

PUBLIC NOTICE

In accordance with the statutes of the State of Illinois and the ordinances of the City of Highland Park, a Regular Meeting of the *Historic Preservation Commission* of the City of Highland Park is scheduled to be held at the hour of 7:30 p.m., Thursday, March 12, 2015, at Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which meeting there will be a discussion of the following:

City of Highland Park
Historic Preservation Commission
Thursday, March 12, 2015
1707 St. Johns Avenue, City Hall
7:30 p.m.

REGULAR MEETING AGENDA

- I. **Call to Order**
- II. **Roll Call**
- III. **Approval of Minutes**
 - A. February 12, 2015
- IV. **Scheduled Business**
 - A. Determination of Significance
 - 2040 Berkeley Road
 - B. Request for Termination of a Demolition Delay
 - 1564 Oakwood Avenue
 - C. Certificate of Appropriateness
 - 2360 Sheridan Road
 - 129 Vine Avenue
- V. **Discussion Items**
 - A. Highland Park Real Estate Rider
 - B. Modernist House Program & Tour
- VI. **Business From the Public**
- VII. **Other Business**
 - A. Next meeting scheduled for April 9, 2015
- VIII. **Adjournment**

Historic Preservation Commission

2040 Berkeley Road Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II (Andrea West originally researched this case)
Date: 3/12/2015

<i>Year Built:</i>	c. 1930
<i>Style:</i>	Side-Gabled Cottage
<i>Petitioner:</i>	Scott Goldstein
<i>Size:</i>	2207 square feet
<i>Original Owner:</i>	Unknown
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	Unknown
<i>Significant Features:</i>	Side-gabled roof, gabled dormer
<i>Alterations:</i>	<ul style="list-style-type: none">• Garage Addition, date unknown• 1st Floor Bedroom, Living Space Addition, 1956
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 2040 Berkeley Road and how it may satisfy any of the landmark criteria listed below.



A demolition application has been submitted for the house at 2040 Berkeley Road; 2040 Berkeley Road is within the West Side Highland Park historical survey. This house was approved for demolition at the September 12, 2013 meeting of the HPC, but the demolition permit application was abandoned. As a result, a new application is necessary, which triggers a new historic review.

The Lake County Tax Assessor's data indicates the house was built in the 1930s. The City of Highland Park records do not provide any information as to when the original home was constructed, however, drawings on file indicate that the large brick, single-story portion of the home was constructed in 1956. The West Highland Park Reconnaissance Survey indicates that the surveyors found this property to be contributing, but no individual property profiles were created for those not found to be "S"-significant.

Historic Preservation Commission

Architectural Analysis

The original structure was a wood frame, vernacular, side-gabled, one and one half story structure; the exact age of this original structure is unknown; several additions have been made, including a large The attached 1949 plat of survey found within the Building Division files shows the original structure prior to additions. (Note: it appears this survey submitted as part of a permit pertaining to the construction of a small pool on the property in 1961.) The subject property is within the 1949 subdivision, Highland Park Estates.

The West Highland Park Reconnaissance Survey does not specifically discuss this home, however, the grounds located around the home are described in the below excerpt from the survey narrative:

HISTORY OF THE WEST SIDE OF HIGHLAND PARK

West Highland Park, which is the area west of Skokie Valley Road, was divided into quarter section farms and rural residences from the 1830s, the years of first settlement in northeastern Illinois. The area remained that way through the early 1920s. Some of the larger farms included the Zahnle Dairy Farm at Ridge and Berkeley Roads, the William Rechtenwald Farm near Woodridge, the Soefker Farm on Lake-Cook Road, the Mooney Family Farm at Ridge south of Richfield Road, and the Thomas McCraren Farm, some of which was later sold for the Highland Park Gardens subdivision and the electric line right of way. There are a few buildings still standing from these early residents. The Casper Zahnle farmhouse is at 1520 Ridge Road, although it has been considerably altered. The c.1880 brick house at 1973 Lake Cook Road may be one of the Soefker houses [1885 and 1907 plat maps] and 1135 Ridge Road may be one of the Mooney family farmhouses [1885 and 1907 plat maps]. John Mooney is remembered for the five acres of land he donated for a Catholic cemetery at Deerfield and Ridge roads and the park north of the cemetery that commemorates him. The F. D. Clavey Ravinia Nurseries were founded in 1867 by Fred D. Clavey on forested land north and south of what is now Clavey Road.

There were also large, rural residential properties, either summer residences or “gentlemen’s farms.” The most prominent was that of Walter C. Heller, now the Berkeley Prairie Preserve. Although no original buildings are left, there is a remnant of the original oak-savannah that once covered this part of the Midwest [NR nomination, 5]. Another estate was that of Martin Insull, the brother of Samuel Insull, the wealthy Chicago businessman who was involved in development on the west side of Highland Park. The Insull residence was demolished and replaced with a 1947 Georgian Revival Style house at 2000 Ridge Road. There were no multiple property subdivisions before 1919 when J.S. Hovland’s North Shore Acres was laid out in what was at that time in an unincorporated area south of Half Day Road. Thus the character of what was to become west Highland Park, even 90 years after the first European settlement,

Historic Preservation Commission

remained rural and agrarian. All that was to change in 1926 with the arrival of the North Shore electric railroad.

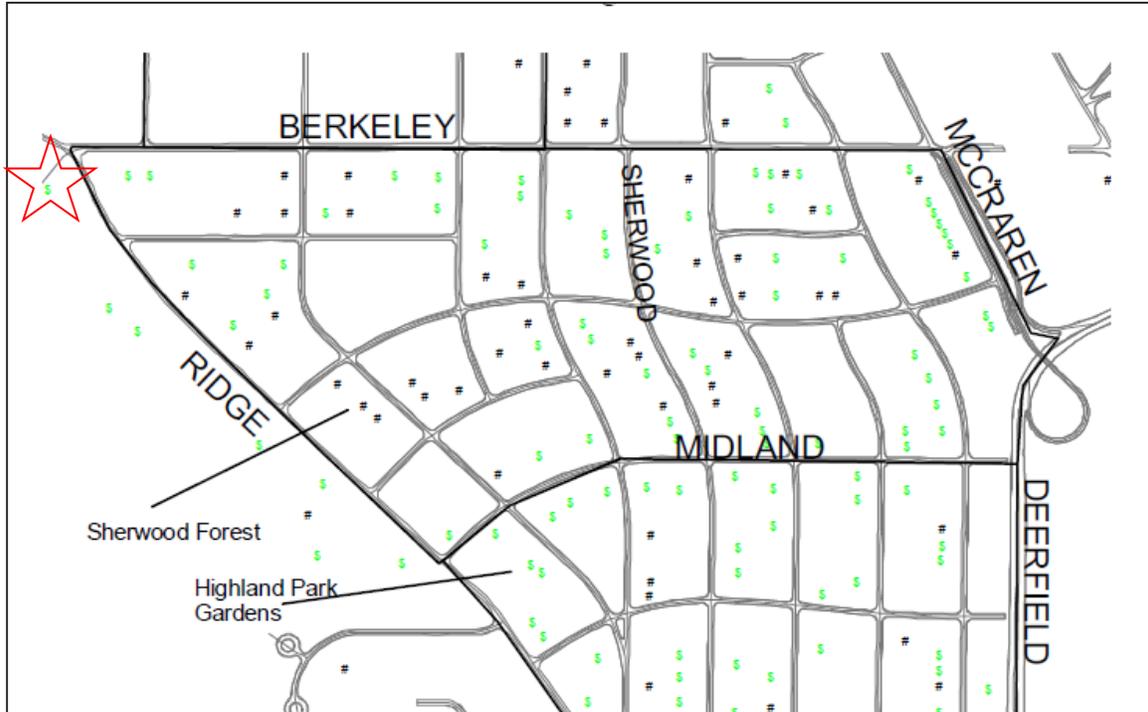


Figure 1: This map from page 16 of the West Highland Park Reconnaissance Survey indicates that the surveyors found this property to be contributing. No individual property profiles were created for properties that were not rated significant at the time this survey was completed.

Biographical Information

Two permits are available from the City Building Division files which state Emil T. Meyer as the property owner. Mr. Meyer installed a tool shed, built an addition of living space, and cement wading pool on the property. No information is available about Emil Meyer of Highland Park though the Tribune archives; however, around the same time a man of the same name from the Mayfair area of Chicago was a suspect in the murder of a professional accordion player later found in the Des Plaines River.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.

Historic Preservation Commission

- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

Location Map

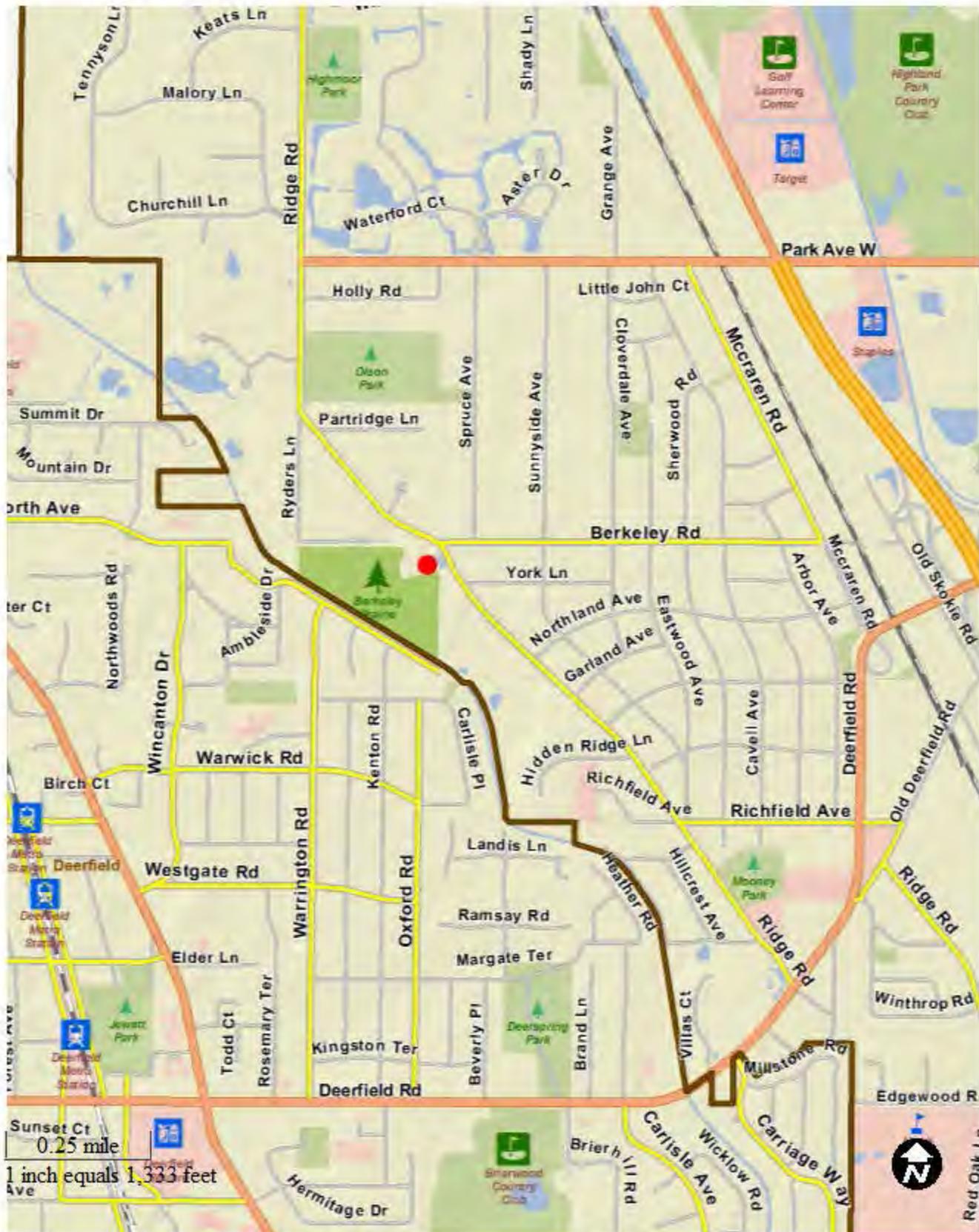
Site Photos

County Assessor Data

1949 Plat of Survey

Minutes from the 9/12/13 HPC meeting

2040 Berkeley Rd, Highland Park





Lake County, Illinois

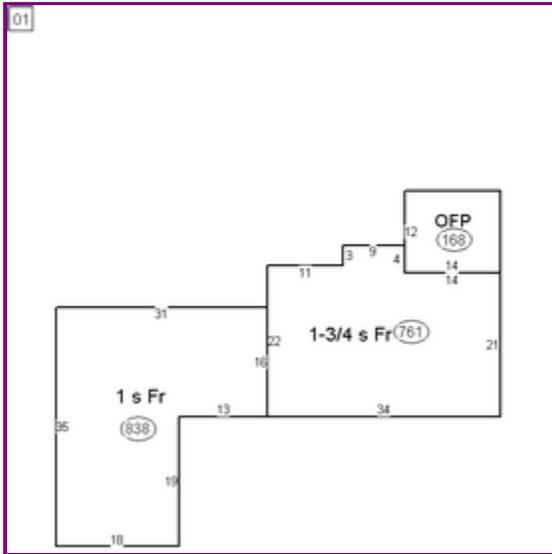
Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-28-104-002	Neighborhood Number:	1721100
Street Address:	2040 BERKELEY RD	Neighborhood Name:	RYDERS/PARTRIDGE/RIDGE
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$85,488	Total Land Square Footage:	40946.4
Building Amount:	\$55,524	House Type Code:	51
Total Amount:	\$141,012	Structure Type / Stories:	1.5+1
Township:	West Deerfield	Exterior Cover:	Wood siding
Assessment Date:	2013	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1930 / 1930
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	2207
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	0
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	2
		Number of Half Bathrooms:	0
		Fireplaces:	1
		Garage Attached / Detached / Carport:	0 / 1 / 0
		Garage Attached / Detached / Carport Area:	0 / 360 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	1 / 0
		Porches Open / Enclosed Area:	168 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a



legend.

Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
5/30/2012	\$481,750	Qualified	None

Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.

Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.

<http://apps01.lakecountyil.gov/SPassessor/comparables/PTAIPIN.aspx?PIN=1628104002>

2040 Berkeley NORTH

From: **Peggy Doetsch** peggydoetsch@gmail.com
Subject: North
Date: July 31, 2013, 10:46 AM
To: pdoetsch@comcast.net

RECEIVED

AUG - 2 2013

City of Highlands Park
Building Dept



Sent from my iPhone

RECEIVED

2040 Berkeley

EAST

7-2-2013

From: Peggy Doetsch peggydoetsch@gmail.com
Subject: East
Date: July 31, 2013, 10:46 AM
To: pdoetsch@comcast.net



Sent from my iPhone

2040 Berkeley

SOUTH

RECEIVED

From: **Peggy Doetsch** peggydoetsch@gmail.com

Subject: South

Date: July 31, 2013, 10:46 AM

To: pdoetsch@comcast.net

City of Highland Park
Building Dept



Sent from my iPhone

RECEIVED

2040 Berkeley
West

From: Peggy Doetsch peggydoetsch@gmail.com
Subject: West
Date: July 31, 2013, 10:45 AM
To: pdoetsch@comcast.net



Sent from my iPhone

Date April 7, 19 54

Building Permit No. 7657

Inspected by..... Date.....

For certificate of occupancy

Location of Building — No. 2040 Street Berkeley Road

Name of Owner Emil T. Meyer

Present Address Same as above Phone HI 2-8347

Type of Construction Tool Shed, Frame

Architect None Address..... Phone.....

General Contractor H. N. Gamlin Address 1664 First St Phone HI 2-5102

Permit issued to Contractor to construct a Tool shed

building on Lot 1 Blk..... Sub'n. Highland Park Estates

Builder's estimate \$600.00 Permit fee \$3.00 Job Order No. --- Amt. \$ ---

Location of building on Lot verified..... 19..... by.....

Sanitary provisions approved by.....

Other Inspections.....

DATE PERMIT ISSUED <u>August 3, 1961</u>		BUILDING ADDRESS <u>2040 Berkeley Road</u>		BUILDING PERMIT NUMBER <u>11366</u>
BUILDING ON		OF LOT	BLOCK	SUBDIVISION
NAME OF OWNER <u>Emil Meyer</u>	ADDRESS <u>2040 Berkeley Road</u>		PHONE NUMBER	
ARCHITECT	ADDRESS		PHONE NUMBER	
GENERAL CONTRACTOR <u>Owner</u>	ADDRESS		PHONE NUMBER	
PERMIT ISSUED TO <u>Same</u>	ADDRESS		PHONE NUMBER	
TYPE OF CONSTRUCTION <u>Concrete SFD Access. Wading Pool</u>		SQUARE FEET	CUBIC FEET	LOT AREA
BUILDER'S ESTIMATE \$	BUILDING DEPT. EST. \$ <u>20.00</u>	PERMIT FEE \$ <u>5.00</u>	BUILDING DEPOSIT \$	GUARANTEE DEPOSIT NUMBER
TYPE OF HEAT	PERMIT NUMBER	MAKE OF BURNER	DATE INSTALLED	LOCATION
DRIVEWAY PERMIT NO.	DEPOSIT NUMBER	DATE ISSUED	CONTRACTOR	
SITE INSPECTION		<u>8-4-61</u>	BY <u>E. McArthur</u>	
FOOTING AND FOUNDATIONS		<u>10-23-61</u>	BY <u>T. Pottenger</u>	
FRAMING		<u>10-23-61</u>	BY <u>T. Pottenger</u>	
ROOFING		<u>Not needed</u>	BY	
HEATING		<u>Not needed</u>	BY	
DRIVEWAY		<u>Not needed</u>	BY	



Electrical Contractor Address
 Wiring Permit No. Issued No. Fixtures
 Floor Area No. 15 Amp. Circuits required No. 20 Amp. Circuits required
 Size of main wire Size of branch wire System
 No. of Openings No. Sockets No. Circuits No. Motors No. Ranges
 Other Appliances
 Inspection by Date
 Plumbing Contractor Address
 Water Tap No. Sewer Tap No. Job Order No. Issued Paid
 Work Order No. Storm Tap No.
 No. Catch Basins No. Lavatories No. Toilets
 No. Baths No. Sinks No. Laundry Tubs
 No. Shower Baths No. Stacks Other Items
 Inspections
 Downspouts connected to 19 No.
 Kind of heat Name of Burner
 Tank and Burner Inspection
 Driveway Permit No. Date 19 Contractor
 Type

PLUMBING CONTRACTOR		ADDRESS				PHONE NUMBER
WATER TAP NO.	GUARANTEE DEPOSIT NO.	FEE	DATE ISSUED	SEWER TAP NO.	STORM TAP NO.	
NO. LAVATORIES	NO. LAUNDRY TUBS	NO. TOILETS	NO. BATHS	NO. SINKS	NO. SHOWERS	
OTHERS		DOWNSPOUTS CONNECT TO			DATE COMPLETED	
ELECTRICAL CONTRACTOR		ADDRESS				PHONE NUMBER
ELEC. PERMIT NO.	DATE ISSUED	NO. FIXTURES	FLOOR AREA	SIZE OF MAIN WIRE	SIZE OF BRANCH WIRE	
SYSTEM	NO. 15 AMP CIRCUITS	NO. 20 AMP CIRCUITS	NO. OPENINGS	NO. SOCKETS		
NO. CIRCUITS	NO. MOTORS	NO. RANGES	OTHERS			
DRAINAGE		10-23-61	BY	T. Pottenger		
PLUMBING		10-23-61	BY	T. Pottenger		
ELECTRICAL		not needed	BY			
FIRE REGULATIONS		10-23-61	BY	T. Pottenger		
FINAL INSPECTION		10-23-61	BY	T. Pottenger		
PLOTTED SURVEY SUBMITTED				CERTIFICATE OF OCCUPANCY ISSUED 11-20-61 <i>E. C. Pottenger</i>		

CITY OF HIGHLAND PARK, ILLINOIS
BUILDING DEPARTMENT

BUILDING PERMIT FILE CARD

Historic Preservation Commission

1564 Oakwood Avenue – Request to Terminate a Demolition Delay

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 3/12/2015

<i>Year Built:</i>	1915
<i>Style:</i>	American Foursquare
<i>Petitioner:</i>	Sanderman Properties, LLC
<i>Size:</i>	3,068 square feet
<i>Original Owner:</i>	Ray Sherwin
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	Unknown
<i>Significant Features:</i>	Red brick veneer, paired windows, hipped roof
<i>Alterations:</i>	<ul style="list-style-type: none">• first and second story additions
<i>Staff Opinion:</i>	Staff recommends the HPC consider the applicant's petition to terminate the 180-day demolition delay on 1564 Oakwood Avenue.



The Historic Preservation Commission considered demolition applications for two adjacent properties on Oakwood Avenue in January, 2015. The houses, 1554 and 1564 Oakwood, were discussed concurrently and 1554 was approved for demolition. The HPC determined that 1564 Oakwood satisfied two landmark standards and placed the structure under a 180-day demolition delay.

1564 Oakwood is a 3,000 square foot brick American Foursquare style house built in 1915. It was reviewed for demolition in 2005. At that time, the Historic Preservation Commission determined that the house did not satisfy any landmark criteria and it was approved for demolition.

Historic Preservation Commission

Architectural Analysis

The house is identified as Craftsman style in the historic surveys, but the 2005 staff report for the determination of significance identifies it as American Foursquare. The 2004 Bob-o-Link area architectural survey provides this description of the latter:

American Foursquare houses are simple, usually symmetrical houses that began to appear at the turn of the last century. The house is typically square or nearly square in plan with four equal-sized rooms, one in each corner. The house is usually two to 2½ stories tall and two to three bays wide, with a hipped or pyramidal roof, dormers, a full-width porch with classical or squared-off columns and piers, and overhanging eaves. Plan book and catalog companies featured many Foursquare designs between 1900 and 1925.

The HPC found that the house met landmark standards 4 and 6:

- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.

Petition to Terminate the Demolition Delay

Section 170.035(E)(6) states the following: "...the [Historic Preservation] Commission may terminate its review period at any time in the event that it determines, based upon a showing by the Applicant, that a bona fide, reasonable, and unsuccessful effort has been made to sell the Structure for which a Demolition permit has been sought, and/or that further time will not reasonably be expected to result in a sale or otherwise to result in the avoidance of the necessity to demolish the Structure."

In an effort to demonstrate that further time in a demolition delay will not result in the avoidance of the necessity to demolish the house at 1564 Oakwood Avenue, the owner has presented the Commission with development plans for the property and the two adjacent properties. The graphic in **Figure 1** illustrates the development area. Property owner Steve Sanderman indicates in his letter to the Commission that he owns all three properties and intends to consolidate them into a single redevelopment project. All three properties are zoned for multi-family residential use, so the project will likely incorporate a multi-family development. The adjacent property at 1554 Oakwood has been approved for demolition and 1574 Oakwood is



Figure 1: 1564 Oakwood Avenue

Historic Preservation Commission

vacant. Mr. Sanderman discusses the impracticality of seeking a new buyer for 1564 Oakwood, as this would make the redevelopment of the entire site impossible. Mr. Sanderman's letter further notes the house has sustained considerable damage through neglect (prior to his ownership) and would require extensive remediation.

Recommended Action

The Historic Preservation Commission is asked to review the documentation submitted by the applicant and discuss whether the petition for the termination of the 180-day review period for 1564 Oakwood meets the standards established in Section 170.035(E)(6) of the City Code.

Attachments

- Letter from Steve Sanderman requesting termination of the demo delay
- Staff memo for the determination of significance for 1564 Oakwood from 1/8/15 HPC meeting

February 23, 2015

Submittal to the City of Highland Park Historic Preservation Commission

Request to terminate the demolition delay on 1564 Oakwood Ave.

As owner of 1564 Oakwood Ave., Highland Park, we respectfully request the termination of the 180-day demolition delay based on the standard that further time will not result in the avoidance of the necessity to demolish the structure.

1564 Oakwood is the middle of three properties owned by Sanderman Properties LLC. We also own 1576 Oakwood to the north and 1554 Oakwood to the south. It is our hope to construct a new building across these three properties that will meet the approval of the City as well as add value to the Community. As the middle property, we need to demolish the current structure to make the project viable. Selling 1564 Oakwood to another party is not an option for us.

In addition, there are economic conditions that will prevent the house from being saved as well. 1564 Oakwood was vacated by its tenants in the summer/fall of 2013. The house has remained vacant since that time. The power was disconnected at some point by the previous owners and the water pipes burst in the winter of 2013. As a result, the house incurred massive flooding from the third floor bathroom down to the basement. The water damaged floors, walls and ceilings throughout the house. No repairs have been made since the flooding. At some point, before we purchased the house several essential components of the house were stripped and removed including parts of the boiler system, electric, ventilation system, appliances, plumbing fixtures, cabinets and interior doors. Overall, the house needs all new mechanicals, flooring, walls, insulation, roof, trim and finishes. Our estimate to restore the house to its original condition would be approximately \$515,000.

It is our hope that the Historic Preservation Commission will consider this additional information and agree to terminate the 180-day demolition delay. Thank you for your time and consideration.

Very truly yours,

A handwritten signature in black ink, appearing to read "Steve Sanderman", written in a cursive style.

Steve Sanderman

Sanderman Properties LLC.

Historic Preservation Commission

1564 Oakwood Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 1/8/2015

<i>Year Built:</i>	1915
<i>Style:</i>	American Foursquare
<i>Petitioner:</i>	Sanderman Properties, LLC
<i>Size:</i>	3,068 square feet
<i>Original Owner:</i>	Ray Sherwin
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	Unknown
<i>Significant Features:</i>	Red brick veneer, paired windows, hipped roof
<i>Alterations:</i>	<ul style="list-style-type: none">• first and second story additions
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 1474 McDaniels Avenue and how it may satisfy any of the landmark criteria listed below.



A demolition application has been submitted for the house at 1564 Oakwood Avenue. A demo permit is likewise sought for the adjacent house at 1554 Oakwood Avenue. The house at 1564 is a 3,000 square foot brick American Foursquare style house. It was built in 1915, so any original architectural drawings or building permits have been lost to history. It is rare to find any documentation older than the mid-1920s in the City's archives. The house has had modifications over the years, including a dormer addition in 1929.

The house was reviewed for demolition in 2005. At that time, the Historic Preservation Commission determined that the house did not satisfy any landmark criteria and it was approved for demolition.

Historic Preservation Commission

The Historic Preservation Commission nominated this area as a historic district in 2003. About 40 houses on either side of Oakwood were included. The houses at 1554 and 1564 were considered C – Contributing, but not Significant within the district. In the end there were not enough votes from property owners, so the historic district was defeated.

Architectural Analysis

The house is identified as Craftsman style in the historic surveys, but the 2005 staff report for the determination of significance identifies it as American Foursquare. The 2004 Bob-o-Link area architectural survey provides this description of the latter:

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Biographical Information

Research did not reveal any notable contributions by Ray Sherwin, the original owner of 1564 Oakwood, to either local or regional history.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
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Historic Preservation Commission

- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

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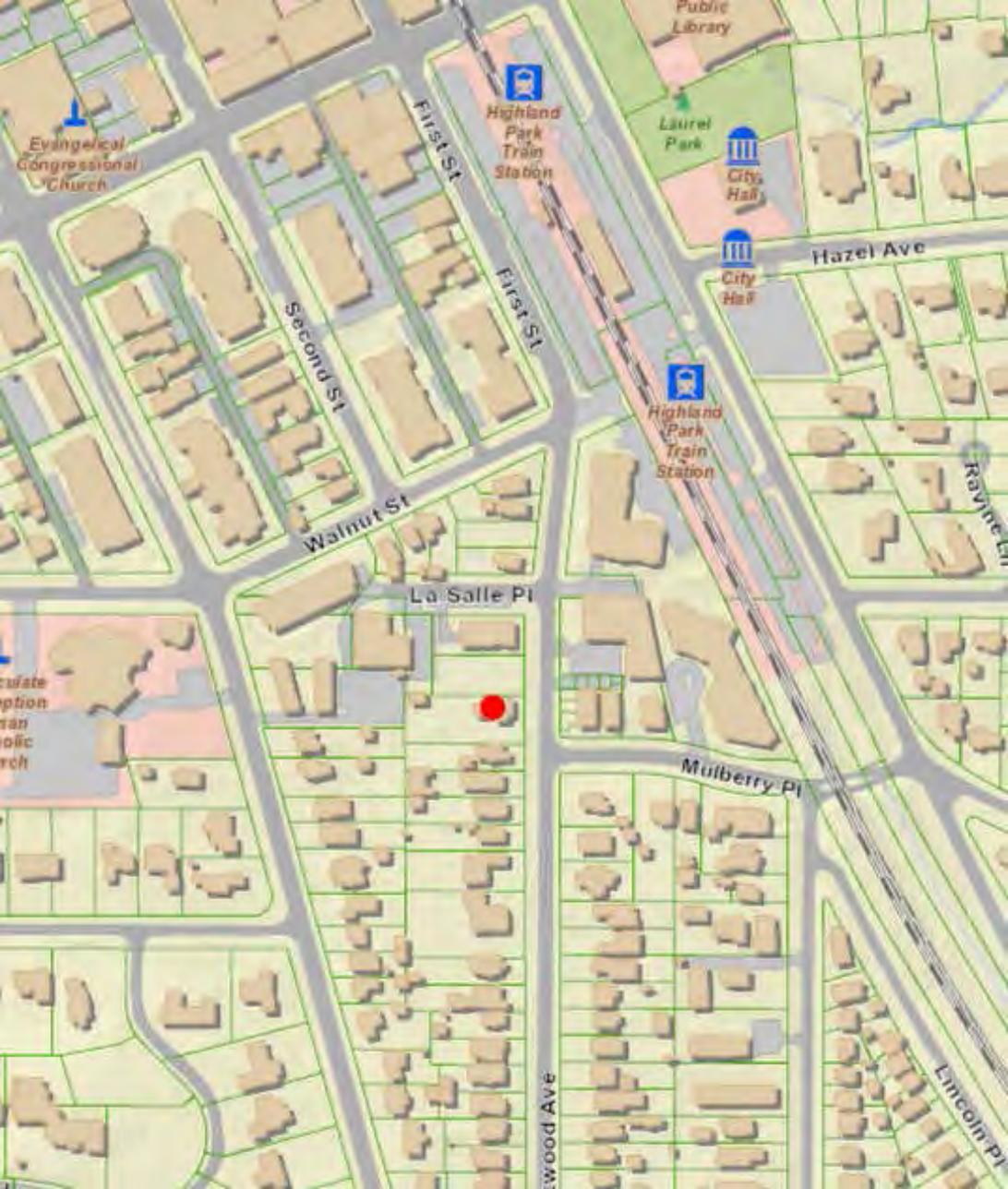
Location Map

Site Photos

Architectural Survey Entry

County Assessor Data

2005 Staff Report and Demolition Approval



Evangelical
Congressional
Church

Highland
Park
Train
Station

City
Hall

City
Hall

Highland
Park
Train
Station

La Salle Pl

Mulberry Pl

Wood Ave

Lincoln Pl

1564 OAKWOOD



1564

1564 Oakwood Avenue, Highland Park, IL 60035

RECEIVED

DEC 23 2014

**City of Highland Park
Building Dept.**



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

City of HIGHLAND PARK

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #

DIRECTION

STREET

STREET TYPE

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



GENERAL INFORMATION

CATEGORY	<input type="text" value="building"/>	CURRENT FUNCTION	<input type="text" value="Domestic - single dwelling"/>
CONDITION	<input type="text" value="good"/>	HISTORIC FUNCTION	<input type="text" value="Domestic - single dwelling"/>
INTEGRITY	<input type="text" value="minor alterations and addition(s)"/>	REASON for SIGNIFICANCE	<input type="text"/>
SECONDARY STRUCTURE	<input type="text" value="detached garage"/>		
SECONDARY STRUCTURE	<input type="text"/>		

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Craftsman"/>	PLAN	<input type="text" value="irregular"/>
DETAILS	<input type="text"/>	NO OF STORIES	<input type="text" value="2.5"/>
DATE of construction	<input type="text" value="c. 1915"/>	ROOF TYPE	<input type="text" value="Hipped"/>
OTHER YEAR	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
DATESOURCE	<input type="text" value="Surveyor"/>	FOUNDATION	<input type="text" value="Brick"/>
WALL MATERIAL (current)	<input type="text" value="Brick"/>	PORCH	<input type="text"/>
WALL MATERIAL 2 (current)	<input type="text"/>	WINDOW MATERIAL	<input type="text" value="Wood"/>
WALL MATERIAL (original)	<input type="text" value="Brick"/>	WINDOW MATERIAL	<input type="text" value="Vinyl"/>
WALL MATERIAL 2 (original)	<input type="text"/>	WINDOW TYPE	<input type="text" value="double hung/casement"/>
		WINDOW CONFIG	<input type="text" value="6/1; 4/1; diamond/1; 15-ligh"/>

SIGNIFICANT FEATURES

ALTERATIONS

HISTORIC INFORMATION

HISTORIC NAME	<input type="text"/>
COMMON NAME	<input type="text"/>
PERMIT NO	<input type="text"/>
COST	<input type="text"/>
ARCHITECT	<input type="text"/>
ARCHITECT2	<input type="text"/>
BUILDER	<input type="text"/>
ARCHITECT SOURCE	<input type="text"/>



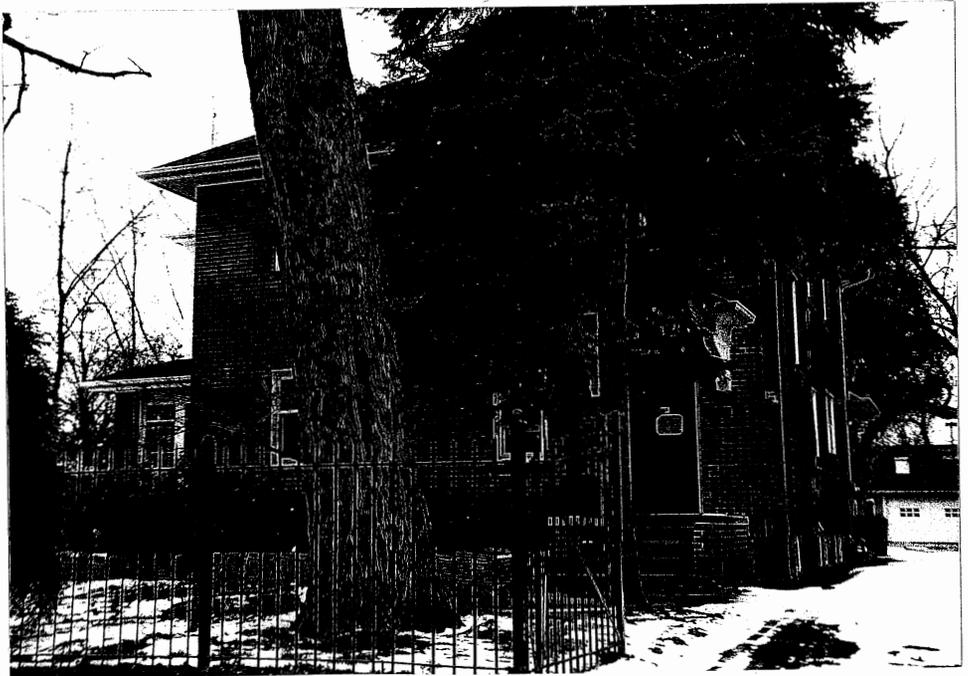
HISTORIC INFO

LANDSCAPE

Midblock on west side of residential street; front sidewalk; side driveway; similar setbacks; mature trees

PHOTO INFORMATION

ROLL1	<input type="text" value="09"/>
FRAMES1	<input type="text" value="13-15"/>
ROLL2	<input type="text"/>
FRAMES2	<input type="text"/>
ROLL3	<input type="text"/>
FRAMES3	<input type="text"/>
DIGITAL PHOTO ID	<input type="text" value="K:\Historic Preservation\SU"/>



City of HIGHLAND PARK

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY CONTINUATION SHEET

STREET # 1564

STREET OAKWOOD AVE.

ADDITIONAL PHOTOS OR INFORMATION

Significant Features

Low pitched hipped roof w/ overhanging eaves; inset front dormer & side dormers w/ hipped roofs; front stoop w/ brick stairs & hipped canopy w/ curved brackets; historic 6/1 wood windows on main house; 1 story south (left) side sunroom w/ 15-light casement windows



Lake County, Illinois

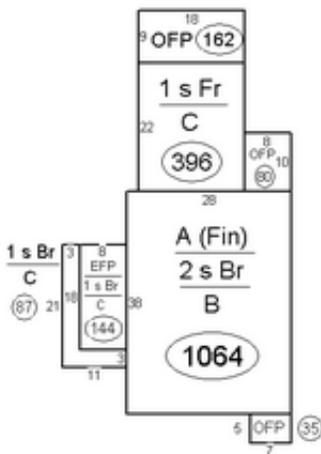
Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-26-201-004	Neighborhood Number:	1826050
Street Address:	1564 OAKWOOD AVE	Neighborhood Name:	Ravinia Highlands
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$91,957	Total Land Square Footage:	19901
Building Amount:	\$96,804	House Type Code:	22
Total Amount:	\$188,761	Structure Type / Stories:	2.0
Township:	Moraine	Exterior Cover:	Brick
Assessment Date:	2014	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1915 / 1923
		Condition:	Average
		Quality Grade:	VGd
		Above Ground Living Area (Square Feet):	3086
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	1064
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	2
		Number of Half Bathrooms:	1
		Fireplaces:	1
		Garage Attached / Detached / Carport:	0 / 1 / 0
		Garage Attached / Detached / Carport Area:	0 / 416 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	3 / 0
		Porches Open / Enclosed Area:	277 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

01



Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

Property Sales History

[Sale valuation definitions](#)

Date of Sale	Sale Amount	Sales Validation	Compulsory Sale
1/21/2005	\$1,000,000	Unqualified	

Changes made to the sketch drawings are uploaded to the website every two weeks. The property characteristics appearing on this page show any changes made by an assessor the following day.

Please note that the characteristic information shown above is only a summary of information extracted from the Township Assessor's property records. For more detailed and complete characteristic information please contact your local township assessor. Likewise, any errors/omissions/discrepancies should be discussed with the appropriate township office.

<http://apps01.lakecountyil.gov/spassessor/comparables/ptaipin.aspx?Pin=1626201004>

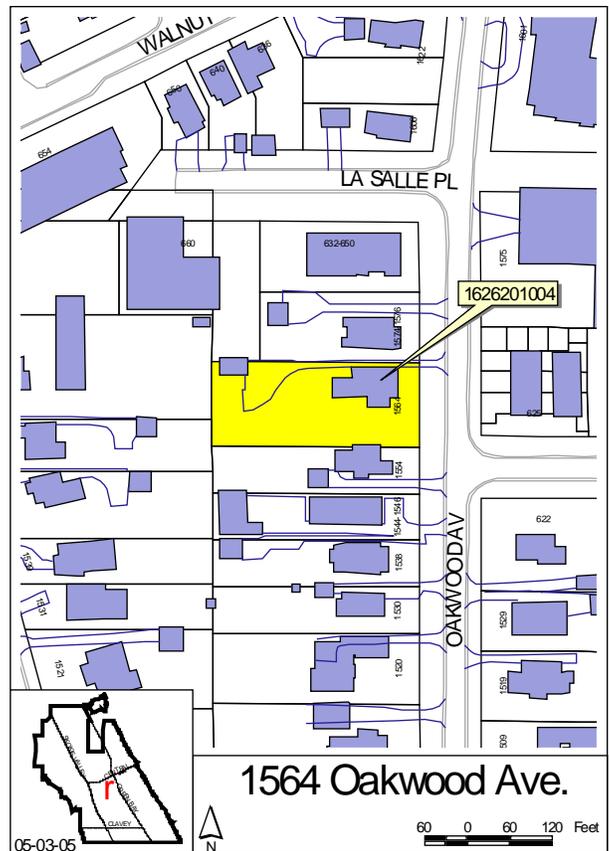
1564 Oakwood Ave.

Built:	1915
Style:	American Foursquare
Structure:	2 ½ story house
Original Owner:	Ray Sherwin
Architect:	Unknown
Cost:	Unknown
Legal Description:	16-26-201-004
Significant Features:	red brick veneer; paired windows; hipped roof; hipped roof attic dormers; first and second story additions;
Alterations:	second story addition; rear additions

Staff Opinion

This home was included as a “Contributing” structure in the failed Oakwood Historic District. It may meet landmark criteria #4:

- (4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction or use of indigenous materials;



Memo

To: Building Division

From: Larry Shure, Planner I

LS.

CC:

Date: 5/13/2005

Re: Historic Preservation Demo Approval for: **1564 Oakwood Avenue**

At the Historic Preservation Commission Meeting on:

5/12/2005

the Commission determined that no landmark criteria were fulfilled and voted to approve the demolition request for the following property:

1564 Oakwood Avenue

If you have any questions please call me at ext. 1853. Thanks.

Historic Preservation Commission

Certificate of Appropriateness – 2360 Sheridan Road

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 3/12/2015

Property Location: 2360 Sheridan Road

Petitioner: Steve & Courtney Weinberg
2360 Sheridan Road
Highland Park, IL 60035

Historical Name: W. Lamborn House

Historical Status: Local Landmark (1985)

Project Architect: Thomas Knapp
TR Knapp Architects
320 N. Main Street
Lombard, IL 60148



SUMMARY OF THE PETITION

The owners are proposing to add a small addition on the rear of the house as part of a kitchen expansion. The 145-square foot addition is located directly behind the small single story sunroom on the left side of the house on the image above. The architect, Tom Knapp, has drafted a detailed project description included in the attachments. The windows, roof, and stucco exterior on the addition will match the existing house. Mr. Knapp was also the architect for a major renovation on the house that received HPC approval in 2004.

The D.E. Lamborn House

This house was designed by George Maher and built in 1910. It was designated as a local landmark in 1985. The landmark nomination form provides the following information on Maher:

George W. Maher was a contemporary of Frank Lloyd Wright and trained with him in the office of Joseph Lyman Silisbee. Though Maher's work is often grouped with Prairie architects, his style bore a stronger resemblance to design of the English Arts and Crafts movement. Maher was well published.

Historic Preservation Commission

Illustrations of this and other Highland Park houses appeared in *Western Architect* and *American Architect* between 1907 and 1914.

2360 Sheridan Road was placed on the National Register of Historic Places in 1982. The nomination form for the Register has the following information:

In the Lamborn House, Maher utilized his characteristic stylistic detailings at the same time as he achieved simplicity by reducing the building to a basic symmetrical rectangular shape very similar to his Schultz house in Kenilworth. This two-story, hipped-roof house is easily recognizable as a building designed by Maher because of its canted walls, wide overhangs, and a columned doorway supporting a segmental arch. The ribbon window motif has been utilized on the second floor in a series of five casements filled with beautiful leaded glass. A 1969 fire caused some interior damage, but aside from an enclosed side porch, the building's exterior has not been altered.

STANDARDS FOR CERTIFICATES OF APPROPRIATENESS

The following are the Standards for Certificates of Appropriateness as listed in Section 24.030(D) of the City Code. These standards apply to modifications of all Regulated Structures within Historic Districts:

(1) Height. The height of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

(2) Proportion of front facade. The relationship of the width to the height of the front elevation of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

(3) Proportion of openings. The relationship of the width to height of windows and doors of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visually related.

(4) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related. .

Historic Preservation Commission

(5) Rhythm of spacing and structures on streets. The relationship of a Landmark, Regulated Structure, or a Contributing Regulated Structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

(6) Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections of the proposed new Structure to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

(7) Relationship of materials and texture. The relationship of the materials and texture of the façade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the predominant materials used in the structures to which it is visually related.

(8) Roof shapes. The roof shape of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the structures to which it is visually related.

(9) Walls of continuity. Facades and Property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places to which such elements are visually related.

(10) Scale of a structure. The size and mass of a Landmark, Regulated Structure, or a Contributing Regulated Structure in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which they are visually related.

(11) Directional expression of front elevation. A Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

(12) Destruction or alteration of the historic features. The distinguishing historic qualities or character of a Landmark Regulated Structure or Contributing Regulated Structure and its environment shall not be destroyed. The Alteration of any historic or material or distinctive architectural features should be avoided when possible.

(13) Archaeological and natural resources. Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

Historic Preservation Commission

(14) Architectural Compatibility. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

(15) Use compatibility. Every reasonable effort shall be made to provide a compatible use for a Regulated Structure or Contributing Regulated Structure that requires minimal alteration of the Regulated Structure or a Contributing Regulated Structure and its environment, or to use a Regulated Structure or Contributing Regulated Structure for its originally intended purpose.

(16) Maintenance of Time Period Appearance. All Regulated Structures or Contributing Regulated Structures shall be recognized as products of their own time and so alterations that have no historical basis and which seek to create an earlier appearance than is properly attributable to the particular Regulated Structure or Contributing Regulated Structure that is being altered shall be discouraged. However, contemporary design for Alterations and additions to Regulated Structures or Contributing Regulated Structures shall not be discouraged when such Alterations and additions do not destroy significant historical, architectural, visual, aesthetic, archaeological or cultural material, and such design is compatible with the size, scale, color, material, and character of the Regulated Structure or Contributing Regulated Structure, neighborhood or environment.

(17) Significance of changes made in the course of time. Changes that may have taken place in the course of time are evidence of the history and development of Regulated Structure or Contributing Regulated Structure and their environments. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

(18) Sensitivity to distinct features. Distinctive stylistic features or examples of skilled craftsmanship or artistry, which characterize a Regulated Structure or Contributing Regulated Structure, shall be treated with sensitivity.

(19) Repair to deteriorated features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;

(20) Surface cleaning. The surface cleaning of the Regulated Structure or Contributing Regulated Structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or

Historic Preservation Commission

archaeologically significant materials used in such Landmark, Regulated Structure, or a Contributing Regulated Structure shall not be undertaken;

(21) Wherever possible, additions or Alterations to a Regulated Structure or Contributing Regulated Structure shall be done in such manner that if such additions or Alterations were to be removed in the future, the essential form and integrity of the Landmark, Regulated Structure, or Contributing Regulated Structure would not be impaired.

RECOMMENDATION

The Historic Preservation Commission is asked to review the proposed alterations to 2630 Sheridan Road and determine whether the standard for a Certificate of Appropriateness as established in Chapter 24 of the Highland Park City Code are satisfied.

ATTACHMENTS

- Project Narrative drafted by the applicant
- Plan set
- Landmark nomination form dated April 18, 1985



T.R. KNAPP Architects

Residential and Commercial Architecture
Construction Management
Landscape Design

February 20, 2015

Historic Preservation Commission
City of Highland Park
1707 St Johns Avenue
Highland Park, Illinois 60035

Re: Historic Preservation Review
WH Lamborn House - 2360 Sheridan Road
The Weinberg Residence
New One Story Kitchen Addition

Commissioners,

Please accept the attached submission of Architectural Drawings for review of Historic Preservation Standards.

Steve and Courtney Weinberg have owned their house since 2002 and completed a major remodeling and addition to their home in 2004. The Project they are considering now is a complete remodel and expansion of their existing Kitchen. The proposed structure is 10'-8" x 13'-8" and is one story tall. It will have Stucco Wall Finishes to match the Existing Stucco Walls and a New Asphalt Shingle Roof to match the Existing Asphalt Shingle. The New Structure will be entirely to the rear of the existing house and will not be seen from the street. It is designed to be a simple extension of the existing residence, similar in form and materials.

The WH Lamborn House is an Historic Residence built in 1908 by George W. Maher. The home is listed on the National List of Historic Places and is considered important to the local Historic District. Mr. and Mrs. Weinberg hired TR Knapp Architects for their extensive remodeling in 2004 and that project received an award from your committee for Historic Restoration. We also completed a similar remodeling in 2005 on the Shultz House in Winnetka which was designed and built by GW Maher in 1907 – that project also received an award for Historic Preservation from the Village of Winnetka. We firmly believe that the current Proposed Project is consistent with the city's established standards for remodeling and will not have an adverse effect on the structure nor the historic character of the district. Please allow our team to build the addition as planned.

Thank you for the opportunity to provide this submittal for your consideration.

If you would like any additional information regarding the Proposed Project or our company, please feel free to call at any time. We look forward to working with you.

Respectfully,

Thomas Knapp, President
TR Knapp Architects



T.R. Knapp
 ARCHITECTS
 320 North Main Street
 Lombard, Illinois 60148
 630.620.6512

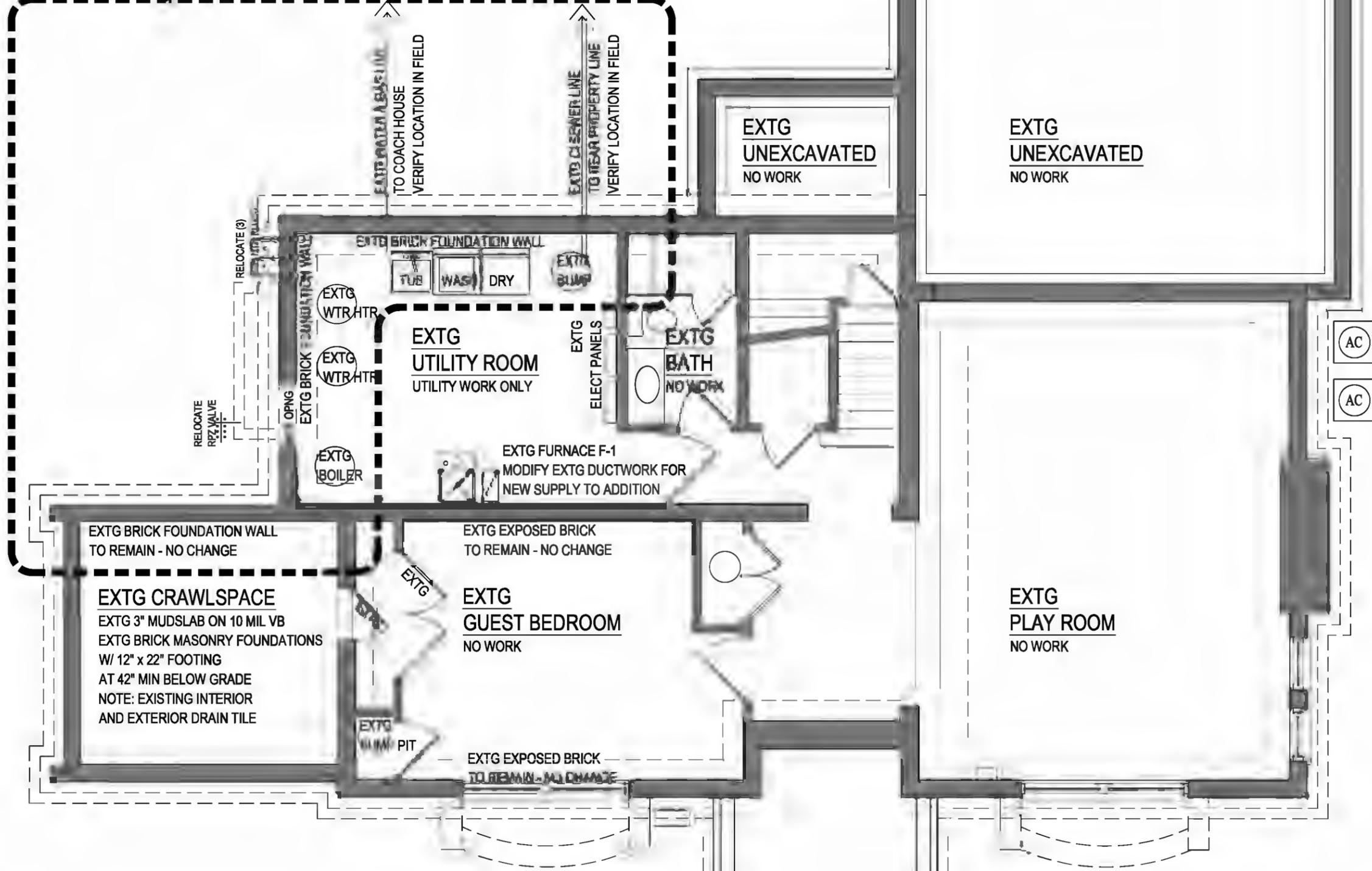
WEINBERG RESIDENCE
 KITCHEN REMODELING / ADDITION
 STEVE AND COURTNEY WEINBERG
 2360 SHERIDAN ROAD
 HIGHLAND PARK, ILLINOIS

NO.	DESCRIPTION	DATE
1	EXISTING BASEMENT FLOOR DEMOLITION PLAN	1/18/15

PROJECT NAME: WEINBERG RESIDENCE
 SHEET NUMBER: A1.0
 PROJECT NUMBER: 150101
 DATE: 1/18/15

PROJECT NO:
A1.0

BASE SCOPE OF WORK - KITCHEN FOOTINGS



1 EXISTING BASEMENT FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"

WALL LEGEND
 EXTG PARTITION [Solid Line]
 NEW PARTITION [Dashed Line]
 DEMOLISHED PARTITION [Dotted Line]

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



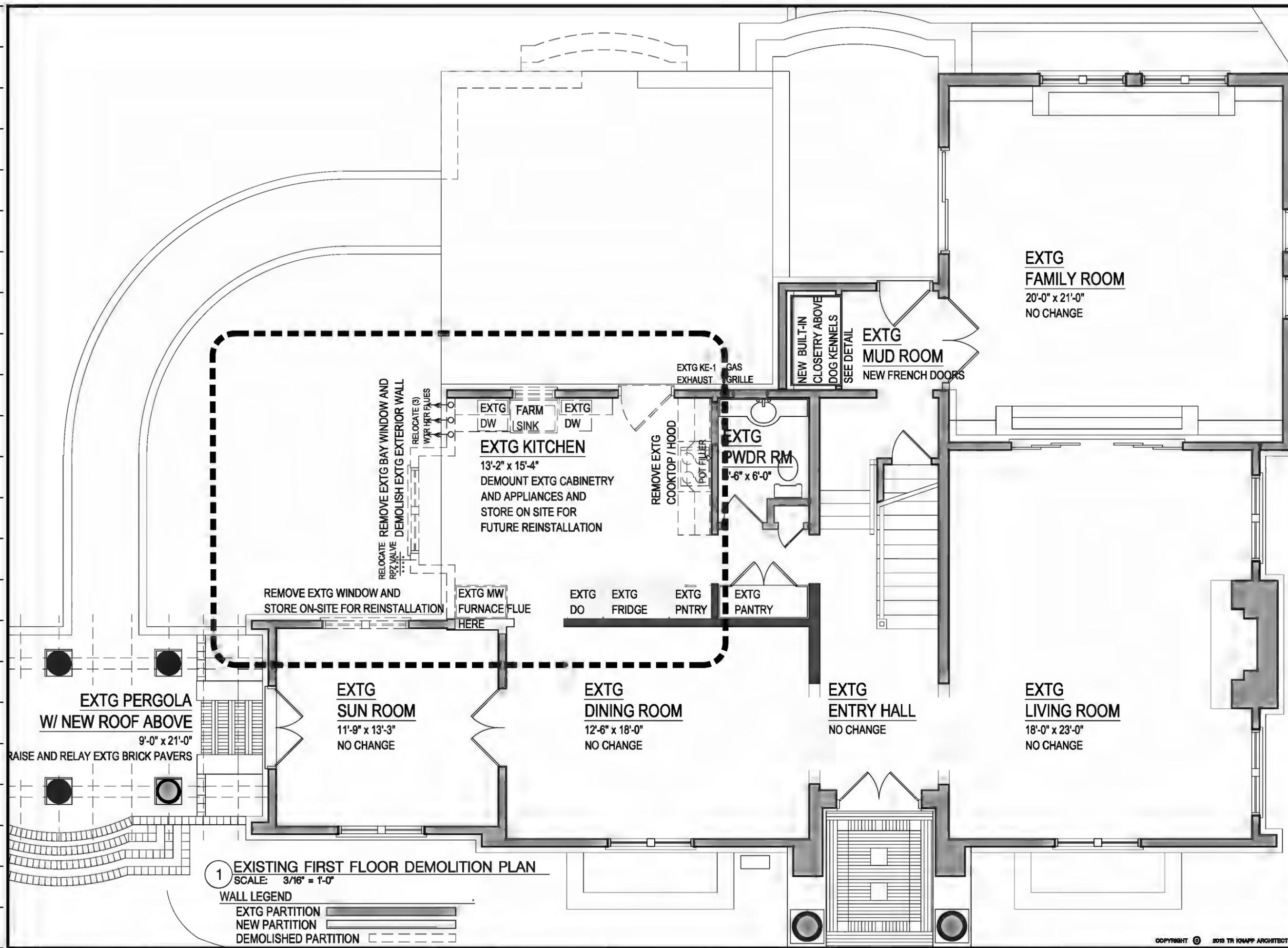
T.R. Knapp
ARCHITECTS
320 North Main Street
Lombard, Illinois 60148
630.620.6512

WEINBERG RESIDENCE
KITCHEN REMODELING / ADDITION
STEVE AND COURTNEY WEINBERG
2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NO.	DATE	REVISION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN
4		ISSUE

FILE NAME: WEINBERG
JOB NUMBER: 21004
SHEET NAME: FIRST FLOOR PLAN
SHEET NO:

A1.1





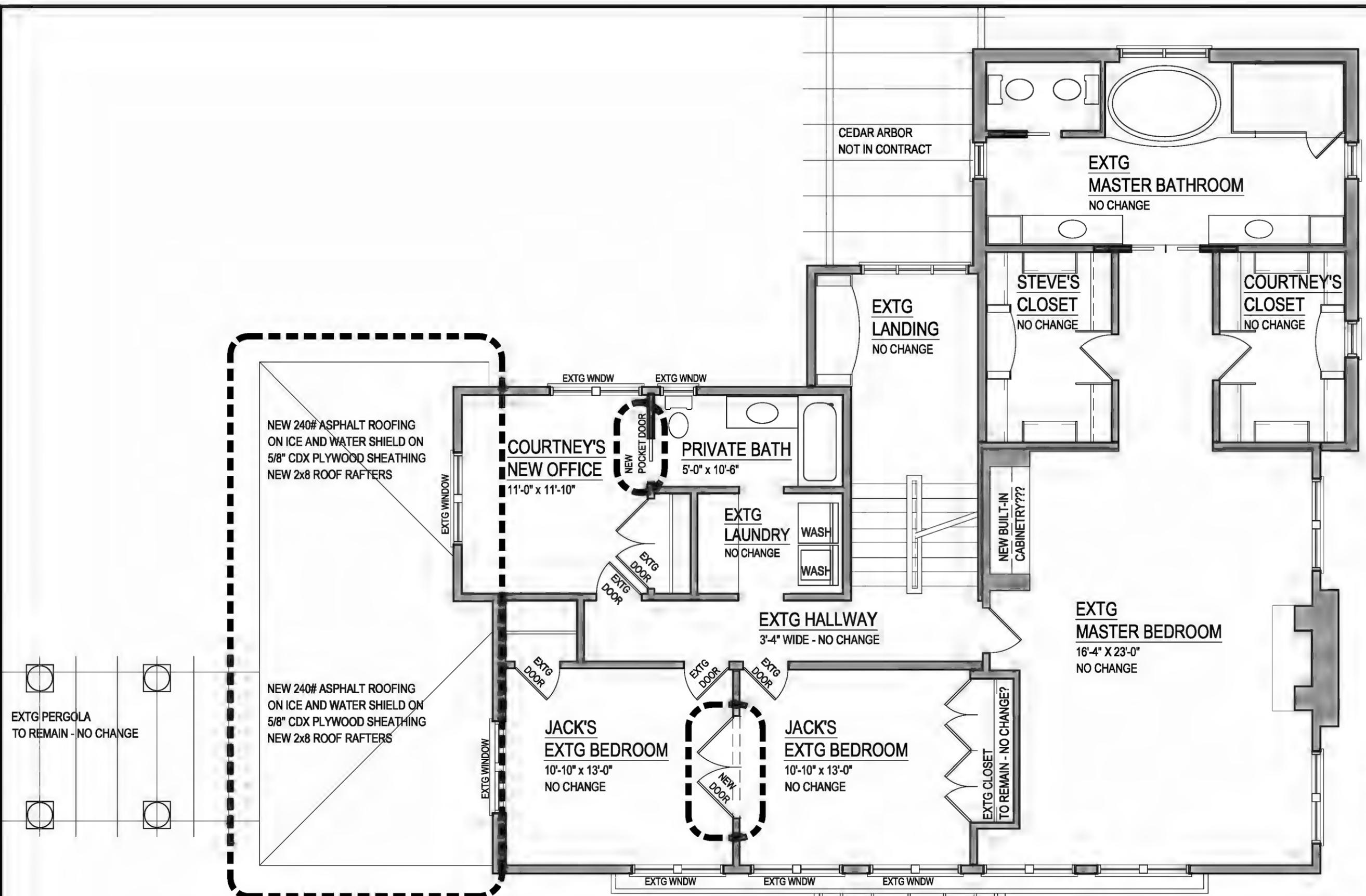
T.R. Knapp
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WEINBERG RESIDENCE
 KITCHEN REMODELING / ADDITION
 STEVE AND COURTNEY WEINBERG
 2360 SHERIDAN ROAD
 HIGHLAND PARK, ILLINOIS

NO.	DATE	REVISION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN

FILE NAME: WEINBERG
 JOB NUMBER: 21904
 SHEET NAME: SECOND FLOOR PLAN
 SHEET NO:

A1.2



1 PROPOSED SECOND FLOOR / ROOF PLAN
 SCALE: 3/16" = 1'-0"

WALL LEGEND
 EXTG PARTITION [Solid line with arrow]
 NEW PARTITION [Solid line]
 DEMOLISHED PARTITION [Dashed line]

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.

STEVE'S HOT TUB

FUTURE - N.I.C.
NO PATIO EXPANSION

EXTG BRICK PATIO

TO REMAIN - NO CHANGE



T.R. Knapp
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320 North Main Street
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2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.

NO.	DATE	ISSUE
1	12-18-14	ISSUE
2	01-16-15	REVISION

PROJECT: WEINBERG RESIDENCE - FEBRUARY 18, 2015

FILE NAME: WEINBERG_P01

DRAWING NUMBER: 1000

SHEET NAME: FIRST FLOOR PLAN DETAIL

SHEET NO: A2.1

EXISTING HALL CLOSET
NO CHANGE

GAS GRILLE

NEW 60" PATIO DOOR

INFILL WNDW

INSTALL NEW (3) 24x48 CASMENT WNDWS

FPSC

EXTG PWDR RM
5'-6" x 6'-0"

REUSE EXTG 48" WIDE FRIDGE / FRZR

NEW PANTRY

NEW BUTLER'S PANTRY

EXPANDED KITCHEN

13'-2" x 26'-0"
REFINISH EXTG HARDWD FLRS
NEW 42" x 144" ISLAND GRANITE COUNTERTOPS
MICROWAVE & TRASH BINS

EXTG DISPOSAL UNDERCAB LTG (TYP)

TV ABOVE OPEN CNTRTOP

EXTG FARM SK

EXTG DW

EXTG DW

REUSE EXTG 36" GAS COOKTOP W/ 48" ARCH HOOD

RELOCATE (3) WTR HTR FLUES

NEW KE-1 EXHAUST FAN

RELOCATE RPZ VALVE

APPLIANCE GARAGE

13'-2"

4'-0"

10'-2"

26"

96"

13'-3"

11'-8"

EXTG SUN ROOM

NEW BREAKFAST RM

11'-8" x 13'-3"

37"

67"

72"

18'-1"

77"

EXTG DINING ROOM

12'-6" x 18'-0"

NO CHANGE

NEW 72" CASED OPENING
NEW HEADER ABOVE

NEW 96" CASED OPENING
NEW HEADER ABOVE

INFILL EXTG OPNG

NEW OPENING / RECESSED BM ABOVE

24"

42"

42"

50"

72"

8'-4"

5'-4"

2'-2"

10'-8"

13'-8"

1 PREFERRED KITCHEN PLAN
SCALE: 3/8" = 1'-0"

WALL LEGEND
EXTG PARTITION [Solid Grey]
NEW PARTITION [Solid White]
DEMOLISHED PARTITION [Dashed]



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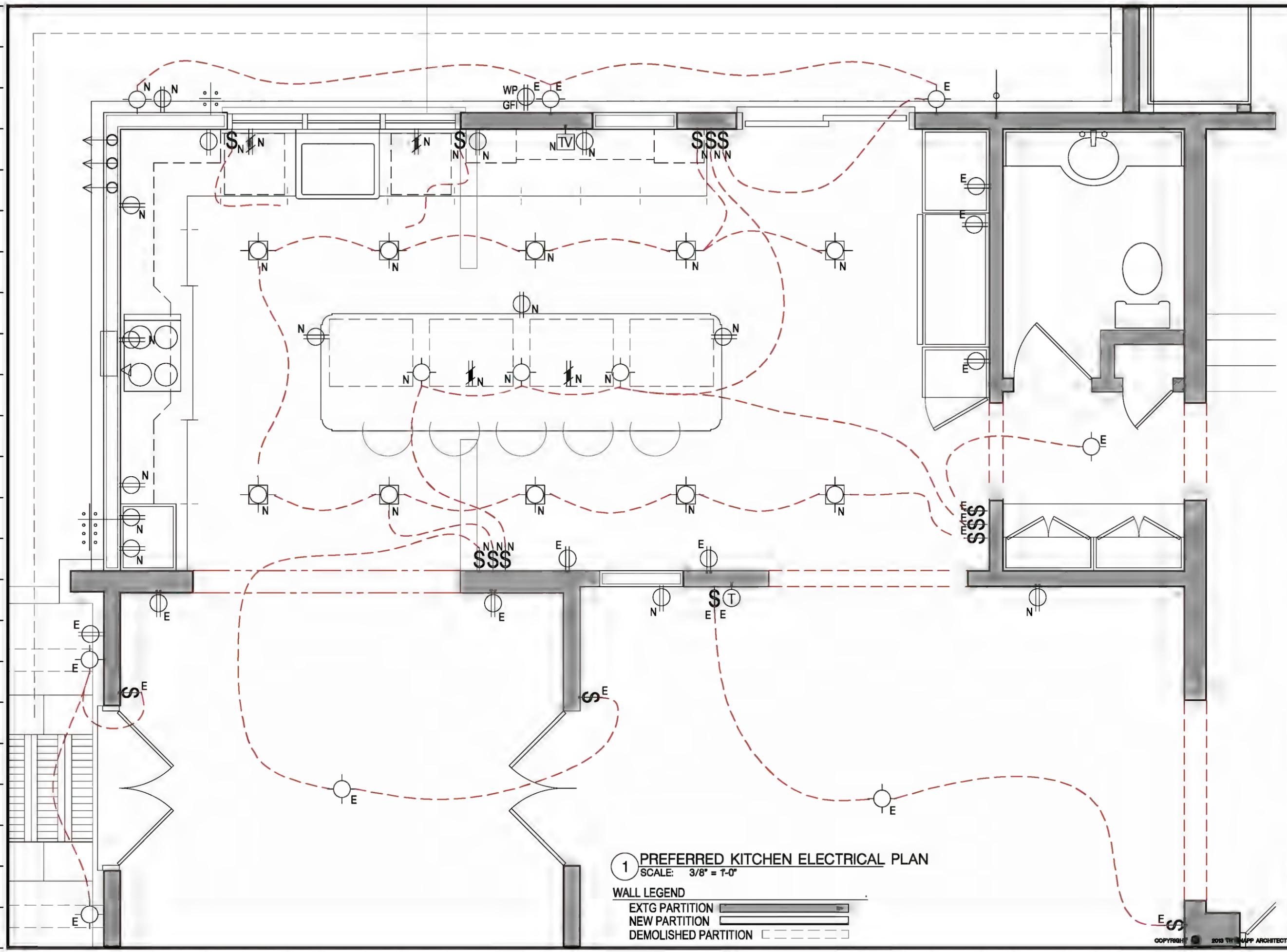
WEINBERG RESIDENCE
KITCHEN REMODELING / ADDITION
STEVE AND COURTNEY WEINBERG
2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NO.	DATE	REVISION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-5-15	PRELIMINARY DESIGN
4		ISSUE

FILE NAME: WEINBERG
JOB NUMBER: 21004
SHEET NAME: FIRST FLOOR ELECT PLAN
SHEET NO.:

A2.2

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



1 PREFERRED KITCHEN ELECTRICAL PLAN
SCALE: 3/8" = 1'-0"

WALL LEGEND

EXTG PARTITION	
NEW PARTITION	
DEMOLISHED PARTITION	



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WEINBERG RESIDENCE
 KITCHEN REMODELING / ADDITION
 STEVE AND COURTNEY WEINBERG
 2360 SHERIDAN ROAD
 HIGHLAND PARK, ILLINOIS

NO.	DATE	ISSUE
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN

FILE NAME: WEINBERG WEINBERG
 JOB NUMBER: 2104 21524
 SHEET NAME: EXTERIOR ELEVATIONS
 SHEET NO:

A3.0



1 PROPOSED FRONT ELEVATION (EAST)
 SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



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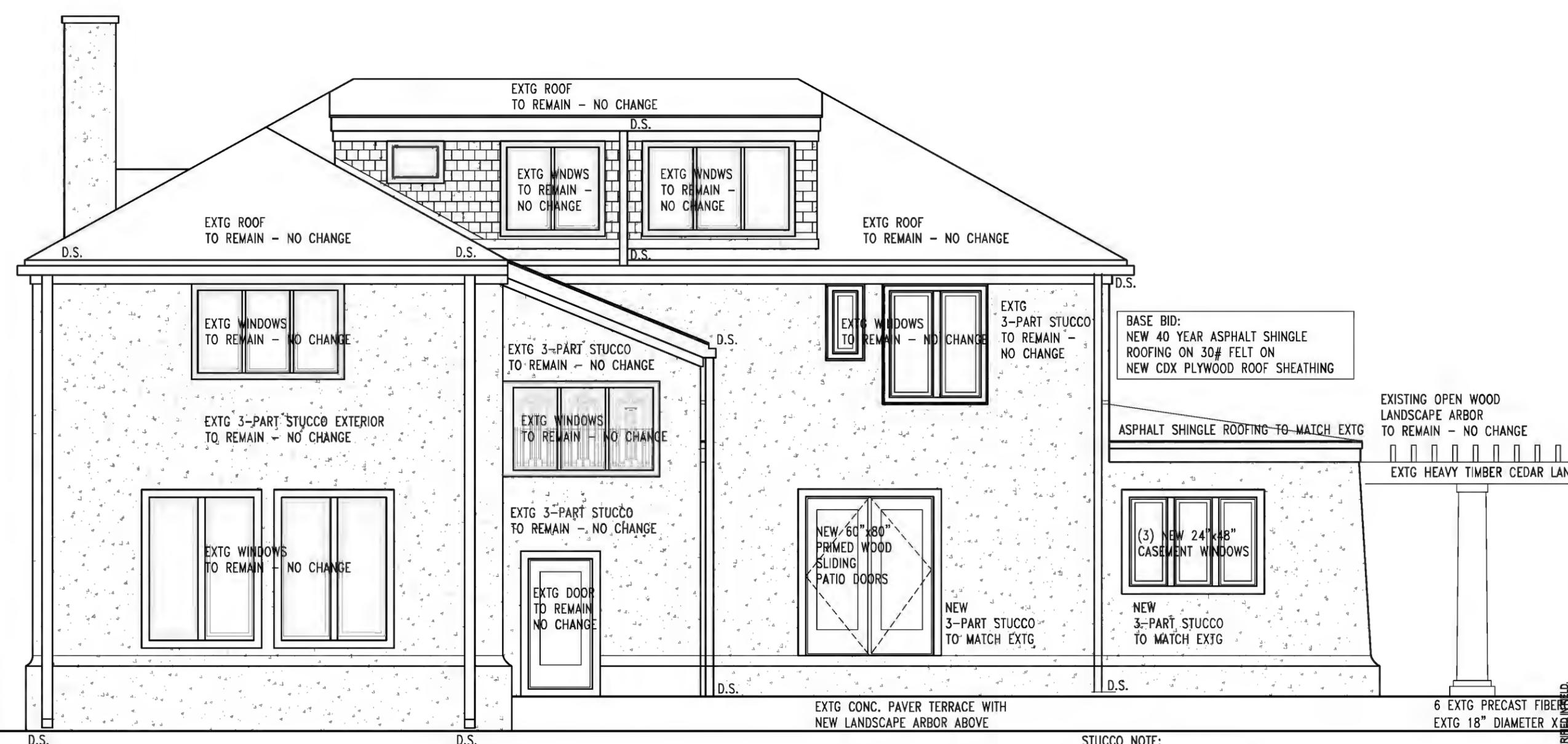
WEINBERG RESIDENCE
KITCHEN REMODELING / ADDITION
STEVE AND COURTNEY WEINBERG
2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NO.	DATE	ISSUE
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN
4		ISSUE

HPC DESIGN REVIEW - FEBRUARY 18, 2015

FILE NAME: WEINBERG WEINBERG
JOB NUMBER: 2104 21524
SHEET NAME: EXTERIOR ELEVATIONS
SHEET NO:

A3.1



STUCCO NOTE:
NEW 3-COAT STUCCO EXTERIOR
WITH NEW THOROCCOAT FINISH
TO MATCH EXTG RESIDENCE -
VERIFY COLOR & TEXTURE IN FIELD

2 PROPOSED REAR ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



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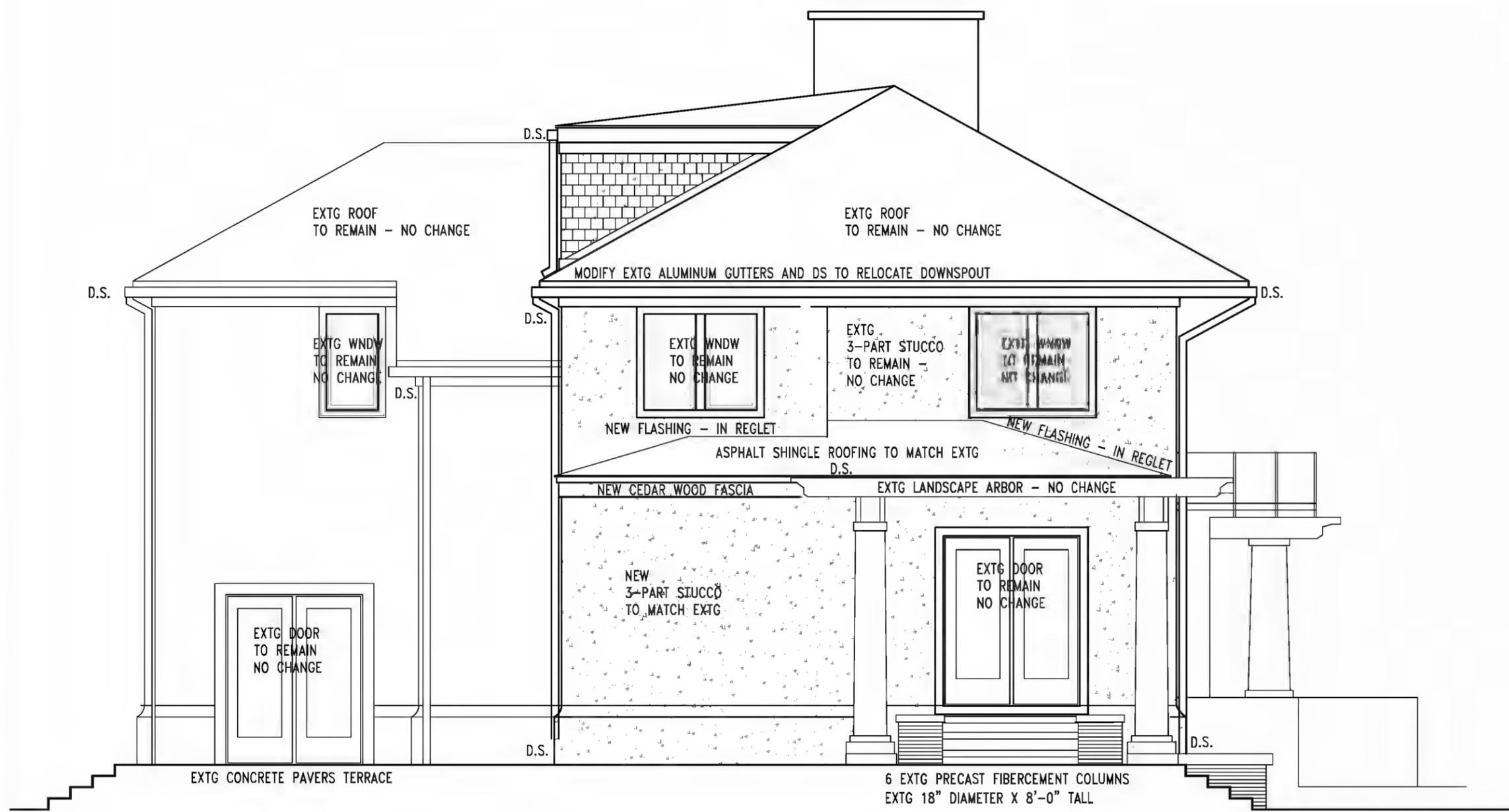
WEINBERG RESIDENCE
KITCHEN REMODELING / ADDITION
STEVE AND COURTNEY WEINBERG
2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NOTE: ALL DIMENSIONS AND APPROXIMATE UNIT SHOULD BE VERIFIED IN FIELD.

NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	10-11
2	DESIGN DEVELOPMENT	1-14
3	PERMANENT DESIGN REVIEW	2-18-15

FILE NAME: WEINBERG
JOB NUMBER: 150101
SHEET NAME: EXTERIOR ELEVATIONS
SHEET NO:

A3.2



3 PROPOSED SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



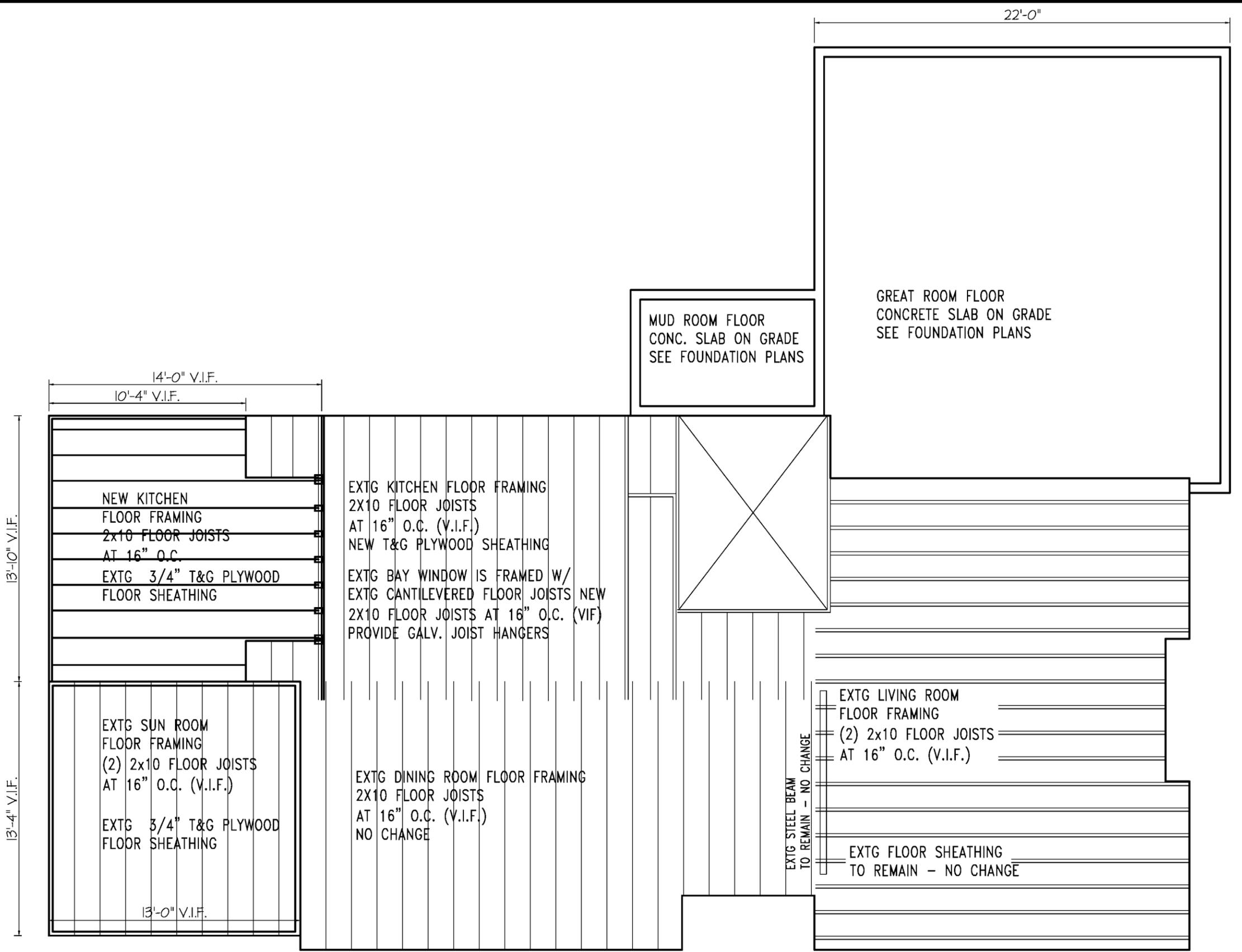
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HIGHLAND PARK, ILLINOIS

NO.	DATE	REVISION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN

FILE NAME: WEINBERG
JOB NUMBER: 21804
SHEET NAME: FRAMING PLANS
SHEET NO:

A7.1



1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



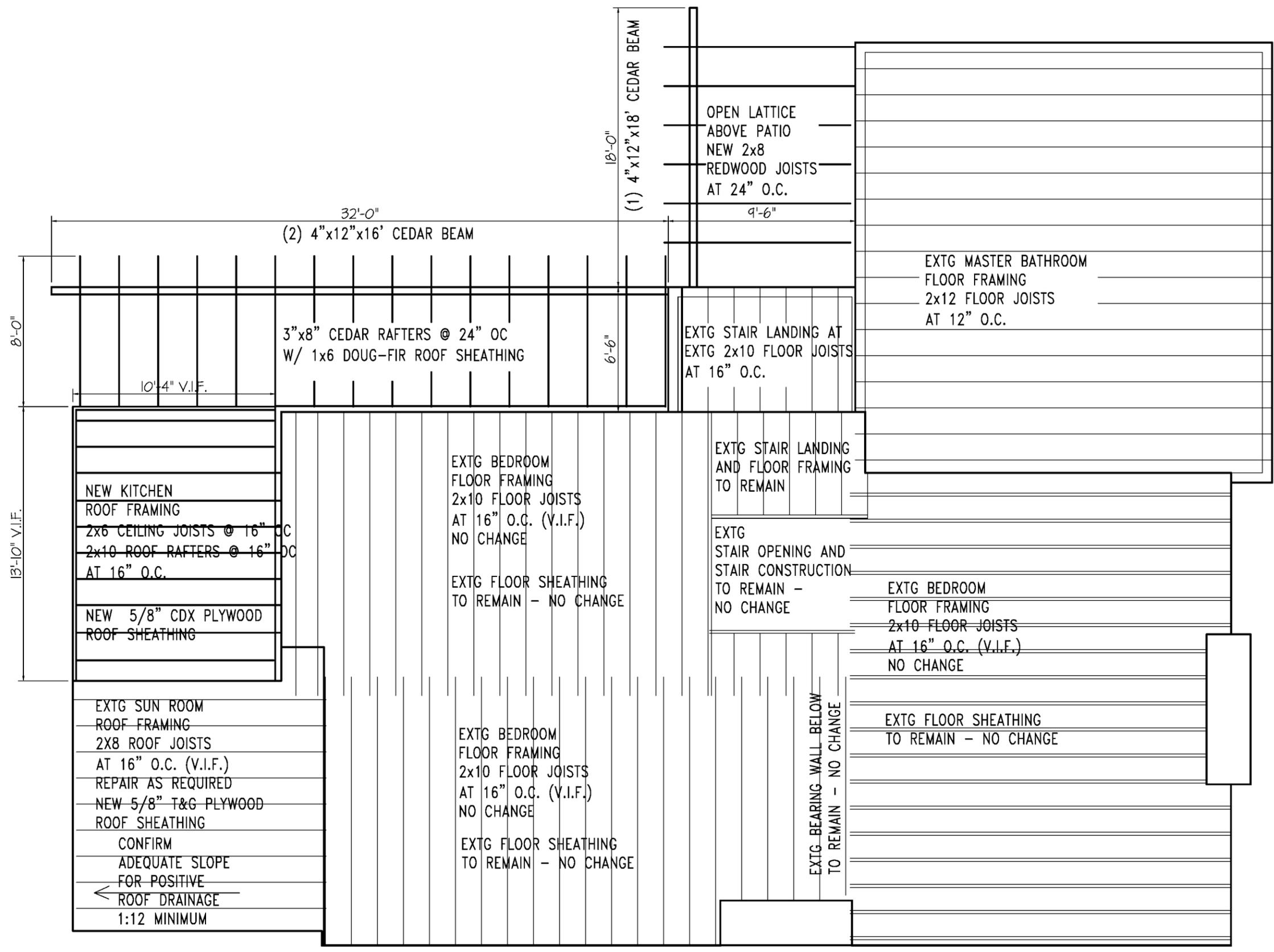
T.R. Knapp
ARCHITECTS
320 North Main Street
Lombard, Illinois 60148
630.620.6512

WEINBERG RESIDENCE
KITCHEN REMODELING / ADDITION
STEVE AND COURTNEY WEINBERG
2360 SHERIDAN ROAD
HIGHLAND PARK, ILLINOIS

NO.	DATE	REVISION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN
4		IFBUE
5		HPC DESIGN REVIEW - FEBRUARY 18, 2015

FILE NAME: WEINBERG
JOB NUMBER: 21804
SHEET NAME: FRAMING PLANS
SHEET NO:

A7.2



2 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.



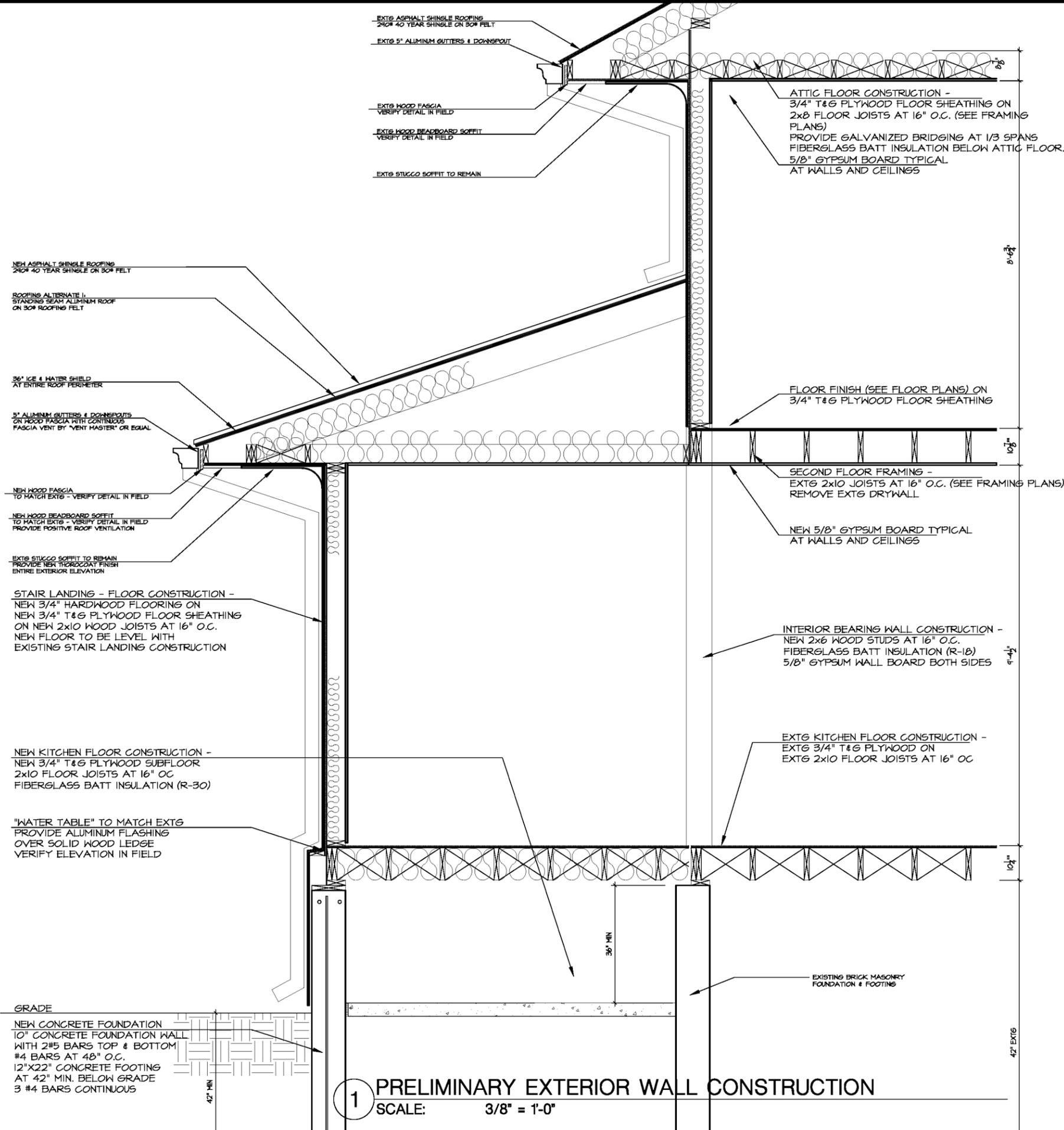
T.R. Knapp
ARCHITECTS
 320 North Main Street
 Lombard, Illinois 60148
 630.620.6512

WEINBERG RESIDENCE
 KITCHEN REMODELING / ADDITION
 STEVE AND COURTNEY WEINBERG
 2360 SHERIDAN ROAD
 HIGHLAND PARK, ILLINOIS

NO.	DATE	DESCRIPTION
1	2-18-15	HISTORIC PRESERVATION DESIGN REVIEW
2	2-13-15	DESIGN DEVELOPMENT
3	1-8-15	PRELIMINARY DESIGN
4		ISSUE
5	FEBRUARY 18, 2015	HPC DESIGN REVIEW

FILE NAME: WEINBERG WEINBERG
 JOB NUMBER: 2360
 SHEET NAME: FRAMING DETAILS
 SHEET NO:

A7.3



1 PRELIMINARY EXTERIOR WALL CONSTRUCTION
 SCALE: 3/8" = 1'-0"

EXTG ASPHALT SHINGLE ROOFING
 24"X 40 YEAR SHINGLE ON 30# FELT

EXTG 5" ALUMINUM GUTTERS & DOWNSPOUT

EXTG WOOD FASCIA
 VERIFY DETAIL IN FIELD

EXTG WOOD BEADBOARD SOFFIT
 VERIFY DETAIL IN FIELD

EXTG STUCCO SOFFIT TO REMAIN

NEW ASPHALT SHINGLE ROOFING
 24"X 40 YEAR SHINGLE ON 30# FELT

ROOFING ALTERNATE I:
 STANDING SEAM ALUMINUM ROOF
 ON 30# ROOFING FELT

36" ICE & WATER SHIELD
 AT ENTIRE ROOF PERIMETER

5" ALUMINUM GUTTERS & DOWNSPOUTS
 ON WOOD FASCIA WITH CONTINUOUS
 FASCIA VENT BY "VENT MASTER" OR EQUAL

NEW WOOD FASCIA
 TO MATCH EXTG - VERIFY DETAIL IN FIELD

NEW WOOD BEADBOARD SOFFIT
 TO MATCH EXTG - VERIFY DETAIL IN FIELD
 PROVIDE POSITIVE ROOF VENTILATION

EXTG STUCCO SOFFIT TO REMAIN
 PROVIDE NEW THOROCCOAT FINISH
 ENTIRE EXTERIOR ELEVATION

STAIR LANDING - FLOOR CONSTRUCTION -
 NEW 3/4" HARDWOOD FLOORING ON
 NEW 3/4" T&G PLYWOOD FLOOR SHEATHING
 ON NEW 2x10 WOOD JOISTS AT 16" O.C.
 NEW FLOOR TO BE LEVEL WITH
 EXISTING STAIR LANDING CONSTRUCTION

NEW KITCHEN FLOOR CONSTRUCTION -
 NEW 3/4" T&G PLYWOOD SUBFLOOR
 2x10 FLOOR JOISTS AT 16" OC
 FIBERGLASS BATT INSULATION (R-30)

"WATER TABLE" TO MATCH EXTG
 PROVIDE ALUMINUM FLASHING
 OVER SOLID WOOD LEDGE
 VERIFY ELEVATION IN FIELD

GRADE

NEW CONCRETE FOUNDATION
 10" CONCRETE FOUNDATION WALL
 WITH 2#5 BARS TOP & BOTTOM
 #4 BARS AT 48" O.C.
 12"X22" CONCRETE FOOTING
 AT 42" MIN. BELOW GRADE
 3 #4 BARS CONTINUOUS

ATTIC FLOOR CONSTRUCTION -
 3/4" T&G PLYWOOD FLOOR SHEATHING ON
 2x8 FLOOR JOISTS AT 16" O.C. (SEE FRAMING
 PLANS)
 PROVIDE GALVANIZED BRIDGING AT 1/3 SPANS
 FIBERGLASS BATT INSULATION BELOW ATTIC FLOOR.
 5/8" GYPSUM BOARD TYPICAL
 AT WALLS AND CEILINGS

FLOOR FINISH (SEE FLOOR PLANS) ON
 3/4" T&G PLYWOOD FLOOR SHEATHING

SECOND FLOOR FRAMING -
 EXTG 2x10 JOISTS AT 16" O.C. (SEE FRAMING PLANS)
 REMOVE EXTG DRYWALL

NEW 5/8" GYPSUM BOARD TYPICAL
 AT WALLS AND CEILINGS

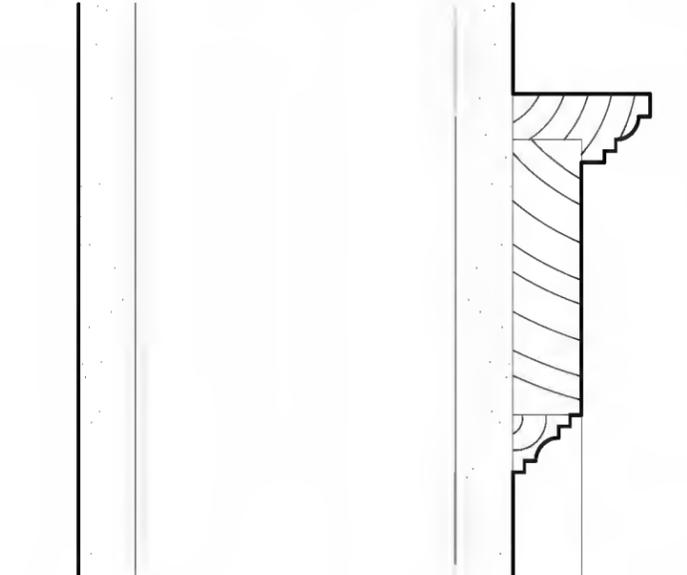
INTERIOR BEARING WALL CONSTRUCTION -
 NEW 2x6 WOOD STUDS AT 16" O.C.
 FIBERGLASS BATT INSULATION (R-18)
 5/8" GYPSUM WALL BOARD BOTH SIDES

EXTG KITCHEN FLOOR CONSTRUCTION -
 EXTG 3/4" T&G PLYWOOD ON
 EXTG 2x10 FLOOR JOISTS AT 16" OC

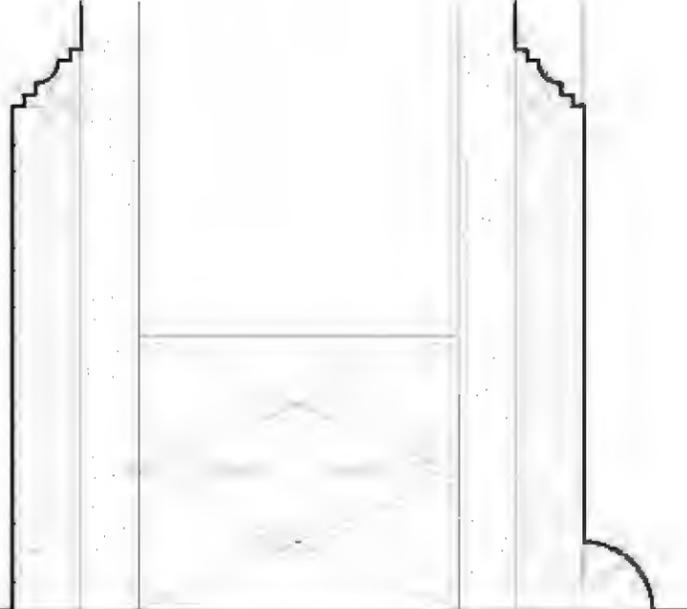
EXISTING BRICK MASONRY
 FOUNDATION & FOOTING

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.

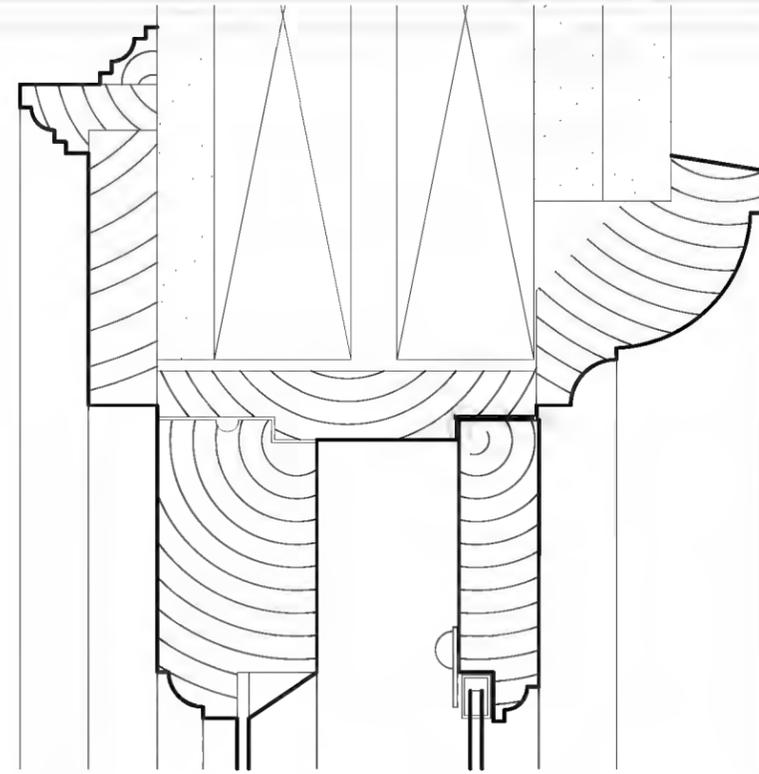
3 NEW PICTURE MOLD DETAIL
SCALE: HALF FULL SIZE



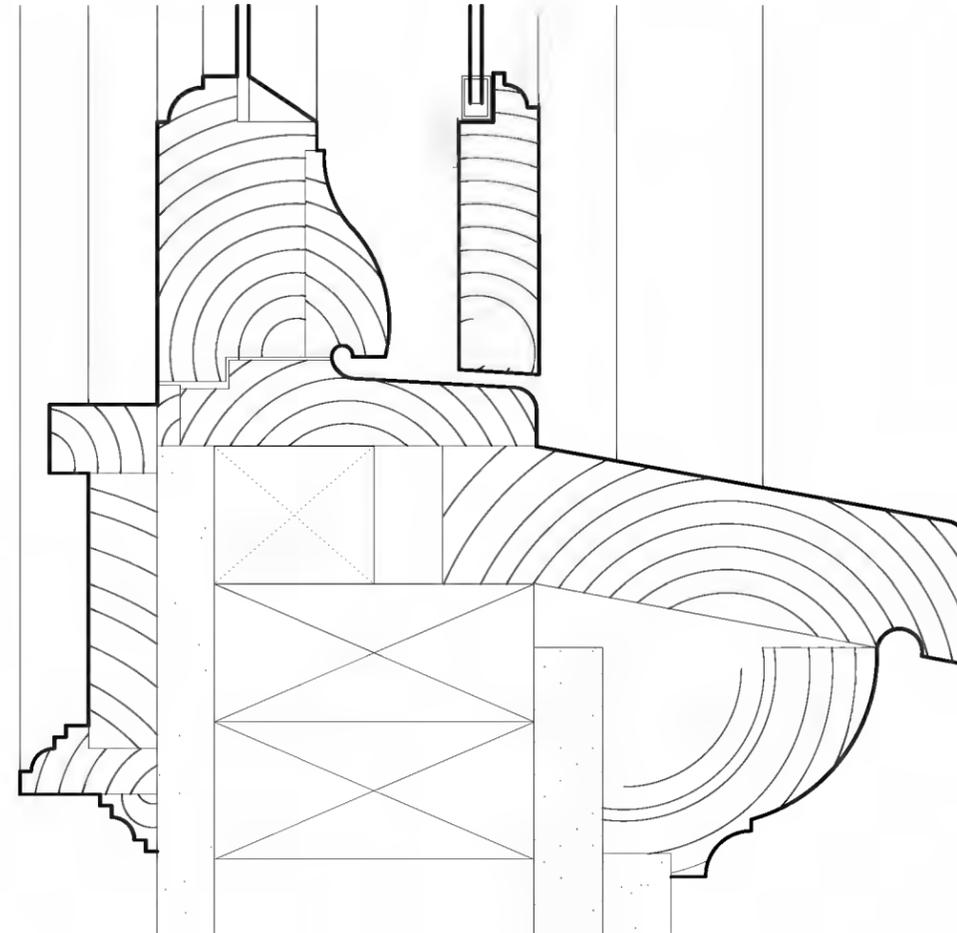
2 NEW WAINSCOTT DETAIL
SCALE: HALF FULL SIZE



1 EXTG BASE DETAIL
SCALE: HALF FULL SIZE



1 EXTG WINDOW HEAD / JAMB DETAIL
SCALE: HALF FULL SIZE



1 EXTG WINDOW SILL DETAIL
SCALE: HALF FULL SIZE



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NOTE: ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.

NO.	ISSUE	DATE
1	PRELIMINARY DESIGN REVIEW	2.18.15
2	DESIGN DEVELOPMENT	4.13.15
3	PRELIMINARY DESIGN REVIEW	4.13.15
4	ISSUE	
5	FINAL DESIGN REVIEW	FEBRUARY 18, 2015

FILE NAME: WEINBERG
JOB NUMBER: 1501
SHEET NAME:
SHEET NO.:

Highland Park Historic Preservation Commission
1707 St. Johns Avenue
Highland Park, Illinois 60035

Landmark Nomination Form

Date: April 18, 1985

1) Name of Property (original if known): W. Lamborn House

2) Street Address: 2360 Sheridan Rd.

3) Legal description or P.I.N. (Permanent Index Number from Township Assessor's Office, 600 Laurel Ave., Highland Park): _____

PIN: 16-23-201-003

4) Name and Address of Property Owner(s) (From Assessor's Office): _____

James CRAWFORD

1284 Forest Ave.

5) Present Use: Residence 6) Past Use: Residence

7) Architect: George Maher 8) Date of Construction: 1910

9) Written statement describing property and setting forth reasons it is eligible for Landmark designation:

George W. Maher was a contemporary of Frank Llyod wright, and trained with him in the office of Joseph Lyman Silisbee. Though Maher's work is often grouped with the Prairie architects, his style bore a stronger resemblance to design of the English Arts and Crafts Movement. Maher was well published. Illustrations of this and other H.P. houses appeared in

10) This structure is eligible for designation on the basis of the following criteria (see reverse page):

4,5

11) Name(s) and Address(es) of Applicant(s):

Name(s): Julia Sniderman

ref. H.P.bk. p. 70, N.R.NOM. HIST. SURVEY

Signature(s): _____

Julia Sniderman

Address(es): Streetscape



12) Affiliation (Commission Member, Owner, City Council, Preservation Organization):

HP Historic Preservation Commission Staff

Historic Preservation Commission

Certificate of Appropriateness for 129 Vine Avenue – The Helen B. Van Schaick House

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 3/12/15

Property Location: 129 Vine Avenue

Petitioner: Joseph & Cindy Kaplan
129 Vine Avenue
Highland Park, IL 60035

Historical District: Vine/Linden/Maple (1999)

Historical Status: Significant within District

Project Architect: Richard Becker
Becker Architects, Ltd.
595 Elm Place, Suite 225
Highland Park, IL 60035



SUMMARY OF THE PETITION

The owners of this Tudor Revival House are proposing to modify several windows on a 1986 addition located on the east side of the historic home. The 80's-era kitchen addition is going to be redesigned to combine several separate spaces into a single large room. To improve the amount of natural light, two horizontal windows will be added on the east elevation where a single vertical window exists now. A single vertical window on the south elevation will be replaced with two vertical windows, once again with the intent of maximizing the flow of natural light into the addition. Windows and a doorway on the north side of the addition are going to be upgraded, but their forms are remaining the same. All these changes have very limited visibility from the street and are limited only to the 1986 kitchen addition.

The new windows will be factory-finished aluminum clad units that will match the finish of the existing windows. The project architect has submitted a brief description of the product, which is included in the attachments to this memo.

Historic Preservation Commission

HISTORIC INFORMATION

This house is part of the Vine/Linden/Maple historic district established in 1999. The district's nomination materials provided the following information about 129 Vine:

This house was most likely built in 1916 or 1917 for Helen B. Van Schaick. Her husband, A. P. Van Schaick, founded the Lackawanna Steel Company. The 1922 City Directory lists Alfred C. Meyer, a Chicago tailor, as the property owner. The house is in the Tudor Revival style with Craftsman detailing. The Tudor details include the tall narrow windows and the half-timbering near the entryway. The wide overhanging eave is more typical of the Craftsman style. Separate, dormer windows emerge from the roofline and a one-story porch marks the entryway.

STANDARDS FOR CERTIFICATES OF APPROPRIATENESS

The following are the Standards for Certificates of Appropriateness as listed in Section 24.030(D) of the City Code. These standards apply to modifications of all Regulated Structures within Historic Districts:

(1) Height. The height of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

(2) Proportion of front facade. The relationship of the width to the height of the front elevation of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.

(3) Proportion of openings. The relationship of the width to height of windows and doors of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visually related.

The applicant's project narrative references this standard, noting the windows installed as part of the 1986 addition do not satisfy it. However, the windows are not part of the original house, are set well back from the front of the house, and are only visible if viewed when standing on the driveway of the property.

(4) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front facade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related. .

Historic Preservation Commission

(5) Rhythm of spacing and structures on streets. The relationship of a Landmark, Regulated Structure, or a Contributing Regulated Structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

(6) Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections of the proposed new Structure to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.

(7) Relationship of materials and texture. The relationship of the materials and texture of the façade of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the predominant materials used in the structures to which it is visually related.

(8) Roof shapes. The roof shape of a Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the structures to which it is visually related.

(9) Walls of continuity. Facades and Property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places to which such elements are visually related.

(10) Scale of a structure. The size and mass of a Landmark, Regulated Structure, or a Contributing Regulated Structure in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which they are visually related.

(11) Directional expression of front elevation. A Landmark, Regulated Structure, or a Contributing Regulated Structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

(12) Destruction or alteration of the historic features. The distinguishing historic qualities or character of a Landmark Regulated Structure or Contributing Regulated Structure and its environment shall not be destroyed. The Alteration of any historic or material or distinctive architectural features should be avoided when possible.

(13) Archaeological and natural resources. Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent to any project.

Historic Preservation Commission

(14) Architectural Compatibility. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

(15) Use compatibility. Every reasonable effort shall be made to provide a compatible use for a Regulated Structure or Contributing Regulated Structure that requires minimal alteration of the Regulated Structure or a Contributing Regulated Structure and its environment, or to use a Regulated Structure or Contributing Regulated Structure for its originally intended purpose.

(16) Maintenance of Time Period Appearance. All Regulated Structures or Contributing Regulated Structures shall be recognized as products of their own time and so alterations that have no historical basis and which seek to create an earlier appearance than is properly attributable to the particular Regulated Structure or Contributing Regulated Structure that is being altered shall be discouraged. However, contemporary design for Alterations and additions to Regulated Structures or Contributing Regulated Structures shall not be discouraged when such Alterations and additions do not destroy significant historical, architectural, visual, aesthetic, archaeological or cultural material, and such design is compatible with the size, scale, color, material, and character of the Regulated Structure or Contributing Regulated Structure, neighborhood or environment.

(17) Significance of changes made in the course of time. Changes that may have taken place in the course of time are evidence of the history and development of Regulated Structure or Contributing Regulated Structure and their environments. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

(18) Sensitivity to distinct features. Distinctive stylistic features or examples of skilled craftsmanship or artistry, which characterize a Regulated Structure or Contributing Regulated Structure, shall be treated with sensitivity.

(19) Repair to deteriorated features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;

(20) Surface cleaning. The surface cleaning of the Regulated Structure or Contributing Regulated Structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historically, visually, aesthetically, culturally or

Historic Preservation Commission

archaeologically significant materials used in such Landmark, Regulated Structure, or a Contributing Regulated Structure shall not be undertaken;

(21) Wherever possible, additions or Alterations to a Regulated Structure or Contributing Regulated Structure shall be done in such manner that if such additions or Alterations were to be removed in the future, the essential form and integrity of the Landmark, Regulated Structure, or Contributing Regulated Structure would not be impaired.

RECOMMENDATION

The Historic Preservation Commission is asked to review the proposed alterations to 129 Vine and determine whether the standard for a Certificate of Appropriateness as established in Chapter 24 of the Highland Park City Code are satisfied.

ATTACHMENTS

- Project description
- Plan Set

January 7, 2002

Re: Highland Park Real Estate Rider

Dear Highland Park Real Estate Professional,

Recently the Highland Park City Council has voted to approve a Real Estate Rider to be included in residential contracts within the City. Although this document is recommended for inclusion, it is not mandatory. This Rider is intended to inform the homebuyer about the ordinances that govern historic properties.

As you may be aware, the Highland Park Historic Preservation Commission is committed to preserving and safeguarding the historically and architecturally significant structures within the City. You may also know that every residential demolition, regardless of apparent historic or architectural importance, passes through Historic Preservation Commission review for a preliminary determination of significance. This is known as the Demolition of Dwellings Ordinance, and no demolition permit will be awarded prior to the review process. Buildings that are found to have historic significance can have their demolition delayed up to 180 days.

Enclosed, please find a number of brochures that explain the process of landmark designation and the administrative procedures underlying the landmarks program. Also included are the Real Estate Riders approved for inclusion by Highland Park City Council.

I am available to meet with locally active real estate agents and explain the process in greater detail. A few of the items that can be discussed include:

- The differences between local and national landmarks
- The preservation review process
- Changes to landmarks commonly reviewed by the Commission
- The Demolition of Dwellings Ordinance
- How the comprehensive architectural survey of the City is used by the Commission

Copies of the Historic Preservation Ordinance will be distributed along with a list of local and national landmarks in Highland Park.

Even if you are well versed in the City's demolition delay ordinance, questions about landmarks are bound to arise. I'd be pleased to provide a 15 to 30-minute presentation followed by a question and answer session arranged at your convenience. Please give me a call if you would find this of use.

Sincerely,

Larry Shure, Planner I
Staff Liaison to the Historic Preservation Commission
(847) 926-1853

**RIDER TO BE ATTACHED TO REAL ESTATE CONTRACTS IN HIGHLAND PARK,
ILLINOIS EXPLAINING THE HISTORY OF HIGHLAND PARK REGARDING THE
CITY'S CONTINUED DESIRE TO MAINTAIN THE OVERALL COMMUNITY
CHARACTER AND EXISTING RESIDENTIAL STRUCTURES AND
STREETSCAPES.**

From Highland Park's earliest development, great care was given to protect the natural beauty of the landscape. The noted landscape architects, Horace Cleveland and Walter French were commissioned to lay out the original plat. Their design preserved the landscape with winding drives along ravine and bluff, scenic lakefront vistas, and the abundant shade trees that still characterize the city. Cleveland and French's design also provided ideal settings for the expansive grounds and elegant homes of the prosperous and socially prominent citizens who were attracted to the community. Tastefully designed and distinctive, these gracious homes and country estates are especially fine examples of predominant architectural styles of the period. They enhance the beautiful natural surroundings and express the affluent lifestyle of their inhabitants.

Since the first Zoning Ordinance was implemented in the 1920s, Highland Park has been very aware of the resources that make it a beautiful and worthwhile place to live. In 1984 the City Council passed the Highland Park Historic Preservation Ordinance to promote the educational, cultural, economic and general welfare of the community by protecting the City's heritage. This Ordinance established the Historic Preservation Commission and created a framework in which to designate local landmark and historic districts.

The Historic Preservation Commission must review all residential demolitions in Highland Park. If a non-landmarked structure is deemed of sufficient historic or architectural merit according to criteria specified in the Ordinance, the demolition can be delayed up to six months, pending in-depth research on the property. If a locally landmarked building or a building within a local historic district comes before the Commission a Certificate of Appropriateness must be issued in order to allow demolition or alteration. Highland Park is interested in maintaining its unique community character, and alternatives to demolition or alteration will be considered to achieve the goals of the Historic Preservation Ordinance.

Those seeking to purchase property in Highland Park for the first time, or moving from one place to another in Highland Park, should be aware that the City has adopted ordinances intended to maintain the historic value and architectural excellence of the community. These ordinances should be carefully considered before making a decision to purchase.

Seller

Buyer

Seller

Buyer

Implementing the Historic Preservation Real Estate Rider

Now that Council has approved a Real Estate Rider to be voluntarily appended to contracts in Highland Park, a plan is needed to introduce this information to local real estate agents. The Rider makes reference to the ordinances that affect properties in regard to historic merit and landmark status. Any personal contact with realtors should explain how these procedures could affect their clients.

- Identify active real estate firms in Highland Park
- Make appointments to speak with supervisors/agents
- Distribute:
 - Real Estate Rider
 - Historic Preservation Ordinance
 - Lists of Local and National Landmarks in Highland Park
- Discuss:
 - Local and National Landmark differences
 - Demolition Delay Ordinance
 - Historic Districts and Individual Landmarks
 - Preservation Review Process
 - Purpose of voluntary Real Estate Rider

Baird & Warner 1920 Sheridan Road Highland Park, IL 60035	Coldwell Banker 1770 First Street Highland Park, IL 60035	Sunset Real Estate 716 Central Avenue Highland Park, IL 60035
Town & Country Realtors 1855 Deerfield Road, Suite B Highland Park, IL 60035	Coldwell Banker 640 Vernon Avenue Glencoe, IL 60022	Coldwell Banker 1893 Sheridan Rd. Highland Park, IL 60035