to a minimum of R-6.  
 Wood burning fireplaces shall be equipped with gasketed doors. Exhaust fans shown on the drawings shall comply with the efficiency standards shown on Table R403.5.1 2012 International Energy Conservation Code.  
 All hot water piping shall be insulated to a minimum of R-3. All piping in the hot water re-circulating system shall be insulated to a minimum of R-3.  
 At least 75% of the lamps in the permanently installed light fixtures must be high efficiency bulbs.  
 All windows located in the building thermal envelope shall have a maximum u-value of 0.32.  
 All skylights located in the building thermal envelope shall have a maximum u-value of 0.55.

**STRUCTURAL DESIGN LOADS:**

Floors: Live Load, 40 pounds per square foot Dead Load 15 pounds per square foot  
 Roof: Live Load, 30 pounds per square foot Dead Load 15 Assumed Footing Design Bearing Pressure = 3000 pounds per square foot.  
 Wind Load = 20 pounds per square foot.

The information contained on the construction documents is in itself incomplete and void unless used in conjunction with all the contract documents and with all the specifications, trade practices, or applicable standards, codes, etc., incorporated therein by reference which the contractor certifies knowledge of by signing the contract.

Contractor is to assume full responsibility, unrelieved by review of shop drawings and by supervision or periodic observation of construction, for compliance with the contract documents, for dimensions to be confirmed and correlated on the job site and between individual drawings or sets of drawings for fabrication processes and construction techniques (including excavation, shoring, scaffolding, bracing, erection, formwork, etc.), for coordination of the various trades, and for the safe conditions on the job site. Variations in field conditions relative to the contract documents shall be reported to the architect and owner. Work shall not progress until written permission from the architect and owner is obtained.

**DO NOT SCALE DRAWINGS;** use written dimensions only. If dimension is missing or inaccurate, consult with architect immediately.

All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturer's written specifications and instructions, except as other wise noted herein.

In any of the differences or conflicts between the requirements of the manufacturer's instructions or specifications and the technical sections of the Specifications, the instructions or specifications having the more detailed and precise requirements that are specifically applicable to the work in questions, as determined by the Architect, shall govern. The Contractor may suggest alternate materials or methods, if, in his opinion, cost savings can be made, which give similar quality and appearance. Any alternatives must be submitted for evaluation by the Architect.

Details not shown are similar in character to those detailed. Where specific dimensions, details, or design intent cannot be determined, consult with the architect before proceeding with the work.  
 Architect's approval must be secured in writing for all substitutions. If Architect's approval is not obtained, the Architect shall not be responsible for any consequences resulting from the substitution.

The Contractor will be responsible for replacing any items damaged during construction.  
 The General Contractor and Sub-Contractors shall maintain throughout the construction period Workman's Compensation, Comprehensive General Liability, and Automobile Liability Insurance. Certificates of Insurance shall be submitted to the Owner and Architect. The Contractor shall cause to have an endorsement contained naming the Owner and the Architect as Additional Insured.

All materials and equipment, unless specifically noted otherwise, shall be new. All materials and equipment shall be installed for the purpose for which they were intended, in strict accordance with the specifications and instructions of the manufacturer or governing trade association by workers skilled in their respective trades.

The Owner and/or General Contractor for this Work recognize and agree that the Architect will not exercise any control, nor provide any supervision of site conditions nor working conditions or construction practices. The Owner and/or General

Contractor, therefore, absolve and will hold harmless the Architect from any responsibility and liability for any occurrences on during the work, which may result in personal injury or property damage of any nature.

The General Contractor shall be responsible for the construction, erection, and maintenance of temporary fencing or other physical barrier around tree preservation areas as required by the local jurisdiction, no construction activity, movement, and/or placement of equipment or material within the tree preservation area. No excess soil, additional fill, liquids, or construction debris shall be placed within the root zone of any tree that is required to be preserved. The fencing or other physical barrier must stay in place throughout the entire construction period. All fencing must be secured to metal posts driven into the ground and spaced no further than 10 feet apart. A temporary gravel driveway must be installed prior to the start of construction. It shall be installed in the approved location and extend at least 25 feet from beyond the lot line.

The Depositing of mud, dirt, sticky substances, litter or foreign matter of any kind upon the street, alley or other public place is prohibited. Failure to correct immediately shall cause the issuance of a stop work order and/or citation.  
 Driveways on public parkways must be 10 to 15 feet from the base of established trees depending on tree diameter size. All existing sidewalks to be replaced as part of new house construction. Solid surface driveway apron only. Sidewalks to be replaced with 6" thick walk at driveway.  
 Contractor will clean the construction site daily and store tools and materials in an orderly manner.  
 Approved plans shall be kept on the site of the building or work at the time of the construction.  
 Sanitary facilities are required and shall be provided during construction, remodeling or demolition activities in accordance with the governing jurisdiction.

**DIVISION 2: SITE CONSTRUCTION**

**NO WORK**

**DIVISION 3: CONCRETE**

**NO WORK**

**DIVISION 4: MASONRY**

**NO WORK**

**DIVISION 5: METALS**

**NO WORK**

**DIVISION 6: WOODS AND PLASTICS**

Framing lumber, unless otherwise noted or specified, to be as follows:

- A. Members wider than 8" nom. to be #2 or better Hem-Fir Fb (repetitive) 977.5 psi, E=1,300,000 psi.
- B. Members narrower than 8" nom. to be Stud or better Western Woods Fb 525 psi, E=1,300,000 psi.
- C. Micro-lam or L.V.L. beams shall be as manufactured by Truss Joist Macmillan with Fb=2600 psi, E=1,800,000 psi.
- D. Parallell or P.S.L. beams and columns shall be as manufactured by Truss Joist Macmillan with Fb=2900 psi and E=2,000,000 psi.
- E. TJI joists when shown on drawings shall be as manufactured by Truss Joist Macmillan and installed in accord with the manufacturer's instructions.

Unless otherwise noted provide 3/4"th. T&G Douglas Fir ext. plywood sub flooring throughout.  
 Provide wood blocking as required for wood siding.  
 Floor Trusses (if used) shall be designed for 40#/sq. ft. live load. Roof trusses (if used) shall be designed for 30#/sq. ft. live load.

**NO ROOF TRUSSES OR MICRO-LAM BEAMS SHALL BE CUT OR OTHERWISE ALTERED IN ANY WAY WITHOUT PRIOR WRITTEN PERMISSION FROM THE FABRICATOR AND THE ARCHITECT.**  
 Caulk at all windows and doors.  
 Provide continuous cross bridging @ 8'-0" max. spacing at floor joists.

All stairways shall meet 2009 International Residential Code requirements. Minimum stair width to be 36". All stairs with four or more risers shall have a continuous, graspable handrail installed on at least one side of the stairway, all handrails to be located 34" to 38" above nosing and all handrails shall have both ends returned to the wall. Maximum riser height is 7 3/4", the maximum difference between the tallest and the shortest stair riser shall not exceed 3/8" within one flight of stairs. Minimum tread depth shall be 10" with 1" nosing. Handrails are to project no greater than 4 1/2" into stairway width and a clear space of no less than 1 1/2" from wall. Maximum opening between vertical balusters is less than 4". Provide a minimum of 80" headroom. Interior and exterior guardrails and parapets acting as guardrails to be not less than 36" above finished floor or deck. Open guards shall have balusters or be of a solid material such that a sphere with a diameter of 4" cannot pass through any opening.

Drilling and notching of top plates and studs will comply with code requirements. Exterior or load bearing walls with plates cut, drilled or notched more than 50% of the width of the stud shall have a 1/6 gauge galvanized steel tie fastened to each plate (Simpson S/SPSPN516 or equal). Exterior or load bearing walls with studs drilled within 5/8" of the face of the stud must be reinforced with a 1/6 gauge galvanized steel structural stud shoe (Simpson SS series or equal).

All lumber in contact with concrete to be pressure treated to resist decay.  
 Provide continuous wood blocking in the walls for all cabinets, moldings, towel bars, railings, doorstops, etc.

Provide 2" thick minimum wood fire stopping to close off all concealed draft openings and to form effective fire barriers between stories and in all concealed spaces therein against the spread of fire.  
 All interior partitions shown on drawings shall be assumed to be 4 1/2" thick unless dimensioned or noted otherwise on drawings.

Coordinate locations of floor joists with plumbing drain locations, HVAC chases, and lighting patterns.  
 Sub flooring to be 3/4" exterior grade tongue-and-groove plywood.  
 Fasteners and Anchorages: Provide size, type, material and finish as indicated and as recommended by applicable standards, complying with applicable Federal Specifications for nails, staples, screws, bolts, nuts, washers, and anchoring devices. Provide metal hangers and framing anchors of the size and type recommended by the manufacturer for each use including recommended nails. Where rough carpentry work is exposed to weather, in ground contact, or areas of high reactive humidity, provide fasteners and anchorages with a hot-dip zinc coating (ASTM A 153).

Wood Furring: Install plumb and level with closure straps at edges and openings. Shim with wood as required for tolerance of finished work.  
 Provide blocking as required for all kitchen and bath cabinetry, and all bath accessories.  
 Framing: For interior walls, unless otherwise shown, use 2x4 wood studs spaced 16" o.c. with 4" face perpendicular to direction of wall or partition (Construct any wall which contains any plumbing lines 1-1/2" in diameter or greater using 2x6 studs). Provide single bottom plate and double top plates 2" (nominal) thick by width of studs; except single top plate may be used for non-load-bearing interior partitions. Securely nail or otherwise anchor plates to supporting construction.  
 Construct corners and intersections with not less than three studs. Provide miscellaneous blocking and framing as shown and as required for support of facing materials, fixtures, specialty items, and trim.

Provide continuous horizontal blocking row at mid-height of single-story partitions over 8'-0" high.  
 Provide continuous bridging rows at floor framing at 8'-0" o.c. Frame openings with multiple studs and headers. Provide nailed header members of thickness equal to width of studs. Set headers on edge and support on jamb studs. Unless otherwise noted provide 3-2x12 headers above all windows and doors in exterior walls.  
 Unless otherwise noted on plans, headers over openings in interior walls shall be the following:  
 For spans less than 4'-0": (2) 2x6 minimum  
 For spans between 4'-0" and 6'-0": (2) 2x8 minimum  
 For spans between 6'-0" and 8'-0": (2) 2x10 minimum  
 For spans between 8'-0" and 10'-0": (2) 2x12 minimum  
 Provide solid blocking and/or additional framing so that all loads are adequately transferred to supporting members and to foundations.

Double joist under all parallel partitions, tubs, laundry trays and solid bridging under perpendicular partitions.  
 Provide and install millwork as shown on plans.  
 Typical cabinet to be as follows: Architectural Woodwork Institute, Premium Grade, Western Board Core Melamine cabinet interiors with 3/4" thick sidewalls; drawers to have Accuride #4033 Full Extension glides.

Submit shop drawings on all items of architectural woodwork showing method of joining thicknesses, profiles, materials, and containing full and complete information regarding fastening. Submit finished samples of each material, including hinges. All shower niches, when shown, to be: 14" w x 24" H x 4" D. Unless otherwise noted - slope to drain.  
 Build all soffits to enclose and conceal ductwork, plumbing electrical work, etc. Whether shown or not on plans.  
 Contractor to screw plywood decking to joists after installation of drywall.

**DIVISION 7: THERMAL AND MOISTURE PROTECTION**  
 Insulation:  
 Applications of insulation specified in this section include the following:  
 Foundation wall insulation.  
 Blanket-type building insulation.  
 Wall sheathing.  
 Thermal conductivity: Where insulation is identified by "R" value, provide appropriate thickness.  
 Fire and insurance ratings: comply with fire-resistance, flammability and insurance ratings indicated, and comply with governing regulations as interpreted by authorities.  
 Insulate and double drywall around all vertical and horizontal waste stacks as required to minimize transfer to habitable spaces.  
 Materials:  
 Rigid board insulation:  
 Extruded polystyrene plastic board insulation complying with ASTM C578 Type IV, min. 19 psi compressive strength; k-value of 0.20, .05% maximum water absorption; manufacturer's standard lengths and widths.  
 Unfaced mineral/glass fiber blanket/batt insulation:  
 Inorganic fibers formed into flexible resilient blankets or semi-rigid resilient sheets; complying with ASTM C665, Type I, density as indicated, but 1.0-lb minimum; k-value of 0.27, manufacturer's standard lengths and widths as required to coordinate with spaces to be insulated.  
 Faced mineral/glass fiber blanket/batt insulation w/ integral vapor retarder:  
 Inorganic fibers formed into flexible resilient blankets or semi-rigid resilient sheets; complying with ASTM C665, Type II, Class C, density as indicated, but 1.0-lb minimum; k-value of 0.27, manufacturer's standard lengths and widths as required to coordinate with spaces to be insulated; types as follows: type ii:

non-reflective facing with integral nailing flanges, 1.0 perm rating.  
 Spray Foam Insulation:  
 A closed cell medium-density, MDI-based polyurethane thermoset foam insulation having a minimum AGED R-VALUE of 5.8 per inch

Roofing:  
 Install Modified Bitumen membrane roofing installed in accordance with the manufacturer's written specifications and instructions. Install recommended number of base and cap sheets. Wherever the new roofing meets, the existing insuring that the new roofing used is compatible with existing roofing it.

Flashing:  
 Install flashing at roof to wall intersections, porch/slab to frame walls intersections, roof openings and chimney to roof intersections.

Flashing at Windows and doors: Prior to installing doors and windows, install 'WEATHERMATE' sill pan manufactured by the Dow Chemical Company at all window and doorsill openings. Install 'WEATHERMATE' flashing manufactured by the Dow Chemical Company at the jambs of all window and door openings. Use 'WEATHERMATE' flexible flashing manufactured by the Dow Chemical Company at curved or irregularly shaped openings. After installing doors and windows, install 'WEATHERMATE' flashing manufactured by the Dow Chemical Company at the head and jambs of all windows. Use 'WEATHERMATE' flexible flashing manufactured by the Dow Chemical Company at curved or irregularly shaped doors and windows.

Flashing at Masonry Walls: Install flashing and weep holes at bottom of all masonry walls. Install flashing and weep holes at head and sill of all windows, doors and openings in all masonry walls. Install through wall flashing and weep holes at all locations where masonry walls extend above a roof. Flashing to be the IPCO flashing system or approved equal the IPCO flashing system includes but is not limited to self-adhesive rubberized asphalt flashing material, preformed corners and dams and stainless steel drip edge and preformed drip edge corners. Install all flashing according to manufacturer's recommendations.

**DIVISION 8: DOORS AND WINDOWS**

All windows located in the building thermal envelope shall have a maximum u-value of 0.32.  
 All skylights located in the building thermal envelope shall have a maximum u-value of 0.55.  
 Provide weather-stripping at each edge of exterior door leaf. Provide units with integral, replaceable, resilient weather-stripping of extruded neoprene or vinyl.

Provide tempered glazing in all hazardous locations. Glazing in any part of the building enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers where the bottom edge of the glazing is less than 60" above a standing surface. Glazing in egress doors and glazing in adjacent to a door where the nearest vertical edge is within a 24" arc of the door in a closed position and where the bottom edge is less than 60" above a standing surface. Glazing in which an individual pane is greater than 9 sf, less than 18" above the floor, top edge is greater than 36" above the floor, and one or more walking surfaces within 36" horizontally of the glazing.  
 Bedroom windows shall meet the following egress requirements: Minimum 20 (wide) x 24 (high) inch clear opening. Sill is to be no higher than 44 inches A.F.F. Opening is to be 5.7 square feet for second floor bedroom windows, 5.7 square feet for first floor bedroom windows.  
 One basement window shall be installed with an escape window areawell having a minimum net clear area of nine (9) square feet with minimum horizontal projection of 36 inches and minimum width of 36 inches. A ladder or steps may encroach a maximum of 6 inches into the required dimensions. All basement window area wells located within twelve (12) inches of a finished walking surface shall have an approved cover designed to support a two hundred (200) pound load.

**DIVISION 9: FINISHES**  
 Gypsum Drywall:  
 The recommendations and specifications for gypsum drywall installation as prepared by the United States Gypsum Co. (USG) shall comply to this work. Use USG or National Gypsum Co. products. Note: products listed below are USG to indicate type and quality.  
 For dry wall jointing maintain interior temperature of 55 degrees F for one week prior to work, during work and thereafter.  
 All gypsum board to be secured to studs using power-driven screws. Use USG 200 Series metal trim (mud-in type).  
 Gypsum board type:  
 Garages - 5/8" thick firecode type "x" gypsum board on ceiling and walls.  
 Unless noted otherwise on plans all other gypsum board to be 5/8" thick.  
 Dry wall contractor to provide access panels as required for easy access to miscellaneous valves.  
 Insulate and double drywall around all vertical and horizontal waste stacks as required to minimize sound transfer to habitable spaces.

Painting:  
 Paint installed shall be Benjamin Moore or approved equal, and shall be applied according to below.  
 Walls: 1 coat primer and 2 coats latex, eggshell.  
 Ceiling: 1 coat primer and 2 coats latex, flat.  
 Windows, doors and trim: 1 coat primer and 2 coats oil base, semi gloss finish.

**DIVISION 15: MECHANICAL**

**PLUMBING NOTES:**  
 ALL PLUMBING WORK IS TO BE INSTALLED PER 2014 ILLINOIS STATE PLUMBING CODE – PLUS HIGHLAND PARK AMENDMENTS.

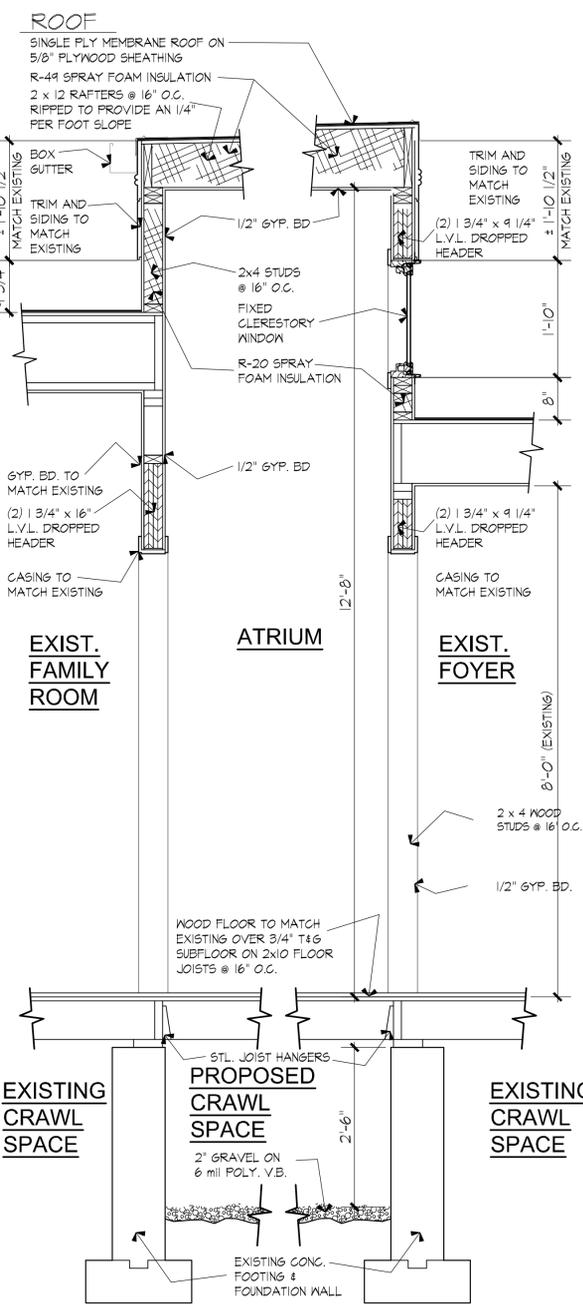
In general Contractor's scope of work shall be, but not necessarily limited to providing all labor, materials and equipment necessary for the new work and connections to existing sewers and piping systems, including all new equipment and related accessories, as shown on the plans and as noted on the drawings and as hereinafter specified.  
 Provide shut-off valves and air chambers at all fixtures and risers. Equip water heaters with UL-approved temperature and pressure relief valves. Install footing drains around all basement and crawl space areas. Provide water supply lines, sewers drainage, waste and vent pipes. Provide cold and hot water systems including new piping, fittings, hangers and all pertinent items for system. Provide soil, waste, and vent piping system, including pipe, fittings and all pertinent accessories for complete installation. Provide all pipe covering for piping systems.  
 Provide pressure testing and cleaning for all piping systems. Provide all cutting, coring and patching for installation of piping and equipment.  
 Provide access doors for an access to all valves. Provide all required valve tags.  
 Contractor shall pay all fees and permits (applicable to the project). Schedule all applicable inspections and obtain certificates of inspection.  
 Provide one year guarantee on all materials and workmanship performed under each contract.  
 Drawings are diagrammatic and intended to show approximate locations unless specifically dimensioned. Coordinate work with all trades to avoid interference. Installed mechanical work that interferes with the work of other trades due to the lack of coordination shall be changed at no additional cost to the owner.

Furnish and install all minor items, which are obviously and reasonably necessary to complete the installation and included in similar work even though not specifically mentioned in the contract documents. such items are bolts, nuts anchors, bracket sleeves, minor offsets in piping systems because of unforeseen obstructions, etc.  
 Provide all plumbing fixtures as specified by the Owner, complete with trap, supplies and stops, hangers, carriers and miscellaneous related items. Rough-in for all fixtures, install fixtures and make all final connections.  
 Footing drains, storm water drains, roof drains, paved area drains, yard drains, courtyard drains, downspouts and similar drains shall be connected to the storm sewer, or to another approved point of discharge.  
 All water main, sanitary sewer, and storm sewer connection locations will be determined in the field.  
 All under concrete slab drain waste and vents types shall be service weight cast iron soil pipe and fittings. All sanitary sewer services which penetrate the foundation wall through a sleeve shall be ductile iron pipe from the wall to a point where the piping is supported on approved soil.  
 Install two (2) full size clean-outs on the sanitary sewer. Locate one cleanout immediately inside the foundation wall by use of a wye fitting with the clean-out installed directly opposite the flow of the sewer. Locate the second clean out on the exterior side of the foundation wall within 5ft of the foundation wall. Underground water service pipe shall be copper type K pipe, with mechanical joints. A licensed plumber shall install the water service from water main to the building.

**HEATING, VENTILATION, AND AIR CONDITIONING DESIGN/BUILD PROGRAM:**  
**NO WORK**

**DIVISION 16: ELECTRICAL**  
 Contractor and/or Subcontractor to furnish all labor, equipment, materials, tools and incidentals required for installation of electrical work. All electrical work is to be installed per 2005 NATIONAL ELECTRIC CODE and HIGHLAND PARK AMENDMENTS.  
 Electrician to coordinate with Commonwealth Edison as required to provide new underground service line from power pole to electrical service box in accordance with Commonwealth Edison and the local jurisdiction's regulations. Smoke detectors to be provided and installed in accordance with the governing code.  
 Contractor shall pay all fees and permits (applicable to the project). Schedule all applicable inspections and obtain certificates of inspection.  
 Electrician to provide one-year guarantee on all materials and workmanship preformed.  
 Electrician will provide and install new electrical service, per construction documents.  
 Electrician will coordinate with other trades and install conduit boxes to clear pipes, ducts openings, and other structural features. All electrical drawings are to be read in conjunction with the project specification and all other drawings related to the performance of this work.  
 All lighting fixtures are to be located as required on the job to clear piping, equipment, and/or other mechanical equipment. All dimensions, when shown, are to center of devices. Conduit runs shown on drawings are diagrammatic. Actual conditions should be followed.  
 All materials and equipment used on this project shall be new. All wiring devices to be standard grade, as manufactured by Hubbell, P & S, or Slater.  
 New switches and dimmers to be Decora type, or approved substitute by owner. Provide incandescent dimmer,

incandescent low voltage dimmer, electronic sough switch, incandescent capsule dimmer, or 3-way switch as shown on plan. Gang all switches whenever more than 1 switch is shown. Provide multi-gang faceplates as required. All devices, such as outlets, switches, and wall plates to be "white." Provide slide safety mechanism on all wall outlets, typical.  
 All devices, such as outlets, switches, and wall plates to be "white" unless alternate color is approved by architect.  
 Height of all new switches to be 44" A.F.F. unless otherwise indicated.  
 Mount thermostats and humidistats 44" A.F.F. unless otherwise indicated.  
 Where switches are shown next to door jambs and/or casings, keep 3" from plate to edge of casing.  
 Furnish mirrored cover plates for all electrical outlets, switches, T.V., and telephone devices mounted in mirrors.  
 Provide easily accessible panel for hydro massage tub motor servicing. Provide porcelain socket and pull chain type lights in attic.  
 Provide separate circuit for each room. Provide breaker lock for dedicated 15 amp smoke detector circuit and clearly identify circuit in panel.  
 Do not pipe or wire outlets in built-ins without coordinating with contractor's built-in cabinetry plans.  
 Provide power and hook-up for kitchen appliances, whirlpool bath, washer and dryer, HVAC equipment, sump pump, and all other equipment as required by code.  
 Provide a 120/240v circuit breaker distribution panel with at least 20% spare capacity. Provide separate circuits protected with the required over current device for all ranges, ovens, water heater, laundry, garbage disposal, microwave, trash compactor, dishwasher, food freezer, refrigerator, whole house vacuum, tubs with pumps, steam generators, sump and ejector pumps, furnaces and air conditioners.  
 Provide G.F.C.I. outlets at all kitchen counters, bathrooms, garage, unfinished basement locations and outlets within six (6) feet of wet bar or utility sink and exterior locations as per code. All branch circuits that supply 125 volt single phase, 15 or 20 ampere receptacle outlets installed in dwelling unit bedrooms shall be protected by an arc fault circuit interrupter(s).  
 Provide recessed lights with integral thermal protection for direct contact with insulation where applicable as per code.  
 Provide fixtures with solid lens cover in all closet areas as per code.  
 Fixtures installed in wet to damp locations shall be installed so that water cannot enter or accumulate in wiring compartments, lamp holders or other electrical parts as per code.  
 All light fixtures located within tub or shower compartments shall have an approved vapor proof cover and shall be GFCI protected.  
 Hydro massage bathtubs to be connected to G.F.C.I. breaker in circuit breaker box; connection to G.F.C.I. outlet is not acceptable.  
 All services are to be grounded outside, with 5/8" x 8" ground rod, bonded and mechanically at the meter fitting. Inside grounding is to be piped to the street side of water meter and a properly sized jumper is to be installed across the water meter. Provide illuminated switches where required by code.  
 Provide lighting for all attic & crawl spaces as required by code.  
 The fused or main breaker service disconnecting means shall be installed at readily accessible location on the outside of all new residential buildings or structures or inside nearest the point of entry of the service conductors of commercial buildings or structures.  
 Smoke Detectors: Smoke detectors shall be installed inside of each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements, cellars, and in the general location of all heating equipment. All detectors shall be interconnected such that the actuation of one alarm will actuate all the alarms in the individual unit and shall provide an alarm, which will be audible in all sleeping areas. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions. Required smoke detectors shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Electrically operated smoke detectors shall be connected to a lighting or power circuit in the general area of the detector. Low voltage fire detection systems will be permitted provided the detection system is backed by a 120-volt power source. Wiring shall be permanent and without a disconnecting switch other than those required for over current protection. Smoke detectors may be battery operated when installed in buildings without commercial power.  
 Install wall receptacles so that no point in any wall within a space is more than 6 feet measured horizontally from an electrical outlet.  
 At countertops and similar work surfaces install wall receptacles so that no point in any wall adjacent to the countertop is more than 2 feet measured horizontally from an electrical outlet.  
 Island counter tops over four feet in length will require at least two separate electrical outlet locations.  
 3 way and 4 way switches shall be installed at all entry/exist points in all rooms and hallways with more than one means of entry.  
 Provide at least one wall switched/controlled lighting outlet in every habitable room, including bathrooms, hallways, stairways, attached garages, detached garages and at outdoor entrances or exits.  
 Provide flush recessed fixture with solid lens or a ceiling mounted fluorescent fixture with lens cover in all closet areas unless there is 12 inches horizontal clearance from edge of shelving in the closet area. Fixtures used within the 12" clearance must maintain minimum 6 inches clearance.



**SECTION thru ATRUM**

SCALE: 3/4" = 1'-0"

COPYRIGHT © 2008 FWC ARCHITECTS, INC. ALL RIGHTS RESERVED



**FWC ARCHITECTS, INC.**  
 ILLINOIS DESIGN FIRM REG. # 184/00351  
 303 WAUKEGAN AVE.  
 HIGHLAND PARK, ILLINOIS 60040  
 TELEPHONE: (847) 579-5200  
 FAX: (847) 579-5203

ARTHUR M. COTTRELL

REVISIONS	DATE	DESCRIPTION

**CERTIFICATION**  
 THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER OUR PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF CONFORM TO THE LAWS AND ORDINANCES OF THE CITY OF:  
 HIGHLAND PARK, IL

**DO NOT SCALE DRAWINGS**  
 CONTRACTOR SHALL VERIFY ALL PLAN AND EXISTING DIMENSIONS AND CONDITIONS ON JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECTS, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.

EXPIRES 11/30/2016

Remodeling of:  
**The CRIZ RESIDENCE**  
**545 GREENBAY ROAD**  
**HIGHLAND PARK, IL**  
**SHRAGO DESIGN & BUILD, LLC**  
**1515 OAKWOOD LN**  
**HIGHLAND PARK, IL**

Date 5/1/2015  
 Drawn by AMC  
 Checked by  
 Comm. no. 1507  
 Sheet no. / of

*326 Central Avenue  
Highland Park Historical Society  
Highland Park Building Company House*

**Withdrawal of a COA Application**

TO:	The Historic Preservation Commission
DATE:	August 13, 2015
FROM:	Andy Cross, Planner II
SUBJECT:	Withdrawal of a COA Application

**PETITIONERS / OWNERS:**

Highland Park Historical  
Society  
326 Central Avenue

**PROPERTY LOCATION:**

326 Central Avenue

**STRUCTURE**

Style: Italianate  
Built: 1871  
Original Architect: Unknown

**HISTORIC STATUS:**

Local Landmark (1982)

**ARCHITECT/BUILDER:**

Highland Park Building  
Company Spec House

**SUMMARY OF PROPOSAL**

The Highland Park Historical Society owns the property at 326 Central Avenue. Earlier this year, the Society's board applied for a Certificate of Appropriateness to subdivide the lot at 326 Central Avenue into two lots. After an examination of the City Code, it was determined that the subdivision of the property does not require a COA. As a result of this determination, the Historical Society has withdrawn their application for a Certificate of Appropriateness.

It is important to note that any new lot created by the subdivision of the property will still have a historic designation. Any improvements on the lot will be subject to a Certificate of Appropriateness review by the Historic Preservation Commission.

**RECOMMENDATION**

As applicants, the Highland Park Historical Society board members have the unilateral right to withdraw their application. Staff recommends the Historic Preservation Commission accept the withdrawal.

**ATTACHMENTS**

- Request to Withdraw Application
- Letter indicating no COA is necessary
- Letter of explanation re. COA determination

**From:** [Jean Sogin](#)  
**To:** [Cross, Andy](#)  
**Cc:** [V. Robert Roterling](#)  
**Subject:** Re: Letter of withdrawal  
**Date:** Tuesday, July 07, 2015 11:43:48 AM

---

Hi Andy - this note is to formally withdraw the Historical Society's request for a Certificate of Appropriateness to subdivide our property at 326 Central. Thank you for your help in this matter.

Jean Sogin, Secretary  
Highland Park Historical Society

On Tue, Jul 7, 2015 at 10:58 AM, Cross, Andy <[across@cityhpil.com](mailto:across@cityhpil.com)> wrote:

Rob / Jean,

As I understand it, the Historical Society will not require a COA for the subdivision of the property at 326 Central. Given this new information, could you please jot a quick note formally withdrawing the application for the Certificate of Appropriateness? Then I can close that case file.

Thank you,

Andy

Andy Cross, AICP

Planner II

City of Highland Park

1150 Half Day Road

Highland Park, IL 60035

[www.cityhpil.com](http://www.cityhpil.com)

[\(847\) 926-1856](tel:(847)926-1856)

**From:** [lsloan@cityhpil.com](mailto:lsloan@cityhpil.com)  
**To:** [across@cityhpil.com](mailto:across@cityhpil.com)  
**Subject:** FW: 326 Central - Determination  
**Date:** Tuesday, June 30, 2015 8:06:54 AM

---

FWD

Linda S. Sloan, AICP  
Planning Division Manager  
City of Highland Park  
1150 Half Day Rd., 2nd Flr., Suite PLN  
Highland Park, IL 60035  
Phone(direct): (847) 926-1614  
Fax: (847) 432-0964  
Email: [lsloan@cityhpil.com](mailto:lsloan@cityhpil.com)

---

**From:** Fontane, Joel  
**Sent:** Tuesday, June 30, 2015 8:05 AM  
**To:** Rob Rotering  
**Cc:** Neukirch, Ghida; Sloan, Linda  
**Subject:** 326 Central - Determination

Hi Rob,

Upon reconsideration of the proposed subdivision at 326 Central Street, I have determined that the proposed subdivision, absent any proposed physical changes to the property, does not constitute an "alteration". Therefore, the proposed subdivision does not require prior approval of a Certificate of Appropriateness (COA) from the HPC. However, the entire property, and the lot(s) created through the subdivision process, would still be subject to HPC approval (COA) in terms of any future regulated activities. This determination supersedes previous determinations related to the subdivision of this property.

Please note that subdividing the property may impact its eligibility for State historic preservation incentives. You may want to confer with the State Historic Preservation Office for a determination on that matter.

Please speak with Linda Sloan, Planning Division Manager, about the requirements for subdivision approval.

Sincerely,  
Joel Fontane

Joel J. Fontane, AICP  
Community Development Director  
City of Highland Park  
1150 Half Day Road



## CITY OF HIGHLAND PARK

Department of Community Development  
1150 Half Day Road, Planning Division  
Highland Park, Illinois 60035 • (847) 432-0867

Ms. Barbara Thomas, Chair &  
Members of the Historic Preservation Commission

July 29, 2015

### **RE: Response to HPC Resolution #15-02 Related to 326 Central Ave. Determination**

The City Manager requested that I respond to Historic Preservation Commission's (HPC) July 9<sup>th</sup>, 2015 request for 1) a letter of explanation regarding why the subdivision of land at 326 Central does not require a Certificate of Appropriateness (COA); and 2) that the HPC be given an opportunity to act on the pending COA application prior to the City Council, the Plan & Design Commission, or its Chairman takes action on the subdivision application.

I will answer the second question first: Based on my revised determination and the applicant's subsequent withdrawal, there is no COA before the HPC for consideration at this time. Therefore, the HPC has no action to take. You or another member of the HPC may choose to request to speak on the matter when it comes before the City Council, or could choose to express its thoughts in writing.

#### **Why the subdivision of land at 326 Central Ave. does not require a COA.**

In February 2014, relying on staff's advice on the matter, I determined that the subdivision of 326 Central, itself, would constitute a "Regulated Activity". Based on this determination, the applicant applied to the HPC for consideration of a Certificate of Appropriateness (COA). Notwithstanding my determination, at the HPC's May 14<sup>th</sup>, 2015 meeting, the HPC voted unanimously (6-0) to inquire whether the subdivision of 326 Central required a COA. The applicant and City Council liaison to the HPC inquired about the same.

As a result, I revisited my initial determination that the subdivision of 326 Central, itself, would constitute an alteration that requires a COA. Upon further review, I determined that the proposed subdivision was not a "Regulated Activity," based on the following:

Given that Regulated Activity is defined as: "Any act or process involving the erection, Construction, reconstruction, Rehabilitation, repair, Relocation, Alteration, or Demolition of a Regulated Structure"; and given that a subdivision is not considered construction, reconstruction, rehabilitation, repair, relocation or demolition of a Regulated Structure; the only way a subdivision could be considered a "Regulated Activity" would be if it is a form of "Alteration".

"Alteration" is defined in Chapter 24.005 of the Highland Park Code as:

"(1) Any act or process that requires a building permit and changes one or more of the features of a Regulated Structure including, without limitation, the erection, Construction, reconstruction or Relocation of all or any part of a Regulated Structure;

(2) Any act or process that, while not requiring a building permit, significantly changes the interior or exterior of a Regulated Structure so as to change a feature that relates to the Regulated Structure's status as a Landmark or Contributing Regulated Structure; or

(3) Any act or process that significantly modifies or changes a contributing Landscape of Significance.”

A subdivision does not meet the first or second elements of the definition of “Alteration”. Further, though 326 Central Ave. is a Landmarked property, it does not include a Landscape of Significance<sup>1</sup>. Thus, the subdivision is not an “alteration,” and therefore is not a Regulated Activity for which a COA is required.

My initial determination was based on the notion that the land in question related to the Regulated Structure’s status as a Landmark. However, upon closer review of City records, nothing in the Landmark nomination and City Council resolution record supports that contention. Moreover, the City’s Subdivision Code does not incorporate historic preservation concerns. Therefore, I revised my determination accordingly.

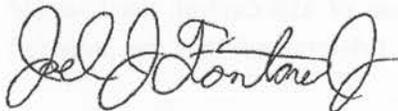
Specifically, I determined:

“Upon reconsideration of the proposed subdivision at 326 Central Street, I have determined that the proposed subdivision, absent any proposed physical changes to the property, does not constitute an “Alteration”. Therefore, the proposed subdivision does not require prior approval of a Certificate of Appropriateness (COA) from the HPC. However, the entire property, and the lot(s) created through the subdivision process, would still be subject to HPC approval (COA) in terms of any future regulated activities. This determination supersedes previous determinations related to the subdivision of this property.”<sup>2</sup>

Staff liaison Andy Cross informed the HPC of this determination and the applicant’s withdrawal at its July 9<sup>th</sup>, 2015 meeting. I have brought to the applicant’s attention that subdividing the property may impact its eligibility for State historic preservation incentives and referred the applicant to the State Historic Preservation Office for a determination on that matter.

**HPC Review of Subdivisions:** Should the HPC believe that it is important for it to review subdivisions related to Historic Properties and Landscapes, I recommend that the Commission consider this in its review of the City’s Historic Preservation Ordinance and, to the extent warranted, recommend amendments to the Ordinance and to corresponding provisions of the City’s Subdivision Code.

Sincerely,



Joel Fontane, AICP, Community Development Director

**Attachments:**

- HPC Resolution #15-02 Requesting Information Related revised determination for 326 Central.
- Landmark Nomination Form & City Council Resolution– 326 Central Ave.
- February 6<sup>th</sup>, 2015 Determination Letter from Joel Fontane, Community Development Director

cc: Ghida Neukirch, City Manager, Hart Passman, Corp Counsel, Linda Sloan, Planning Div. Mgr, Andy Cross, Planner II, Adam Stolberg, P&DC Chairman, John Tilton, Bld Div. Mgr, Determination File.

<sup>1</sup> Chapter 24.005: Landscape of Significance: A landscape that is significant in its own right as landscape architecture and not merely as a complementary setting for a Structure or a group of Structures.

<sup>2</sup> 326 Central Revised Determination – June 30<sup>th</sup> 2015 – Joel Fontane, AICP, Community Development Director

**CITY OF HIGHLAND PARK  
HISTORIC PRESERVATION COMMISSION**

**RESOLUTION NO. 15-02**

**A RESOLUTION REQUESTING INFORMATION RELATING TO THE PROPOSED  
SUBDIVISION OF PROPERTY AT 326 CENTRAL AVENUE**

**WHEREAS**, the Historical Society of Highland Park owns the property located at 326 Central Avenue; and

**WHEREAS**, the property at 326 Central Avenue was designated as a Local Historic Landmark in 1986; and

**WHEREAS**, the property at 326 Central Avenue was listed on the National Register of Historic Places in 1982; and

**WHEREAS**, on February 6, 2014 the Director of Community Development transmitted a memorandum to the Historical Society of Highland Park explaining the requirement to seek a Certificate of Appropriateness for both the subdivision of the property and any new dwelling unit proposed for the property; and

**WHEREAS**, on April 23, 2015, the Secretary of the Board of the Highland Park Historical Society submitted an application for a Historic Preservation Review of a Certificate of Appropriateness for the subdivision of the property located at 326 Central Avenue; and

**WHEREAS**, pursuant to Section 24.030 of the City Code, a public meeting of the Commission to consider the Certificate of Appropriateness was held on May 14, 2015 and continued to a future meeting with a request for additional information, and

**WHEREAS**, a determination was made On June 30, 2015 by Highland Park Corporation Counsel and the Director of Community Development that the subdivision of the property at 326 Central Avenue does not constitute an alteration of the property and does not require the approval of a Certificate of Appropriateness; and

**WHEREAS**, at the July 9, 2015 meeting, the Historic Preservation Commission adopted the following motion by a unanimous (5-0) vote:

“The Historic Preservation Commission formally requests a letter of explanation to the Commission from the City’s Corporation Counsel as to why the subdivision of the property at 326 Central Avenue does not require a Certificate of Appropriateness and furthermore that the Historic Preservation Commission be given an opportunity to act on the pending Certificate of Appropriateness application prior to the City Council or the Plan & Design Commission or its Chairman takes action on the subdivision application.”

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS, as follows:

The Historic Preservation Commission requests a letter of explanation as stated in the cited motion in the Recitals above:

**SECTION ONE: RECITALS.** The foregoing recitals are incorporated into, and made a part of, this Resolution as the motion of the Historic Preservation Commission.

**SECTION TWO: EFFECTIVE DATE.** This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

AYES: 5

NAYS: 0

ABSENT: 2

PASSED: 5-0

APPROVED: July 9, 2015

RESOLUTION NO. 15-02

  
Barbara Thomas, Chairman

ATTEST:

  
Andy Cross, Commission Liaison

Highland Park Historic Preservation Commission  
1707 St. Johns Avenue  
Highland Park, Illinois 60035

Landmark Nomination Form

Date: November 15, 1984

1) Name of Property (original if known): Jean Butz James House

2) Street Address: 326 Central Avenue

3) Legal description or P.I.N. (Permanent Index Number from Township Assessor's Office, 600 Laurel Ave., Highland Park):  
16 - 23 - 406 - 001

4) Name and Address of Property Owner(s) (From Assessor's Office):  
Highland Park Historical Society  
326 Central Avenue

5) Present Use: Hist. Society Highland Park 6) Past Use: residence

7) Architect: Building Company 8) Date of Construction: 1871

9) Written statement describing property and setting forth reasons it is eligible for landmark designation:  
The Highland Park Building Company built this Victorian Italianate home of native brick. It is one of the few that has not been painted on the exterior. The design and size are typical of the moderately priced homes built by the company for speculation at the time. It was donated to the Historical Society in 1969 by Jean Butz James.

10) This structure is eligible for designation on the basis of the following criteria (see reverse page):

1 and 4

11) Name(s) and Address(es) of Applicant(s):

Name(s): Leah Joy Axelrod

Signature(s):

Leah Joy Axelrod (gs)

Address(es): 2100 Linden Ave.



12) Affiliation (Commission Member, Owner, City Council, Preservation Organization): Commission Member

Please complete and return this form to the Highland Park Preservation Commission 1707 St. Johns Avenue, Highland Park, Illinois 60035

RESOLUTION TO RECOMMEND TO THE CITY COUNCIL  
THAT THE JEAN BUTZ JAMES HOUSE BE DESIGNATED  
AS A HIGHLAND PARK LANDMARK

WHEREAS, the City of Highland Park currently has an Historic Preservation ordinance in effect which allows the City Council to designate distinctive historic, architectural, and/or landscape characteristics of Highland Park as Highland Park Landmarks; and

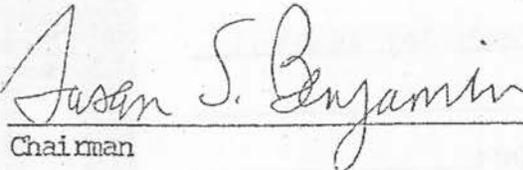
WHEREAS, the Highland Park Historic Preservation Commission has held a hearing on February 21, 1985, and has prepared a report summarizing the evidence at said hearing, a copy of which report is attached hereto and hereby made a part hereof as Exhibit A; and

WHEREAS, the Highland Park Historic Preservation Commission has determined that the Jean Butz James House, located at 326 Central Ave., P.I.N. 16-23-406-001, is eligible for designation as a Highland Park Landmark because it meets with Criteria #1 and #4 of the Commission's "Criteria for Determining Highland Park Landmarks";

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS:

That the proposed landmark, the Jean Butz James House, be recommended to the City Council of the City of Highland Park for designation as a Highland Park Landmark.

AYES: -8-  
NAYES: -0-  
ABSENT: -1-  
PRESENT: -2-  
PASSED: 2-17-85  
APPROVED: 2-17-85

  
\_\_\_\_\_  
Chairman

RESOLUTION NO. 1-85

AN ORDINANCE DESIGNATING THE PROPERTY COMMONLY KNOWN AS 326 CENTRAL AVENUE AS A HIGHLAND PARK LANDMARK

WHEREAS, the Historic Preservation Commission of the City of Highland Park, pursuant to Section 24.025 of "The Highland Park Code of 1968", as amended, did conduct a public hearing on February 21, 1985, pursuant to proper notice; and

WHEREAS, following said hearing, the said Historic Preservation Commission passed Resolution No. 1-85 (a copy of which resolution is attached hereto and made a part hereof as Exhibit I), which resolution contains the report of the Commission as well as a recommendation to the City Council of the City of Highland Park that the Jean Butz James House be designated a Highland Park Landmark; and

WHEREAS, the City Council has determined that the designation of the Jean Butz James House will be consistent with the planning policies and objectives of the City, will promote the welfare of its residents, and will not adversely affect the value, use, or enjoyment of any adjacent or nearby property; and

WHEREAS, the City Council of the City of Highland Park believes it to be in the best interests of the residents of the City of Highland Park that the Subject Property be designated a Landmark;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS:

SECTION ONE: That, pursuant to Section 24.025 of "The Highland Park Code of 1968", as amended, the Jean Butz James House, located at 326 Central Avenue, Highland Park, Illinois, legally described by Permanent Index Number 16-23-406-001, be and the same is designated hereby as a Landmark and as such shall be subject hereafter to the provisions of Chapter 24 of "The Highland Park Code of 1968", as amended.

SECTION TWO: That, as notice of the action of this City Council, the City Clerk shall forward certified copies hereof to those who nominated the aforescribed property as a Landmark, to the owner(s) of record of the aforementioned Landmark, and to the Building Department of the City of Highland Park.

SECTION THREE; That this ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

AYES: -6-  
NAYS: -0-  
ABSENT: -1-  
PASSED: 4-22-85  
APPROVED: 4-22-85  
PUBLISHED: 5-2-85  
ORDINANCE NO. 16-85

*Robert M. Buhar*  
\_\_\_\_\_  
Mayor

ATTEST:  
*Cosmo Pollock*  
\_\_\_\_\_  
City Clerk

RESOLUTION TO RECOMMEND TO THE CITY COUNCIL  
THAT THE JEAN BUTZ JAMES HOUSE BE DESIGNATED  
AS A HIGHLAND PARK LANDMARK

WHEREAS, the City of Highland Park currently has an Historic Preservation ordinance in effect which allows the City Council to designate distinctive historic, architectural, and/or landscape characteristics of Highland Park as Highland Park Landmarks; and

WHEREAS, the Highland Park Historic Preservation Commission has held a hearing on February 21, 1985, and has prepared a report summarizing the evidence at said hearing, a copy of which report is attached hereto and hereby made a part hereof as Exhibit A; and

WHEREAS, the Highland Park Historic Preservation Commission has determined that the Jean Butz James House, located at 326 Central Ave., P.I.N. 16-23-406-001, is eligible for designation as a Highland Park Landmark because it meets with Criteria #1 and #4 of the Commission's "Criteria for Determining Highland Park Landmarks";

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS:

That the proposed landmark, the Jean Butz James House, be recommended to the City Council of the City of Highland Park for designation as a Highland Park Landmark.

AYES: -8-

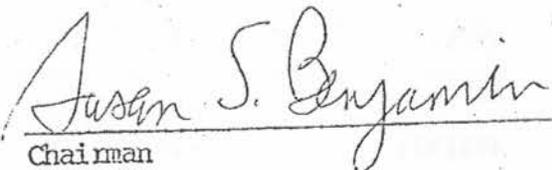
NAYES: -0-

ABSENT: -1-

PRESENT: -2-

PASSED: 2-21-85

APPROVED: 2-21-85

  
\_\_\_\_\_  
Chairman

RESOLUTION NO. 1-85

**EXHIBIT** I

Report  
Summarizing the Evidence  
Presented at the Public Hearing  
H.P.C. 1-85

Public hearing no. 1-85 was held on February 21, 1985, in the Board Room at the Park District, 636 Ridge Road, Highland Park, Illinois.

Said public hearing was conducted by the Highland Park Historic Preservation Commission to nominate the Historical Society Building as a Highland Park Landmark.

The Historical Society Building, also known as the Jean Butz James House is located at 326 Central Avenue, Highland Park. The property's legal description is: lot 1 and 2, Highland Park subdivision. The P.I.N. is: 16-23-406-001.

The house was built by the Highland Park Building Company in 1871. It is a Victorian Italianate building constructed of native brick, and is one of the few which has not been painted on the exterior. The design and size are typical of the moderately priced homes built by the Company for speculation at that time. It was donated to the Historical Society in 1969, by Jean Butz James.

The Commission determined that the building meets with criteria number 1, and 4 of the "Criteria for Determining Highland Park Landmarks". The Commission has passed resolution 1-85, recommending to the Highland Park City Council that the Historical Society Building is designated as a Highland Park Landmark.

EXHIBIT A

# MEMORANDUM

---



Date: February 6, 2014  
To: Robert Rotering & Jean Sogin  
David Knapp, City Manager  
From: Joel Fontane, AICP – Community Development Director  
Subject: **326 Central Ave.**

---

Thank you for meeting with David and me to discuss the Historical Society's development plans for 326 Central Ave. At our meeting you asked about what approvals are needed to re-subdivide this property into two north-south lots with the intention of creating a buildable lot south of the existing historic house on the property. Although the property has ample area, the location and dimensions of the existing home appears to leave just enough room to create two compliant north-south lots. The following provides a summary of the additional information and approvals needed to move forward with your proposal. For reference, I have attached a marked-up version of the plan you provided to illustrate the intended subdivision. I have also included relevant applications, requirements, authorization form and the ordinance regarding the property's landmark status.

#### Additional Information Needed:

1. **A Plat of Survey to Scale.** Although we were able to use the measurements provided on the attached plan to provide this cursory review, a plat of survey to scale with the proposed subdivision is required before a final determination can be made.
2. **Title Policy.** Please provide the title policy for this property so that all covenants and encumbrances on the property, if any, can be identified as they may limit the re-subdivision of this property. Note the City itself may hold a right or restriction.

#### Required Approvals:

1. **Certificate of Appropriateness (COA) from the Historic Preservation Commission.**
  - a. Since the entire property is landmarked<sup>1</sup>, the re-subdivision and subsequent construction of another home, if pursued separately, would each require a Certificate of Appropriateness (COA) from the Historic Preservation Commission.
  - b. The Historical Society could also request that the landmark status be removed, in accordance with the Historic Preservation Code (Chapter 24), from all or a portion of the property. This would be a rare request but could, if approved, avoid the need for a COA approval for construction on the newly created lot.

---

<sup>1</sup> In 1985 the City Council ordained an ordinance that landmarked the Jean Butz James house (c. 1871) property located at 326 Central Ave – see attached.

## 2. Approval to Re-Subdivide from the City Council.

- a. **Lot with Existing Home.** Please note that after the re-subdivision, the lot with the existing house would be required to meet the side yard setback (in this case 9') along its southerly property line, or a variation would be required<sup>2</sup>.

Estimating from the dimensional notations on the plan provided, the existing house lot would require a minimum total north-south dimension of 117'<sup>3</sup>.

- b. **New Lot Created:** Based on the minimum north-south length of 117' above, approximately 83' would remain for the new lot's north-south dimension. The area of the new lot ~12,021SF would meet the minimum lot area requirement of the R5 zoning district, 12,000SF.

For reference, the new lot would be considered an interior lot with its front yard along Linden St. Therefore, the minimum required setbacks for the newly created lot would be as follows: 40' front yard (Linden St.), ~10.4' side yards and ~29' rear yard setback.

3. **Potential Variation Needed.** The existing accessory structure located at the southeast corner of the lot appears not to be compliant with required setbacks for accessory structures. With approval from the Historic Preservation Commission, this structure could be moved to a compliant location or demolished prior to re-subdivision. This would avoid the need for a variance from the Zoning Board to allow an accessory structure without a primary use on a lot.

If you have any questions, please let me know.

### Attachments:

- James Anderson Co. May 1973 Plan of 326 Central St. with my mark-up showing proposed subdivision
- Ordinance, Landmark Status 326 Central Ave.
- Application, Certificate of Appropriateness
- Submission Requirements, Certificate of Appropriateness Applications
- Form, Authorization to Traverse Land – Historic Preservation Commission
- Application, Subdivision (expedited)

---

<sup>2</sup> The property is zoned R5. Per the City's zoning code, the total depth of all side yards must be 25% of the lot width, and in no event shall any side yard be less than 9' in R5 zoning districts. Therefore, 9' would be needed since the easterly yard (considered a side yard due to the fact it is a corner lot) appears to be more than 36' (25% of the 145' width along central).

<sup>3</sup> Based on the measurements shown in the attached plan (40.90' Front Yard + ~68' for the existing house = 108' + 9' (required side yard setback) = 117' total.