

PUBLIC NOTICE

In accordance with the statutes of the State of Illinois and the ordinances of the City of Highland Park, a Regular Meeting of the *Historic Preservation Commission* of the City of Highland Park is scheduled to be held at the hour of 7:30 p.m., Thursday, May 8, 2014, at Highland Park City Hall, 1707 St. Johns Avenue, Highland Park, Illinois, during which meeting there will be a discussion of the following:

City of Highland Park
Historic Preservation Commission
Thursday, May 8, 2014
1707 St. Johns Avenue, City Hall
7:30 p.m.

REGULAR MEETING AGENDA

I. Call to Order

II. Roll Call

III. Approval of Minutes

A. April 10, 2014

IV. Scheduled Business

A. Landmark Nomination – 368 Moraine Road

- Resolution Recommending Landmark Status

B. Certificate of Appropriateness – 190 Linden Park Place

- Front Porch Addition in a Local Historic District

C. Determination of Significance

- 3095 Greenwood Avenue
- 1606 Oakwood Avenue
- 310 Cedar Avenue

V. Discussion Items

A. Amendments to Chapter 24 “Historic Preservation”

B. Seyfarth Recognition Project

VI. Business From the Public

VII. Other Business

A. Next meeting scheduled for June 12, 2014

VIII. Adjournment

MEMORANDUM

Date: May 8, 2014

To: Historic Preservation Commission

From: Andy Cross, Planner II

Subject: **Resolution Recommending a Preliminary Landmark Designation for 368 Moraine Road**

At the April 10, 2014 meeting, the Historic Preservation Commission accepted a Landmark Nomination for 368 Moraine Road. The Commission determined that the structure met Landmark Standards 4 and 6:

(4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction or use or indigenous materials;

(6) It embodies, overall, elements of design, detailing, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative;

The next step toward a landmark designation is the adoption of a resolution recommending a Preliminary Landmark Designation. The resolution recommending a Preliminary Landmark Designation is attached to this memo. The Commission is asked to review the Resolution and, if no changes are requested, adopt the Resolution by a majority vote.

Following the adoption of the resolution, the HPC is asked to review a Planning Report that “evaluates the relationship of the proposed designation to the City’s Comprehensive plan and the effect of the proposed designation on the surrounding neighborhood.” This report gives the Commission an opportunity to review the impact of the landmark designation with regard to the surrounding properties and the City-wide Comprehensive Plan. Staff has prepared the Planning Report for 368 Moraine Road and attached it to this memo. The report does not indicate that the landmark will conflict with any comprehensive planning for this part of the City. If no changes are requested, the Commission is asked to approve the Planning Report by a majority vote.

After the adoption of the Resolution and the approval of the attached Planning Report, the landmarking process will follow these steps:

- 1) When the resolution is adopted by the Commission, the Sparkling Springs Well House will become a Regulated Structure. This means that the house will be protected under the guidelines in Chapter 24 of the City Code, “Historic Preservation.”
- 2) A certified letter will be mailed to the owners of the Regulated Structure notifying them about the approval of the Resolution, the Commission’s recommendation to approve the Landmark, and that the Commission’s recommendation will be forwarded to the City Council for final approval.
- 3) The Resolution making a Preliminary Landmark Designation for 368 Moraine Road will be forwarded to the City Council, along with the Planning Report and an Ordinance designating the structure as a Local Landmark.
- 4) The landmarking process will be completed when the Ordinance has been approved by a majority vote from the City Council.

Recommended Action

The Commission is asked to adopt the Resolution making the Preliminary Landmark Designation and approve the attached Planning Report evaluating the impact of the landmark on the neighborhood.

Attachments:

- Resolution Recommending a Preliminary Landmark Designation for 368 Moraine Road
- Planning Report for the Landmark Nomination of 368 Moraine Road

**CITY OF HIGHLAND PARK
HISTORIC PRESERVATION COMMISSION**

RESOLUTION NO. 14-01

**A RESOLUTION MAKING A PRELIMINARY LANDMARK DESIGNATION
RECOMMENDATION FOR 368 MORAINES ROAD**

WHEREAS, on September April 10, 2014, pursuant to Section 24.025(A) of "The Highland Park Code of 1968," as amended ("**City Code**"), the Chairman of the Commission received a written nomination to designate as a landmark that certain structure commonly known as 368 Moraine Road in Highland Park, Illinois, and by this reference made a part of, this Resolution ("**Structure**"); and

WHEREAS, pursuant to Section 24.025(B)(2) of the City Code, to make a preliminary landmark designation recommendation for the Structure, the Commission must (i) find that the proposed landmark designation satisfies at least two of the criteria set forth in Section 24.015 of the City Code, and (ii) determines that the Structure has sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation.

WHEREAS, pursuant to Section 24.025(B)(1) of the City Code, a public meeting of the Commission to consider preliminary landmark designation of the property was held on April 10, 2014, and

WHEREAS, the Commission has determined that the proposed designation of the Property satisfies the criteria for landmark designation set forth in Sections 24.015(4) and 24.015(6) of the City Code; and

WHEREAS, the Commission has determined that the Structure has sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation;

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF HIGHLAND PARK, LAKE COUNTY, ILLINOIS, as follows:

SECTION ONE: RECITALS. The foregoing recitals are incorporated into, and made a part of, this Resolution as the findings of the Historic Preservation Commission.

SECTION TWO: PRELIMINARY LANDMARK DESIGNATION. In accordance with, and pursuant to, Section 24.025(B)(2) of the City Code, the Commission shall, and does hereby, make a preliminary Landmark designation recommendation to designate the Structure as a landmark.

SECTION THREE: EFFECT OF DESIGNATION. In accordance with and pursuant to Section 24.025(B)(3) of the City Code, upon the effective date of this Resolution, the Property shall be considered a "Regulated Structure," as that term is defined pursuant to Section 24.005 of the City Code.

SECTION FOUR: EFFECTIVE DATE. This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

[SIGNATURE PAGE FOLLOWS]

AYES:

NAYS:

ABSENT:

PASSED:

APPROVED:

RESOLUTION NO. 14-01

Gerald Fradin, Chairman

ATTEST:

Andy Cross, Commission Secretary

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HISTORIC PRESERVATION COMMISSION REQUEST FOR PLANNING REPORT

DATE REFERRED: May 8, 2014
ORIGINATED BY: Department of Community Development
SUBJECT: Planning Report for Landmark Nomination of 368 Moraine Road

SUMMARY AND BACKGROUND OF SUBJECT MATERIAL

Address: 368 Moraine Road
The Simon Ruwitch House

Owner: Jeff & Tori Marx

Zoning: R4 Single Family & Lakefront Density & Character Overlay

Style: French Eclectic

Date of Construction: 1925

Architect: William Mann

ADMINISTRATIVE HISTORY

The owners of 368 Moraine Road have submitted a nomination form to designate their house as a local landmark. The Historic Preservation Commission considered the nomination at the April 10, 2014 meeting and directed staff to prepare a resolution recommending a landmark designation for the house. The Commission has also requested a Planning Report from the Director of Community Development per the requirements of Sec. 24.025(C) of the Historic Preservation Ordinance,

DESCRIPTION OF THE PROPERTY

The house is an example of the French Eclectic style and largely unchanged since it was built in 1925. It is in good condition and the new owners, Jeffrey & Victoria Marx, intend to rehabilitate the home and maintain its historical look.

The 2002 Northeast Architectural Survey identifies a subtype of the French Eclectic style that 368 Moraine represents:

There are two subtypes of French Eclectic architecture. The first is usually rectangular and symmetrical. In this type, the massive roof with its ridge paralleling the front of the house dominates, and the front and rear facades are symmetrical with a central entry. Frequently, wings are added to the sides of the main block. French classical manor houses provided the prototype.

The architectural survey report continues with a description of the house:

“The house at 368 Moraine Road is an excellent example of the first subtype of French Eclectic architecture. Built in 1925, its principal mass is symmetrical with a limestone

HISTORIC PRESERVATION COMMISSION REQUEST FOR PLANNING REPORT

framed central entry. Second-floor paired casement windows have balconets with iron railings and through-the-cornice dormered roofs. There are oval windows on either side of the front door and a central dormer with oxeve window."

The owners have located original architectural drawings for the house that confirm the architect was William Mann. Mann (1871-1947) was a local architect who is credited with many significant residential designs in Highland Park.

FINDING OF HISTORIC OR ARCHITECTURAL SIGNIFICANCE

The Historic Preservation Commission discussed a landmark nomination for 368 Moraine Road at the April 10, 2014 meeting and made the preliminary determination that the Property met two Landmark criteria:

- (4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction or use or indigenous materials;
- (6) It embodies, overall, elements of design, detailing, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative;

By Code, any proposed individual landmark must meet two or more Landmark criteria and have sufficient integrity of location, design, materials and workmanship to make it worthy of preservation or rehabilitation. The property at 368 Moraine meets two Landmark criteria, while retaining sufficient integrity to qualify for local Landmark designation.

HISTORIC PRESERVATION COMMISSION POLICY

The Historic Preservation Commission discussed a preliminary Landmark designation recommendation on April 10, 2014. Upon adoption of the proposed resolution the property at 368 Moraine Road will become a Regulated Structure. No building permits or demolition permits shall be issued per Section 24.025(B)(3):

Upon adoption of the resolution making a preliminary landmark designation recommendation, and until provided otherwise in this Chapter, the nominated Property, Structure, Area, Object, or Landscape of Significance shall be a Regulated Structure.

The permit moratorium described above will conclude upon final disposition of the proposed local Landmark.

HISTORIC PRESERVATION AND THE CITY OF HIGHLAND PARK MASTER PLAN

The City of Highland Park Master Plan asks that the city "sustain a philosophy of preservation," adding a call to "maintain Highland Park's sense of place, character, and history; maintain quality of architecture in residential and public structures," preserving "the quality of residential neighborhoods" and protecting the City's "natural, historic and physical resources." The Neighborhood Improvements Plan for the Central District recommends that the Department of Community Development encourage the landmarking of historic homes in response to resident concerns for new construction and additions. Therefore, the effect of the proposed Landmark designation of the Simon Ruwitch house at 368

HISTORIC PRESERVATION COMMISSION REQUEST FOR PLANNING REPORT

Moraine Road on the surrounding neighborhood would be in keeping with the interests outlined in the City's Comprehensive Plan.

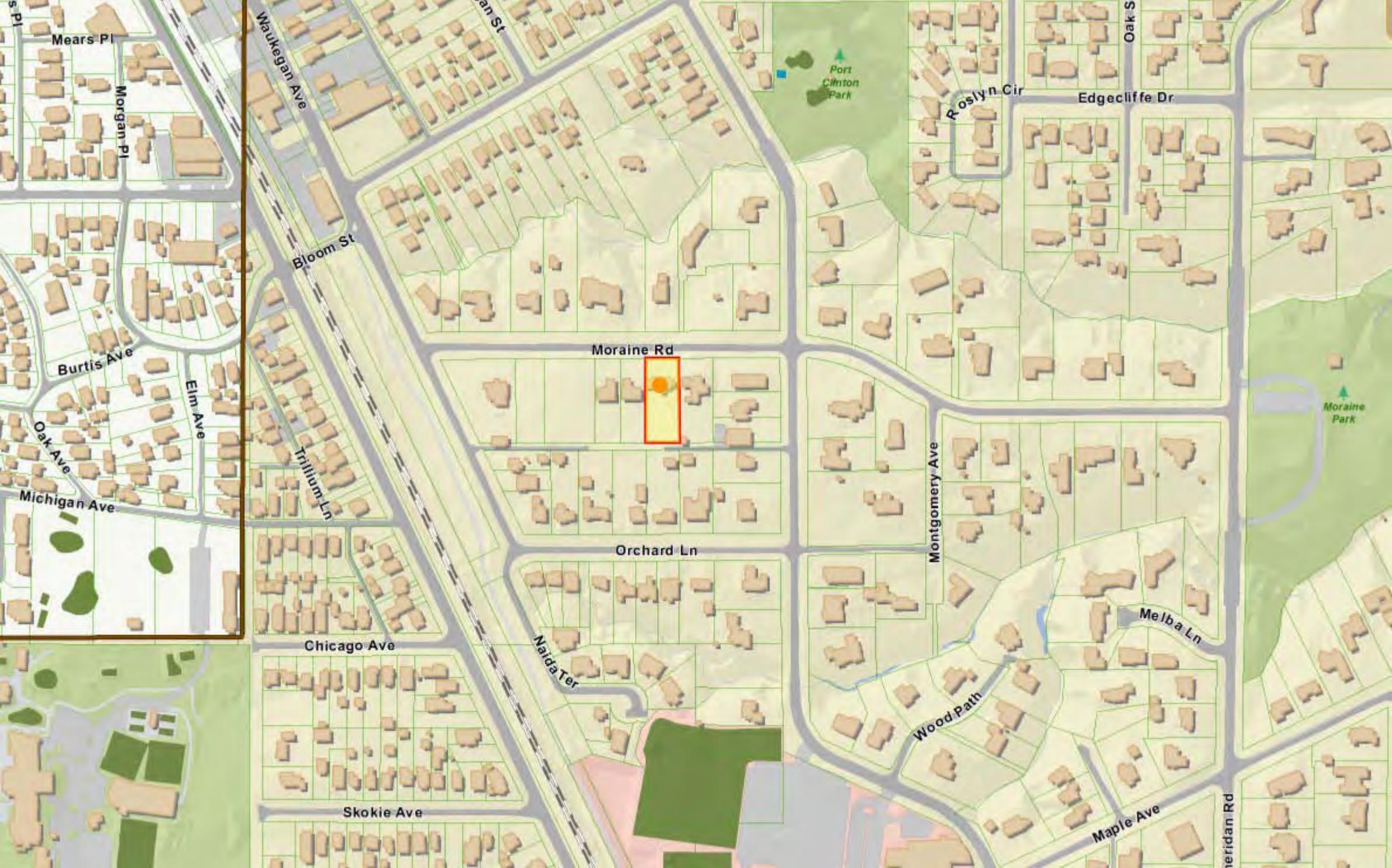
RECOMMENDATION

Based on the information presented, the Department of Community Development recommends that the Historic Preservation Commission continue with the Landmark designation of the property at 368 Moraine Road.

The Historic Preservation Commission's request for consent to the proposed designation will be sent to the Owners following the adoption of the attached Resolution recommending a Preliminary Landmark Designation. The Owner has 45 days after the date on which the statement is delivered to respond to the Commission's request, and the Owner may ask for an extension. If the owner consents to the Landmark designation, the Commission's recommendation will be forwarded to the City Council. If consent is declined, or if there is a failure to give written consent, the Commission shall schedule a public hearing on the proposed designation before proceeding with the Landmark process.

ATTACHMENTS

Exhibit A	Map
Exhibit B	Photographs
Exhibit C	Landmark Nomination
Exhibit D	Preliminary Landmark Designation Resolution



Mears Pl

Morgan Pl

Waukegan Ave

San St

Bloom St

Burtis Ave

Elm Ave

Trillium Ln

Moraine Rd

Orchard Ln

Chicago Ave

Naida Ter

Montgomery Ave

Melba Ln

Skokie Ave

Wood Path

Maple Ave

Meridan Rd

Roslyn Cir

Edgecliffe Dr

Oak St

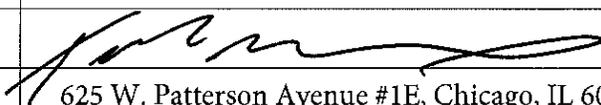
Port Clinton Park

Moraine Park

Highland Park Historic Preservation Commission
1707 St. Johns Avenue
Highland Park, Illinois 60035

Landmark Nomination Form

Date: March 20, 2014

1) Name of Property (original if known)	S. Ruwitch House (per the Historic Preservation Commission's 2002 report <i>Architectural Resources in Highland Park, Illinois: Northeast Survey Area, A Summary and Inventory</i>)		
2) Street Address:	368 Moraine Road Highland Park, IL 60035		
3) Legal description or P.I.N. (Permanent Index Number):	16-14-315-006		
4) Name and Address of Property Owner(s):	Sheldon Baskin 444 W. Grant Place, Chicago, IL 60614		
5) Present Use:	Single Family Residence	6) Past Use:	Single Family Residence
7) Architect:	Unknown	8) Date of Construction:	1925
9) Written statement describing property and setting forth reasons it is eligible for landmark designation:			
<p>We're beyond thrilled to be the new property owners of 368 Moraine Road on April 24, 2014! It's a beautiful historic home in one of Illinois' best neighborhoods that we can't wait to restore and raise our family in for many years to come.</p> <p>The Highland Park Historic Preservation Commission's 2002 report <i>Architectural Resources in Highland Park, Illinois: Northeast Survey Area, A Summary and Inventory</i> previously recognized that 368 Moraine Road is locally significant:</p> <p>"Of the nine French Eclectic style houses in the survey area, three are ranked locally significant. They are 300 and 368 Moraine Road, and 2479 Woodbridge Lane.</p> <p>"The house at 368 Moraine Road is an excellent example of the first subtype of French Eclectic architecture. Built in 1925, its principal mass is symmetrical with a limestone framed central entry. Second-floor paired casement windows have balconets with iron railings and through-the-cornice dormered roofs. There are oval windows on either side of the front door and a central dormer with oxeye window."</p>			
10) This structure is eligible for designation on the basis of the following criteria (see reverse page):	Nos. 1, 4, 6, 7		
11) Name(s) of Applicant(s):	Jeffrey and Victoria Marx		
Address:	625 W. Patterson Avenue #1E, Chicago, IL 60613		
Signature(s):			
Address(es):	625 W. Patterson Avenue #1E, Chicago, IL 60613		
12) Affiliation (Commission Member, Owner, City Council, Preservation Organization):	Future Owners (closing set for April 24, 2014)		

Please return this form to:
Department of Community Development
Historic Preservation Commission
1150 Half Day Road
Highland Park, IL 60035

FAX (847) 432-0964
Attn: Andy Cross, Planner

**CITY OF HIGHLAND PARK
HISTORIC PRESERVATION COMMISSION**

RESOLUTION NO. 14-01

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RECOMMENDATION FOR 368 MORAIN ROAD**

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RESOLUTION NO. 14-01

Gerald Fradin, Chairman

ATTEST:

Andy Cross, Commission Secretary

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*190 Linden Park Place
Non-Contributing House in the
Linden Park Place Local Historic District*

Application for a Certificate of Appropriateness

TO:	The Historic Preservation Commission
DATE:	May 8, 2014
FROM:	Andy Cross, Planner II
SUBJECT:	New Front Porch

<u>PETITIONERS / OWNERS:</u>	<u>PROPERTY LOCATION:</u>	<u>STRUCTURE</u>
Vas Maniatis 190 Linden Park Place Highland Park, IL 60035	190 Linden Park Place	Style: French Eclectic Influence Built: 1985

<u>HISTORIC STATUS:</u>	<u>ARCHITECT/BUILDER:</u>
Non-Contributing Structure in the Linden Park Place Local Historic District (1996)	Richlind Architects 122 N. Highland Drive Lombard, IL 60148

BACKGROUND OF THE SUBJECT PROPERTY

190 Linden Park Place is a modern brick house with a design heavily influenced by the French Eclectic style. It was built in 1985 among many historic homes on Linden Park Place. A local historic district was created along Linden Park Place in 1997 and the house at 190 was included. Importantly, however, it was noted as Non-Contributing.

SUMMARY OF PROPOSAL

The construction of any new structures within a historic district requires a certificate of appropriateness. The standards for reviewing new construction are slightly different than those for traditional alterations to existing historic homes that the Commission usually discusses and will be applicable to this petition.

The owner of 190 Linden Park Place is proposing a new covered porch on the front of the house. As the owner indicates in his letter to the Commission, the front of the house and a natural “L” shaped area in the front that is very well-suited for a porch addition. The applicant has worked with an architect to design a porch that compliments the design of the house and enhances the view from the street.

STANDARDS FOR CERTIFICATES OF APPROPRIATENESS

The following are the Standards for Certificates of Appropriateness as listed in Section 24.030(C), which are for an application for a Certificate of Appropriateness for Construction of *new Structure* within a Historic District. The proposed porch is considered a new structure.

- (1) **Height.** The height of the proposed new Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

- (2) Proportion of front façade. The relationship of the width to the height of the front elevation of the proposed new Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.
- (3) Proportion of openings. The relationship of the width to height of windows and doors of the proposed new Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visually related.
- (4) Rhythm of solids to voids in front facades. The relationship of solids to voids in the front façade of the proposed new Structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.
- (5) Rhythm of spacing and structures on streets. The relationship of the proposed new Structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.
- (6) Rhythm of entrance porches, storefront recesses and other projections. The relationship of entrances and other projections of the proposed new Structure to sidewalks shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related.
- (7) Relationship of materials and texture. The relationship of the materials and texture of the façade of the proposed new Structure shall be visually compatible with the predominant materials used in the structures to which it is visually related.
- (8) Roof shapes. The roof shape of the proposed new Structure shall be visually compatible with the structures to which it is visually related.
- (9) Walls of continuity. Facades and property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places to which such elements are visually related.
- (10) Scale of a structure. The size and mass of the proposed new Structure in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which they are visually related.
- (11) Directional expression of front elevation. The proposed new Structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.
- (12) Destruction or alteration of historic features. The distinguishing historic qualities or character of a Property, Structure, site or Object and its environment shall not be destroyed. The Alteration of any historic or material or distinctive architectural features should be avoided when possible
- (13) Archaeological and natural resources. Every reasonable effort shall be made to protect and preserve archaeological and natural resources affected by, or adjacent

to any project.

- (14) Archaeological compatibility. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

RECOMMENDATION

Staff recommends that the Historic Preservation Commission discuss the proposed front porch addition to 190 Linden Park Place and whether the standards listed above are satisfied. The Commission may approve the plans, or recommend changes to the plans to meet the standards listed above.

ATTACHMENTS

- Cover Letter from the Owner/Applicant
- Photographs of existing house
- Certificate of Appropriateness Application
 - Architectural plans for the porch
 - Color rendering of the proposed porch

CITY OF HIGHLAND PARK
Historic Preservation Review Committee
1150 Half Day Road
Highland Park, IL 60035

Regarding: 190 Linden Park Place, Highland Park, IL 60035

4/16/14

Dear Historic Preservation Review Committee,

Thank you for taking the time to review the proposed porch addition to our home located at 190 Linden Park Place.

Background: Our home was built in 1985, is of Colonial-style architecture, and is situated at the front of a cul-de-sac near the end of Linden Park Place. The front of the home has a natural "L" shaped depression, perfectly suited for a porch addition both to compliment and enhance the architecture and aesthetics of the home, as well as to enhance and compliment our lifestyle.

We have engaged the services of a respected architect who has drawn up plans that showcase the seamless integration of the front porch into the design of the home as originally built.

As mentioned, we believe the addition of this porch will provide a tremendous aesthetic compliment to the home that we feel is currently lacking in this particular area, as well provide a comfortable place for our family and neighborhood friends to relax and enjoy, while we observe our children (ages 8 and 11) playing on our wonderful street.

Finally we are a family deeply invested in Highland Park, personally and professionally. My children attend the local schools (Elm Place and Indian Trail), my business's corporate headquarters are located in downtown Highland Park, and we of course reside in this location.

Again, I thank you for your time and consideration,

Vas Maniatis

Pictures following:

Current:









Rendering:

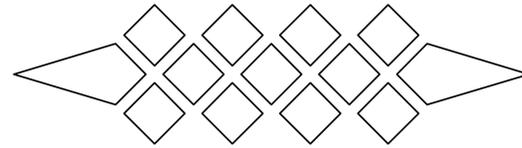




RICHLIND ARCHITECTS
YOUR FUNCTIONAL SPACE. UNIQUELY DESIGNED.
 122 N. HIGHLAND AVE.
 LOMBARD, ILLINOIS 60148
 630.705.0035
 IL DESIGN FIRM # 184.006010

CONSULTANT

MANIATIS RESIDENCE



190 LINDEN PARK PLACE
 HIGHLAND PARK, ILLINOIS

DRAWING LIST

- A0 TITLE SHEET
- A1 SITE PLAN
GENERAL NOTES
MATERIAL LIST
ELECTRICAL SYMBOLS
- A2 FOUNDATION PLAN
FIRST FLOOR PLAN
ROOF FRAMING PLAN
DEMOLITION PLANS
GENERAL FRAMING NOTES
- A3 ELEVATIONS
- A4 DETAILS
- A5 SPECIFICATIONS

NO.	DATE	ISSUE
1	4/11/14	OWNER REVIEW
2	4/14/14	BID/PERMIT

SEAL
 I do hereby certify that the following drawings have been prepared under my supervision and to the best of my knowledge and understanding, comply with all codes and regulations of the City of Highland Park, Illinois.

Signature _____
 Date _____
 Richard D. Chuk
 Licensed Architect, State of Illinois
 License No. 001-021199
 Expires: 11-30-2014

PROJECT TITLE
**MANIATIS RESIDENCE
 190 LINDEN PARK PLACE
 HIGHLAND PARK, ILLINOIS**

DRAWING TITLE
TITLE SHEET

PROJECT NUMBER
14-2-002

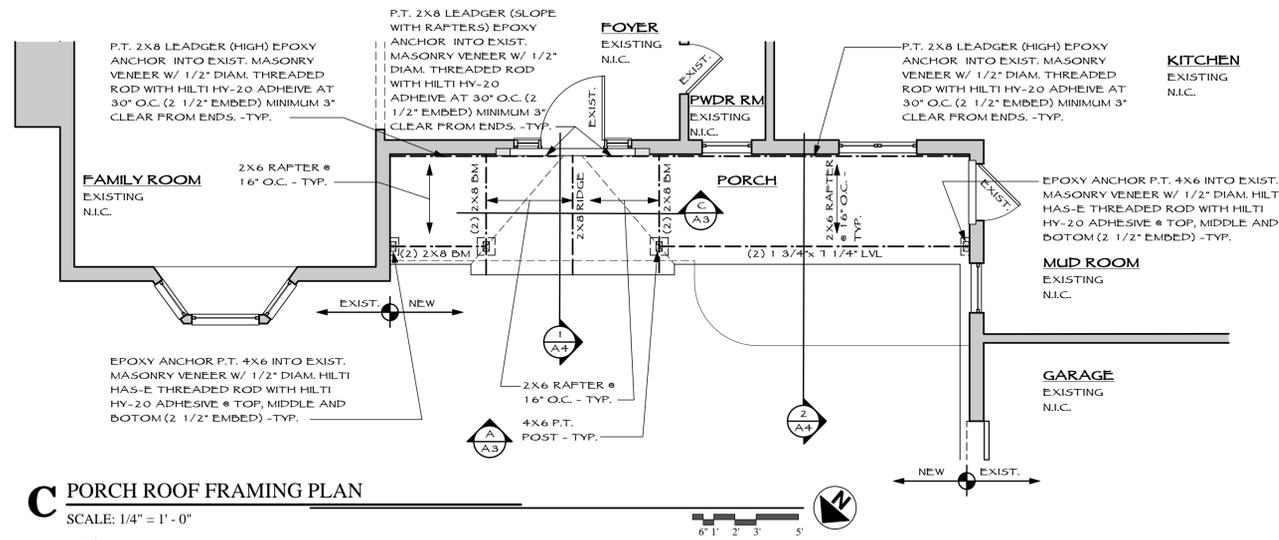
SHEET NUMBER
A0

GENERAL FRAMING NOTES

- DESIGN LOADS
 - FLOOR:
 - RESIDENTIAL FLOOR LOAD: 40PSF
 - RESIDENTIAL SLEEPING AREAS: 30PSF
 - FRAMING: 15PSF
 - ROOF:
 - SNOW LOAD: 30PSF
 - FRAMING: 10PSF
 - ROOFING: 5PSF
- LUMBER SPECIFICATIONS:
 - FLOOR / ROOF JOISTS: HEMPIR #2
 - Fb=850 PSI
 - E=1,300,000 PSI
 - STUDS: HEMPIR STUD
 - Fb=615 PSI
 - E=1,200,000 PSI
 - LVL (MICROLAM):
 - Fb=2,600 PSI
 - PSL Fb=2,400 PSI
 - E=1,900,000 PSI
 - E=2,000,000 PSI
- PROVIDE 1/2" DIAMETER SILL ANCHOR BOLTS AT 5'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING AND NOTCHING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) R602.6.
- CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET THE REQUIREMENTS OF (IRC) R502.8.
- ALL HEADERS SHALL BE 2X12S (HEM FIR #2) WITH 1/2" PLYWOOD U.N.O. SEE LINTEL SCHEDULE FOR MASONRY CONSTRUCTION. MINIMUM (3)-2X4 COLUMN AT EACH END OF ALL WOOD BEAMS AND HEADERS (MAX SPAN 4'-0").
- HOLE BORED IN FLOOR JOISTS SHALL COMPLY WITH (IRC) R502.8.
- ALL PLYWOOD SHEATHING TO BE APA APPROVED.
- EITHER LAP JOISTS OVER BEAMS PER IRC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HILTI POWDER ACTUATED FASTENERS, OR EQUIVALENT, SHALL BE USED AT 24" O.C. (MAX).
- DOUBLE FLOOR JOISTS UNDER BATHTUBS, WHIRLPOOLS, STAIRS, FIREPLACES & ALL PARTITIONS PARALLEL TO FLOOR JOISTS.
- ALL 2X STUD WALLS OVER 8'-0" HIGH TO HAVE 1X4 LET IN CORNER BRACING.
- ALL STUD WALLS TO HAVE SINGLE 2X BOTTOM PLATE & DOUBLE 2X TOP PLATE U.N.O. ALL WALL TOP PLATES ARE TO BE LAPPED AT ALL CORNERS.
- ALL WOOD IN CONTACT WITH CONCRETE AND/OR MASONRY AND/OR STEEL SHALL BE PRESSURE TREATED LUMBER.

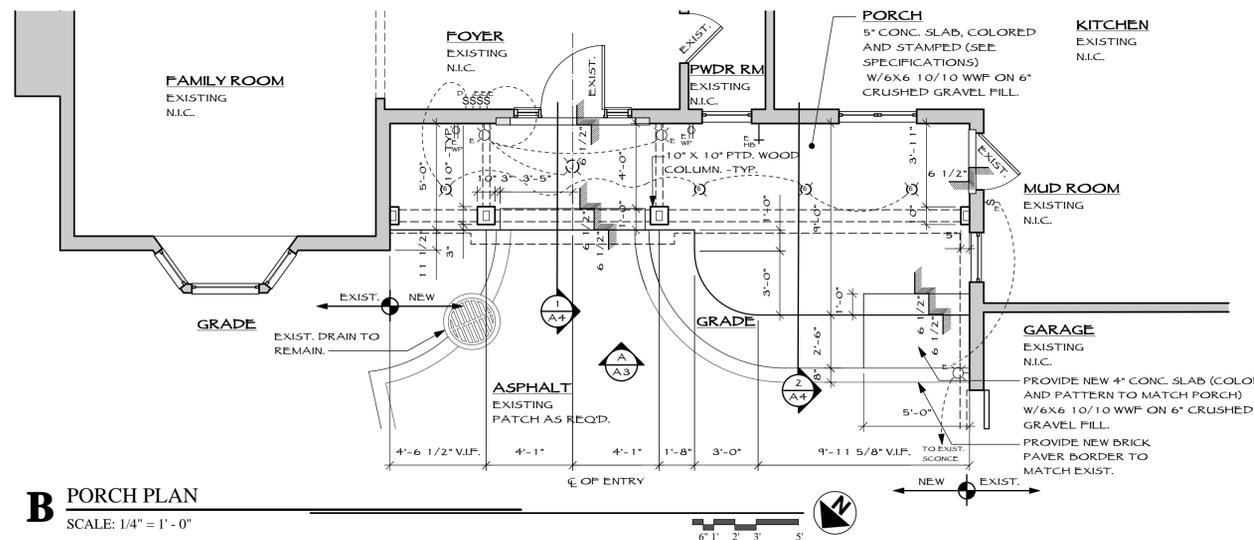
CONCRETE NOTES

- ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE MADE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH A MIN. 28-DAY COMPRESSIVE STRENGTHS OF Fc=4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- UNLESS NOTED OTHERWISE, ALL SLABS ON GRADE SHALL BE REINFORCED WITH (1) LAYER OF 6X6 W2.1XW2.1 W.W.F.
- ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINISHED GRADE.
- PLACE ALL SLABS ON GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS (MAXIMUM OF 15'-0" O.C.) TO MINIMIZE SHRINKAGE CRACKS.
- PRIOR TO PLACING THE BACKFILL MATERIAL AGAINST A NEW FOUNDATION WALL, CONTRACTOR SHALL VERIFY THE WALL HAS SUFFICIENT STRENGTH, SHALL BE ANCHORED TO THE FLOOR ABOVE OR THAT IT HAS BEEN PROPERLY BRACED TO PREVENT DAMAGE.
- WING-WALLS OR A FOUNDATION SHALL BE PROVIDED TO SUPPORT A STOOP NOT LESS THAN 3 FEET OUT FROM ANY EXTERIOR DOOR OR ENTRY.
- CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW.
- SEE SPECIFICATION SHEET.



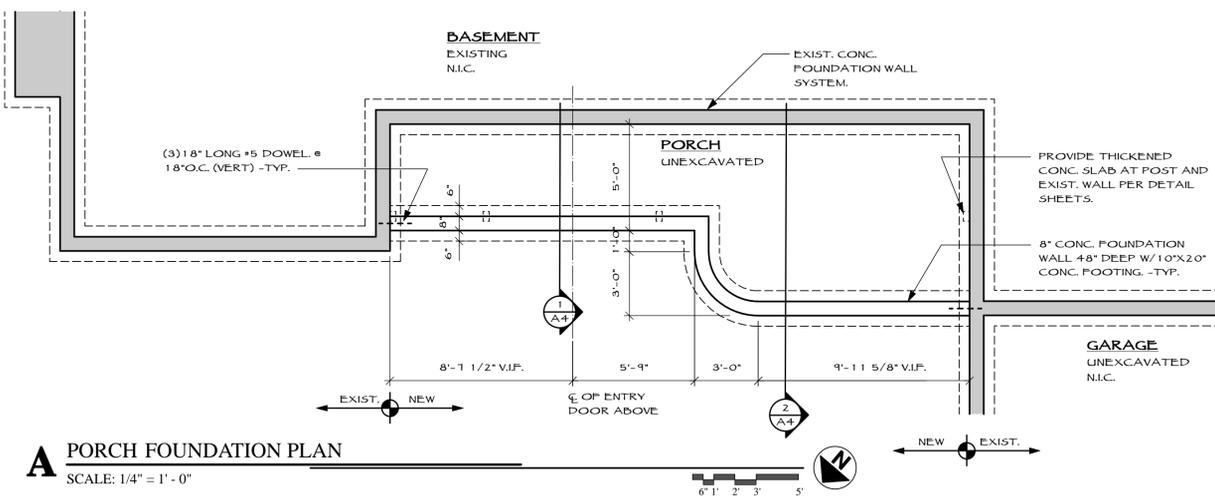
C PORCH ROOF FRAMING PLAN

NOTE:
1. ALL LVL BEAMS SHALL BE MANUFACTURED BY WEYERHAEUSER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. Fb = 2,600 PSI, E = 1,900,000.



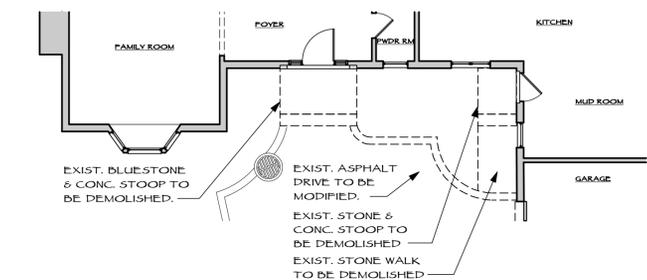
B PORCH PLAN

EXISTING WALL TO REMAIN
NEW WALL
INTERIOR PARTITION: 2X WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES.
EXTERIOR WALL: REFER TO SECTION/WALL DETAIL SHEETS.



A PORCH FOUNDATION PLAN

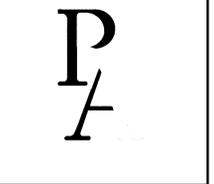
EXISTING WALL TO REMAIN
NEW WALL
INTERIOR PARTITION: 2X WOOD STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES.
EXTERIOR WALL: REFER TO SECTION/WALL DETAIL SHEETS.



C DEMOLITION PLAN

GENERAL DEMOLITION NOTES:
1. CONTRACTOR SHALL VERIFY ALL BEARING CONDITIONS AND PROVIDE SHORING AND BRACING AS REQUIRED OF ALL ITEMS.
2. ALL PLUMBING AND ELECTRICAL ITEMS TO BE REMOVED SHALL BE CAPPED OR REROUTED IN EXISTING OR NEW WALLS, BENEATH THE FLOOR OR IN CEILING IN CONFORMANCE WITH LOCAL BUILDING CODES.

EXISTING WALL TO REMAIN
EXISTING WALL OR ITEM TO BE REMOVED - PATCH WALL, FLOOR, CEILING AS REQUIRED.



RICHLAND ARCHITECTS
YOUR FUNCTIONAL SPACE. UNIQUELY DESIGNED.
122 N. HIGHLAND AVE.
LOMBARD, ILLINOIS 60148
630.705.0035
IL DESIGN FIRM #184.006010

CONSULTANT

DRAWING LIST

A0	TITLE SHEET
A1	SITE PLAN GENERAL NOTES MATERIAL LIST ELECTRICAL SYMBOLS
A2	FOUNDATION PLAN FIRST FLOOR PLAN ROOF FRAMING PLAN DEMOLITION PLANS GENERAL FRAMING NOTES
A3	ELEVATIONS
A4	DETAILS
A5	SPECIFICATIONS

NO.	DATE	ISSUE
1	4/11/14	OWNER REVIEW
2	4/14/14	BID/PERMIT

SEAL

Expires: 11-30-2014

PROJECT TITLE
**MANIATIS RESIDENCE
190 LINDEN PARK PLACE
HIGHLAND PARK, ILLINOIS**

DRAWING TITLE
**PORCH FOUND. PLAN
PORCH PLAN
PORCH ROOF FRAMING
DEMOLITION PLAN**

PROJECT NUMBER
14-2-002

SHEET NUMBER

A2

DRAWING LIST

A0	TITLE SHEET
A1	SITE PLAN GENERAL NOTES MATERIAL LIST ELECTRICAL SYMBOLS
A2	FOUNDATION PLAN FIRST FLOOR PLAN ROOF FRAMING PLAN DEMOLITION PLANS GENERAL FRAMING NOTES
A3	ELEVATIONS
A4	DETAILS
A5	SPECIFICATIONS

NO.	DATE	ISSUE
1	4/11/14	OWNER REVIEW
2	4/14/14	BID/PERMIT

SEAL

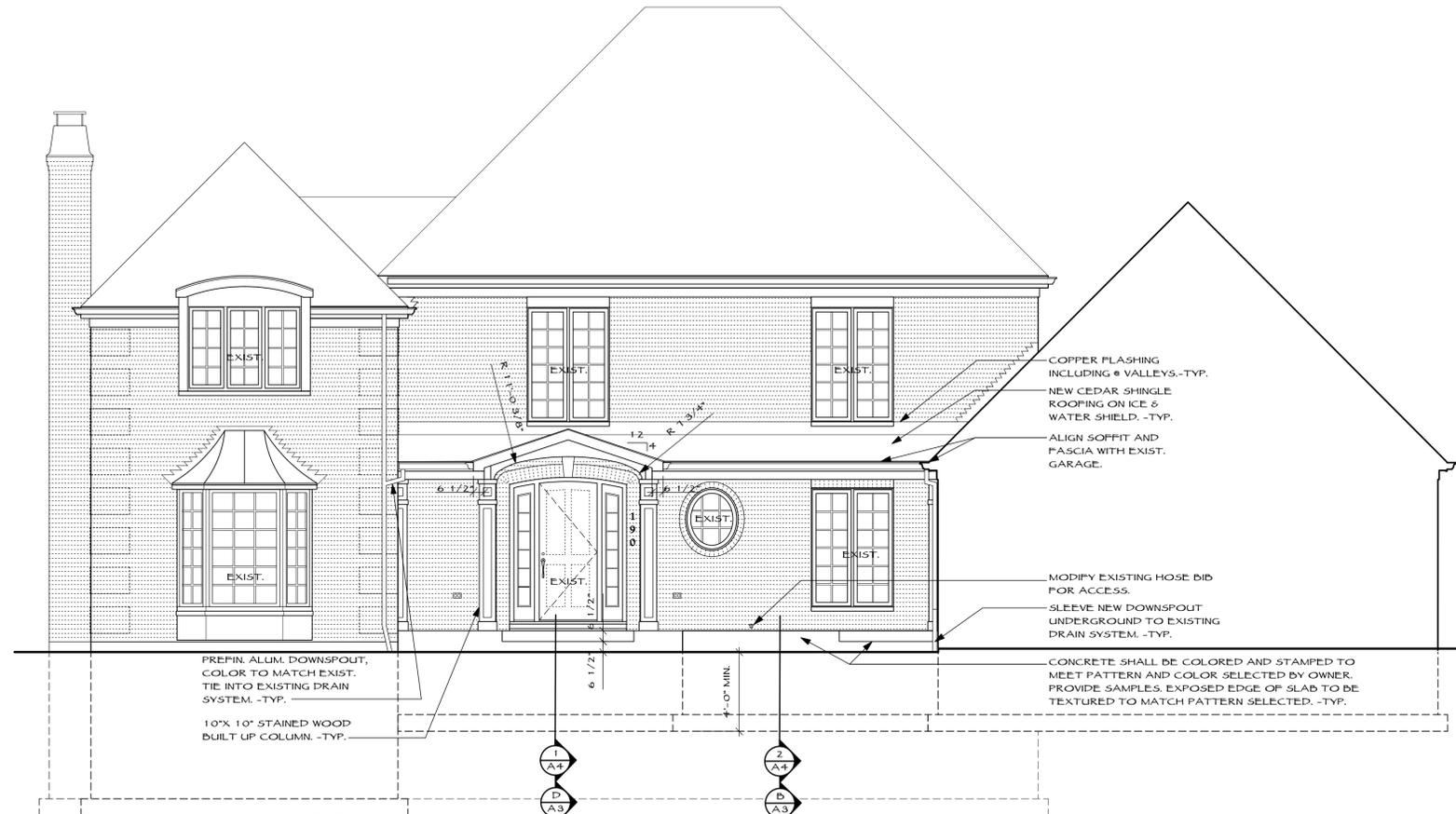
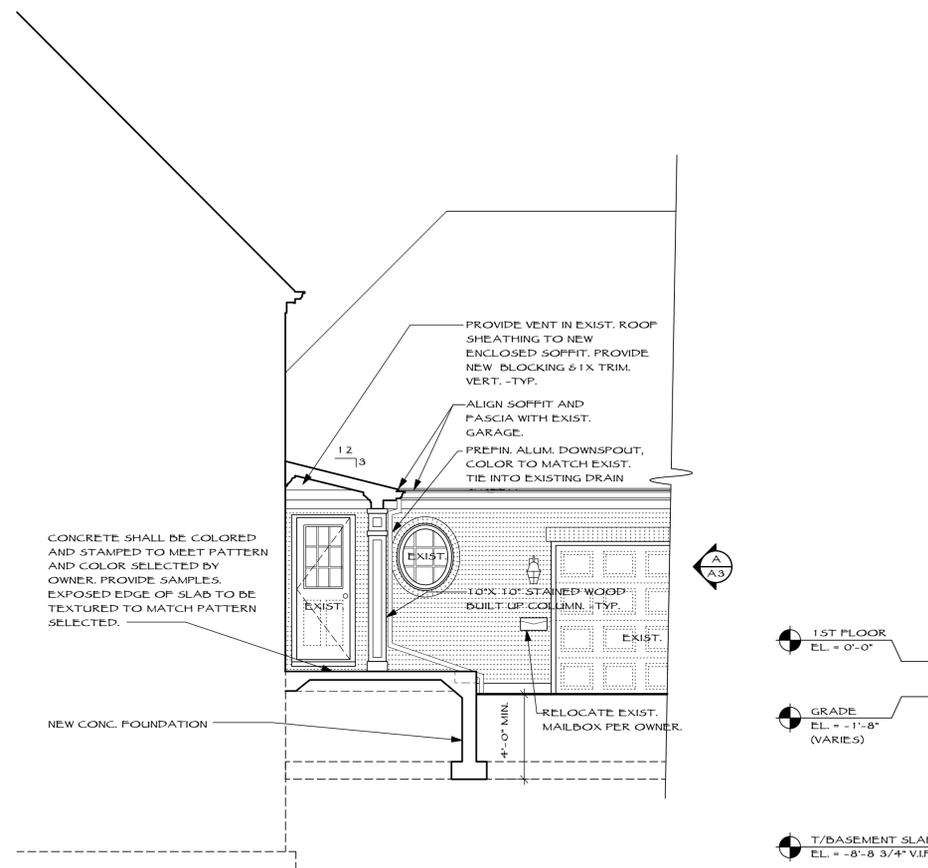
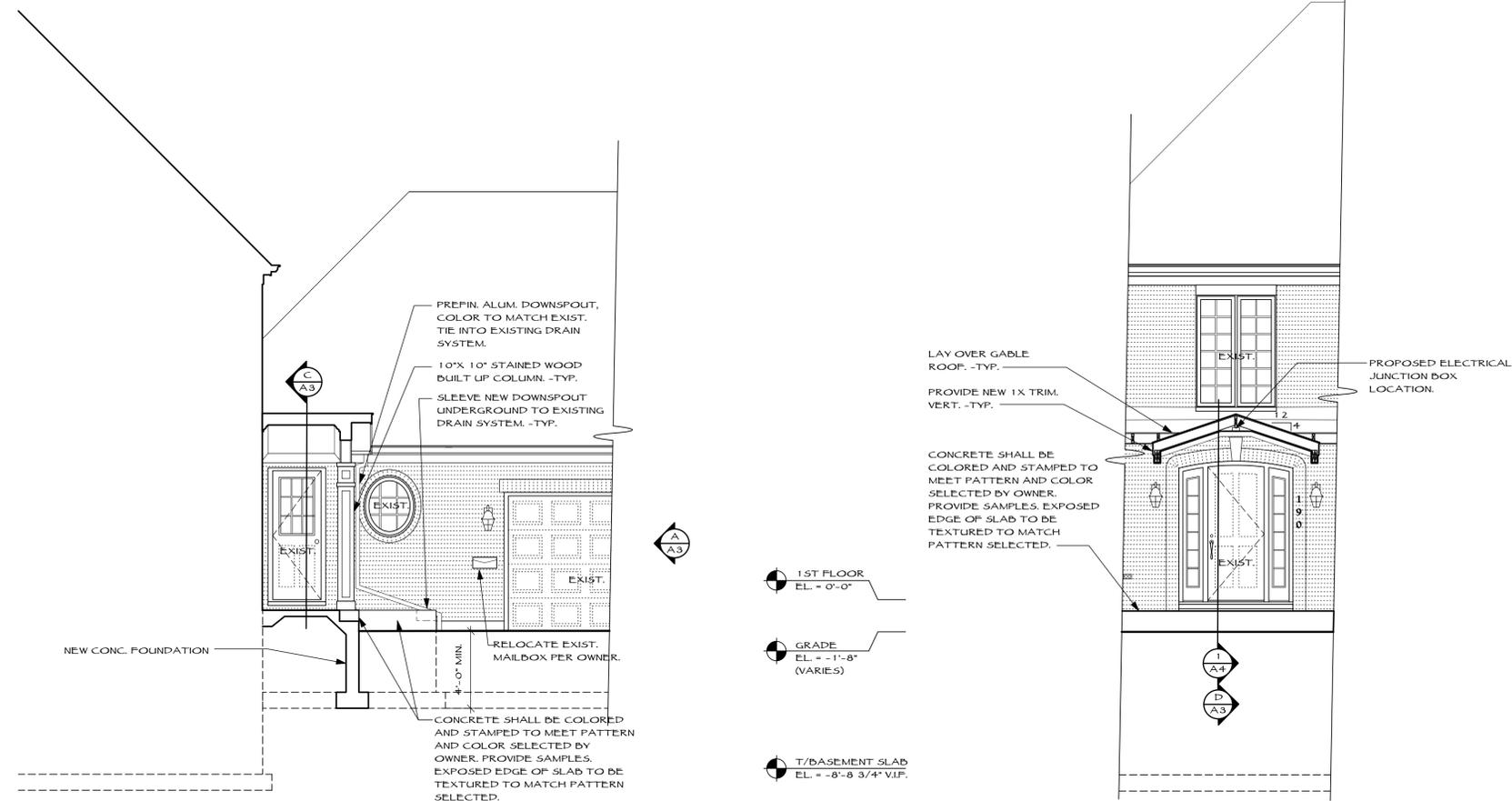
Expires: 11-30-2014

PROJECT TITLE
MANIATIS RESIDENCE
190 LINDEN PARK PLACE
HIGHLAND PARK, ILLINOIS

DRAWING TITLE
EXTERIOR ELEVATIONS

PROJECT NUMBER
 14-2-002

SHEET NUMBER
A3



SPECIFICATIONS

1. GENERAL REQUIREMENTS

1.1 Scope:
Construct the project as detailed in these documents including all related mechanical, heating ventilation and electrical systems complete and ready for use by the end user. The contractor shall furnish the necessary labor, materials, permits, tools, tests, fees, engineering, utilities, supplies, equipment, transportation, insurance, taxes, contributions, superintendence, supervision, temporary construction, protection of owner's property, and any other services and facilities necessary to properly perform the work and complete the project in all respects as described or implied by the various documents, including the plans, specifications and the general conditions.

1.2 General Conditions:
a) A.I.A. Document A201, General Conditions of the Contract for Construction, of the American Institute of Architects, 2007 Edition.
b) Insurance: Provide insurance as outlined in the general Conditions and at the limits agreed to between Architect and the Owner. Additionally, indemnify and hold the Architect, the Architect's consultants and the Owner harmless for all claims for property damage, injury to persons including death, including any expense of any suits relating thereto.

1.3 Bidding:
a) The Contractor by making his bid represents:
1) He has read and understands the requirements of the Drawings and Specifications.
2) He has visited the site and has familiarized himself with the conditions under which the work is to be performed.
3) His bid is based upon the materials, systems and equipment required without exception.
4) He has consulted the Owner regarding scheduling, work and storage area, access limitations, availability to use or tie into utilities, etc., so as to provide minimum interference with existing conditions.
5) He has verified the adequacy of all existing or new work and systems as related to this project.
b) Substitutions: Any substitutions shall be clarified in his bid for the owner's prior acceptance. No substitutions shall be incorporated into the work without prior written approval of the Architect / Owner.
c) Alternates:
The Contractor shall provide alternate prices on each item indicated on the Drawings or specified herein. Each Alternate price shall cover all costs required for the particular part of the work, complete in place, including all changes, alterations or modifications to surrounding work required.
d) Voluntary Alternates:
The Contractor may submit suggestions that will not revise or change the intent of the Drawings. Such suggestions may be included as a negotiated change to the Documents and included in the Contract.

e) Allowances:
Contractor shall provide allowance prices for any items or systems requiring same. Special attention shall be given to such items as cabinetry, brick, carpeting or other floor coverings, appliances, light fixtures, wall coverings, toilet/bath accessories, hardware, special systems, etc. Contractor's base bid shall include the installation of all allowance items and the contract sum shall be adjusted as based on the difference between the invoiced cost and the allowable amount.
f) Item of Agreement:
The successful bidder will be required to execute a construction contract in the form prescribed by the Owner.

1.4 Coordination of Documents and Work:
a) The Drawings and specifications indicate the general scope and requirements of the Project in terms of design performance, dimensions, and the types of civil, architectural, structural, mechanical and electrical systems. The Contractor shall furnish all work required for the proper execution and completion of the project. Decisions of the Architect's or Owner's representative as to the items or work included shall be final and binding.
b) The Contractor shall intermesh the various parts of the work so that no part shall be left in an unfinished or incomplete condition.
c) Any differences between the requirements of the drawings or specifications or any differences noted within the drawings themselves or within the specifications themselves, shall be referred to the Architect prior to submission of bids for prior clarification.
d) Whenever existing conditions are shown to differ from the drawings, repairs or replacements shall be provided to return the same to their original condition. All new construction adjacent to existing construction shall match the existing in all respects, unless otherwise noted.
e) Prior to foundation form / pour and / or framing, verify all dimensions and conditions and assume full responsibility for same before executing any work. Figured dimensions take precedence over scaled dimensions. Notify the Architect of any discrepancy for resolutions prior to initiation of the work.

1.5 Workmanship:
All components of the work shall be installed or erected in accordance with the best practices of the particular trade.

1.6 Codes and Ordinances:
The work shall comply with all applicable building codes and ordinances, and the technical specifications paragraphs provide a general outline of the technical parts of the requirements of the work and any questions concerning their ability should be clarified during the bidding, and then clarified as to the scope, inclusion, etc. in the proposal. Minimal material, construction systems or construction requirements to comply with local codes and amendments as indicated in the General Notes.

1.7 Drawings/ Samples:
The contractor shall provide all necessary design/ engineering drawings, shop drawings, calculations, specifications, material / equipment brochures or samples for all parts of the work including civil, architectural, cabinetry, structural, mechanical, and electrical for prior review by the Architect and/or Owner, and local building code authorities as required for permit purposes.

1.8 Cleanup and Cleaning:
a) Collect and remove all waste, demolition materials and trash from the site area on a routine basis. Comply with all local, state and federal cleaning, bonding, cleaning, hauling, corner let-outs, etc., as shown. All joints to be slightly concave joints or as otherwise indicated on drawings.
b) Leave the building broom clean with all finished surfaces cleaned to the condition expected from a commercial building cleaning program.
c) Site to be free of any construction debris and litter. Paved areas to be broom clean and free of spills, stains and deposits. Grounds that are neither paved or planted to be raked smooth.
d) Remove all temporary constructions to include temporary protection, utilities, signs, etc.

1.9 Guarantees:
All work shall be guaranteed for the period of one (1) year from the date of Substantial Completion.

2. SITEWORK

2.1 scope:
All interior/exterior demolition, site clearing, excavation, fill, site rough and finish grading, site utilities, landscaping, and related items.

2.2 Site Demolition:
Remove all existing top soil, landscaping, paving, construction, utilities, etc. not required in the final construction. Take special care to prevent loss of any trees or other vegetation. Verify location of and protect all public and private utility lines prior to commencing demolition work.

2.3 Topsoil Removal:
Remove all including vegetable matter from all areas requiring new construction including under drives, walks and patios. Stockpile for future redistribution.

2.4 Excavations:
To depths shown or as required to achieve design bearing capacity of 3000 P.S.F. or as indicated on drawings. If excavations are carried below the depths shown to achieve the design capacity, fill the excavation with concrete. Provide soil engineer certification that the required bearing pressure listed herein has been obtained.

2.5 Backfill:
Bring all excavations to final rough grade in minimal 12" lifts. Compact lifts under paving and slabs at 95%; all other areas to 90%. Rough grade to finish grade less 6", then bring to finish grade with existing or additional topsoil to new elevations shown and to match existing grades. Grading to be performed to maintain positive drainage away from any building with no pocketed surface water. Do not backfill against basement / crawl space walls until first floor framing and basement slab are in place.

2.6 Granular Fill:
Final fill lift to be compacted crushed stone under all concrete slabs/paving. Provide to 4" minimum under slabs and 8" minimum under paving.

2.7 Building Demolition:
Remove all items indicated on the drawings or as necessary to install the new work. Verify all framing conditions prior to the removals and provide all necessary temporary shoring, supports, and bracing. Provide temporary dust walls/weather light barriers to protect the existing construction as required. Restore any disturbed conditions to their as found condition.

3. CONCRETE

3.1 Scope:
All footings, foundations, piers, slabs, forms, reinforcing, vapor barrier and related items.

3.2 Quality, Design and Performance standards:
Comply with for all concrete work:
a) ACI 301 - Specifications for Structural Concrete for Building
b) ACI 318 - Building Code Requirements for Reinforced Concrete
c) ACI 347 - Recommended Practice for Concrete Formwork
d) CRSI - Manual of Standard Practice

3.3 Materials:
a) Concrete:
1) Ready Mixed. Provide copy of each delivery ticket.
2) Strength: F_c = 4000 p.s.i. ultimate compressive at 28 days.
3) Air entrain at all exterior concrete with 6% air content.
b) Reinforcements:
1) Bars: ASTM-615, Grade 60
2) Welded Wire Fabric: ASTM A-185
3) Accessories: Supports, Ties, Etc. Provide plastic coated for all exposed work.

b) Reinforcements:
1) Bars: ASTM-615, Grade 60
2) Welded Wire Fabric: ASTM A-185
3) Accessories: Supports, Ties, Etc. Provide plastic coated for all exposed work.
4) Minimum required in all work as required by ACI-318 and as follows or as detailed:
a. Footings: 1 #4 horizontal; #4 @ 24" c/c vertical;
b. Walls: 2 #5 top and bottom; #5 @ 24" c/c vertical.
c. Intersecting walls: 2 #5 dowels top and bottom x 3'-6" long.
d. Floors: 6# W2.1xW2.1 Welded Wire Fabric (W.W.F.)
c) Vapor Barriers: 6 mil Visqueen
d) Forms: design responsibility by the Contractor.
e) Precast concrete splash blocks: Provide at each downspout or as indicated on drawings.

3.4 Erection:
a) Verify all hold-outs, ledges, sleeves, openings, etc., in concrete work for all supported framing, or other work.
b) Vapor barrier under all interior slabs on grade.
c) All slabs on grade minimum 4" with construction/control joints maximum of 15'-0" c/c. Each way.
d) Reinforcement Installation per ACI-318 with minimum cover per ACI-301.
e) Finishes:
1) Exterior walks/steps: Broom U.L.O.
2) Interior slabs: Machine Trowel
3) Vertical exposed surfaces: Remove fins and fill all holes.
f) Curing: Protect from Moisture loss for 7 days.
g) Gout/Seal all beam Pockets.

3.5 Decorative Concrete:
a) Quality Assurances:
1) Initial per manufacturer's recommendations.
2) Two year's experience with projects of similar scope and quality.
b) Integrally colored concrete:
1) Integral Concrete Colorant: ASTM C 979, factory-measured powdered mix in self-dissolving packaging, consisting of non-fading finely-ground synthetic mineral-oxide coloring pigments and water reducing wetting agent, OR, Liquid Colorant: ASTM C 979, admixture for integrally coloring concrete, consisting of non-fading synthetic mineral-oxides coloring pigments suspended in a pH adjusted water-based solution, dispersed at the batch plant, or premeasured in pails for job-site addition.
a. Product: Butterfield Color® Uni-Mix® Integral Colorant.
b. Product: Butterfield Color® Uni-Mix® Liquid Colorant.
c. Colors: As selected by owner from Manufacturer's color charts. Submit according to Conditions of the Contract and Division 1 Specification Sections.
f) Submit mix designs for each type of integrally-colored concrete mix required.

d) Dry powder colored release agent:
1) Pigmented-Powder Release Agent: Factory-packaged, nonfading finely-ground, streak free, colored powder that facilitates release of stamps and texture rollers from colored concrete and imparts a secondary accent color.
a. Product: Butterfield Color® Perma-Cast® Antiquing Release.
b. Colors: As selected by owner.
c) Stamped concrete finish:
1) Stamp Mat: Semi-rigid polyurethane mats with projected texture and ridged underside capable of imprinting texture and joint patterns to plastic concrete.
a. Manufacturer: Butterfield Color®.
b. Pattern: As selected by owner.

2) Stencils: Moisture-resistant paper stencils, designed for use on plastic concrete.
a. Manufacturer: Butterfield Color®.
b. Pattern: As selected by owner.
3) Texture Rollers: Manually controlled, abrasion-resistant polyurethane rollers capable of imprinting texture on plastic concrete.
a. Manufacturer: Butterfield Color®.
b. Pattern: As selected by owner.
4) Doecrative Concrete sealer:
1) Clear, Solvent-Borne, Membrane-Forming Curing and Sealing Compound: ASTM C 309, non-yellowing, VOC-compliant, high-gloss, clear liquid.
a. Product: Butterfield Color® Clear-Guard™ Cure & Seal.
2) Flatten Paste: Manufacturer's standard product designed to reduce sealer gloss finish to matte finish.
a. Product: Butterfield Color® Flatten Paste.
3) Slip-Resistive Additive: Finely graded aggregate or polymer additive designed to add to sealer slip-resistant surface.

4. MASONRY

4.1 Scope:
All masonry, including brick, concrete block, stone, heat resistant masonry including all accessories (ties, reinforcing, anchors) and associated mortar or other setting materials.

4.2 Quality, Design and Performance Standards:
Comply with for all masonry work:
a) Brick Institute of America (BIA), Structural Clay Products Institute (SCPI) latest standards
b) ASTM Standards for each type of masonry unit
c) National Concrete Masonry Association (NCMA) latest standards.
d) Recommended Practices for Cold Weather Masonry

4.3 Materials:
a) Brick:
1) Match existing or provide allowance per/1000 units with number estimated in bid proposal.
2) Exposed brick coursing/bond, including heads, corner let-outs, etc., as shown. All joints to be slightly concave joints or as otherwise indicated on drawings.
3) Brick sample to be approved prior to delivery to job site.
b) Concrete Block:
1) Hollow or Solid units with U.L. rating where required.
2) Size/Bond/thickness as shown with slightly concave joints or as otherwise indicated on drawings.
3) Block sample to be approved prior to delivery to job site.
c) Stone:
1) Natural cut limestone unless otherwise indicated on drawings.
2) Profiles, texture, color, jointing to match existing or, if new, to be approved prior to delivery to job site.

d) Heat Resistant Masonry:
1) Flue Linings: Glazed fireclay.
2) Fireclay Brick: Back, sides, floor of fireplaces.
3) Chimney caps: Stone, Concrete or clay products as shown.
e) Fireplaces:
1) Provide cast iron damper, clean-out door and ash drop.
2) Doors, Gas log starter, etc. where indicated.

4.4 Erection:
a) Verify all opening sizes prior to beginning work in accordance with standards of various products used/specified.
b) Ties: Every 16" c/c vertical and 24" c/c horizontally, 22 gauge galvanized corrugated. Provide twist type joint reinforcement for multi-wythe walls.
c) Flashing/Weeps/Accessories: All as required/shown.
d) Bonds/Joining: Patterns/layout as shown and/or approved.
e) Set all anchor bolts, lintels, plates, etc.
f) At completion point: Up and clean all masonry surfaces.

5. METALS

5.1 Scope:
All structural steel including beams, columns, lintels, metal connectors, anchor bolts, and miscellaneous items.

5.2 Quality, Design and Performance Standards:
Comply with for all steelwork:
a) A.I.S.C. "Code of Standard Practice."
b) A.I.S.C. "Specification for Design, fabrication and Erection of Structural Steel for Buildings."
c) A.W.S. "Standard code for Welding in Building construction."

5.3 Materials:
Structural Steel:
a) As show; specified or required.
1) Steel shapes, plates, bars: ASTM - A36
2) Pipe: ASTM - A53
3) Tubing: ASTM - A501
4) Bolts: ASTM-A307 or A325
b) Miscellaneous metals:
1) Special Castings
2) Railings
3) Window Wells: Performed/galvanized
4) Louvers: Aluminum/galvanized, painted
5) Other items as shown or specified

5.4 Fabrication:
Steel details: AISC standards or as indicated on drawings.
Field connections: 3/4" high strength bolts.
Provide anchors for all items bearing on masonry.
All steel/miscellaneous metals to receive manufacturer's standard rust inhibitive primer. Grey or green primer color preferred.

5.5 Erection:
a) All items shall be erected, aligned and plumb.
b) All bolts shall be properly set and tightened.
c) Provide temporary bracing as necessary to support frame until floor/wall/roof systems are in place.
d) Field cutting is not allowed without approval.
e) After erection touch up any abrasions in the shop prime coat prior to finish painting.

6 WOOD AND PLASTICS

6.1 Scope:
All rough and finish carpentry including but not limited to framing, sheathing, siding, stairs, hardwood flooring, finish trim or surfacing, millwork cabinetry including related hardware and accessories.

6.2 Quality, Design and Performance Standards:
Comply with for all rough and finish carpentry work:
a) American Institute of Timber Construction
b) American Plywood Association (APA)
c) Architectural Woodwork Institute (AWI)
d) Woodwork Institute (WI) Manual of Millwork
e) National Forest Products Association

6.3 Materials:
a) Framing Lumber:
1) Minimum bending stress of 1,400 p.s.i. (Fb) and modulus of elasticity of 1,500,000 p.s.i. (E). Species to be Southern Pine, Douglas Fir, Hemlock or Larch with minimum standards of Southern Pine No. 2 common.
2) Kln dried with a maximum moisture content of 19%.
3) Wood exposed to the elements; or in contact with masonry/steel; or used as roof nailers to be treated.
4) No exposed steel plates or connections.
5) Manufacturer shall verify and certify beam size for loading conditions. Install per manufacturer's recommendations.
c) Microlam Beams:
1) Where shown on drawings to be manufactured by Weyerhaeuser.
2) No exposed steel plates or connections.
3) Manufacturer shall verify and certify beam size for loading conditions.
4) Install per manufacturer's recommendations.

d) Engineered Prefabricated Joists:
1) Integral Concrete Colorant: ASTM C 979, factory-measured powdered mix in self-dissolving packaging, consisting of non-fading synthetic mineral-oxides coloring pigments suspended in a pH adjusted water-based solution, dispersed at the batch plant, or premeasured in pails for job-site addition.
2) No exposed steel plates or connections.
3) Manufacturer shall verify and certify beam size for loading conditions.
4) Install per manufacturer's recommendations.
e) Roof Sheathing: Interior plywood, exterior glue, graded C-D INT-APA, thickness as indicated on drawings.
f) Floor Sheathing: Interior Plywood, tongue and groove, C-D glue, graded C-D INT-APA, 3/4" thickness.

g) Underlayment:
1) Under sheet/ tile vinyl flooring: Plywood, graded Underlayment INT-APA with interior glue
2) Under ceramic/ Quarry tile and marble/ slate: Exterior plywood, 1/2" thickness, graded Underlayment C-C Plywood EXT-APA.
h) Wall Sheathing:
1) Exterior plywood: Graded C-C EXT-APA, 1/2" thickness.
2) Building Infiltration Wrap: Tyvek or equal. Install, overlap and seal all seams per manufacturer's recommendations.
j) Exterior Siding:
1) Select Cedar, random length or as indicated on drawings.
2) To match existing where applicable.
3) New as noted and shown.

k) Hardwood Flooring:
1) Red Oak, 3/4" T&G, 2 1/4" width or as indicated on drawings.
l) Interior Trim:
1) Natural finish: S4S, Oak, 1" nominal, or as indicated on drawings.
2) Painted finish: Clear Poplar, 1" nominal, or as indicated on drawings.
3) Profiles: As selected or detailed.
m) Closet Shelves:
1) Interior Birch Plywood with hardwood edge.
n) Millwork/ Cabinetry:
1) As detailed and shown on drawings.
2) Provide all necessary Wood Blocking and Curing; Grounds and support framing, grommeters, hangers, straps, saddles.
3) Plastic laminate tops and backslaps or as indicated on drawings.
4) Shop Drawings: Indicate materials, component profiles and elevations, assembly methods, joint details, fastening methods, accessory listings, hardware location and schedule of finishes.
5) All required hardware as selected.
6) State an allowance if required in the Bid Cost.

6.4 Fabrication and Erection:

a) Joints:
1) Size and spacing as shown on drawings.
2) Provide double joints under all parallel partitions with a minimum 3 1/2" bridge gap for HVAC and mechanical access.
3) Provide solid double joints under all header or trimmers carrying concentrated loads.
4) Bridging for floor joists shall be solid type of the same depth as joists.
5) Notch joints where required, no more than 1/6 the depth. No notching shall be allowed in the center 1/3 of span, reinforce above notch as directed.
b) Flitched Beams: Thru-bolt together with 1/2" round bolts with nuts (countersunk as required) at 18" O.C. attached at quarter points top and bottom. Provide bearing studs to full thickness of beams and at each side extending to top of beam.
c) Glue Laminated Beams:
No exposed glue plates and per manufacturer design for loading conditions.
d) Roof Sheathing: Minimum nailing per recommendations of APA and spaced no less than 6" c/c on all edge supports and 12" c/c on all intermediate supports.
e) Floor Sheathing: Layers shall be glued and screwed with overlapping and staggered joints.
f) Building Infiltration Wrap: Install over all exterior sheathing, grommeters, hangers, straps, saddles.
1) Provide and install where required or indicated on drawings by Simpson, Teco Co. or approved equal.
2) Provide all nails, bolts, screws, etc. of proper size for the intended use. All nails, bolts, or screws in exterior use to be galvanized or aluminum. Minimum nailed connection for wood framing members shall be in accordance with the Recommended Fastening Schedule shown in Table R602.3(1) in International residential code 2009 unless otherwise noted.
h) Interior Trim: All joints to be tight with full mitered corners. Set all nails and fill all nail holes.
i) Millwork: Install plumb, level, and securely anchored. Make scribes accurately and mitre all corners of all trim. Installation shall be finished with all hairline joints. Provide all required hardware. The supplier will provide complete shop drawings including finishes, colors and hardware for approval prior to manufacturing or installation.
Install all doors, windows, hardware, accessories, etc.

7. MOISTURE PROTECTION

7.1 Scope:
Dampproofing, building insulation, roofing, flashing and sheet metal, roof accessories and sealants/caulking.
7.2 Quality, Design and Performance Standards:
a) National Roofing Contractors Association (NRCA) Standards.
b) Sheet metal and Air Conditioning Contractors National Association (SMACNA) Architectural Sheet Metal Manual
c) Manufacturers' written recommendations.

7.3 Materials:
a) Dampproofing/ Waterproofing (See drawings):
1) Dampproofing: A fiber reinforced, trowel applied asphaltic base system applied as a rate of approximately 1 gallon/ 25 sq. ft. and similar to Karnak 86
2) Waterproofing: A spray applied elastomeric coating protected by Owens-Corning Fiberglas Tuft-A-Dri Exterior Foundation Waterproofing System or approved similar or equal.
b) Foundation Wall Insulation: Dow Styrofoam 2" thickness as Bid Alternate. If accepted, delete board layer as required under Waterproofing.
c) Building Insulation: Owens Corning Fiberglas foil-faced light density thermal insulation with a flame spread of 0-25.
1) 3-5/8" R-13
2) 6-1/4" R-19
3) 5-1/2" R-21
4) 8-1/2" R-30
5) 10 1/4" R-38
6) 12" R-38

d) Roofing/Flashing:
1) Sloped Roofs (as shown on drawings)
a. Underlayment: One (1) layer 15# fiber glass / asphalt felts for composition shingles and 30# for cedar shakes or shingles.
b. Composition shingles or as shown on drawings:
1. Base Bid: Self sealing glass fiber asphalt shingles to match existing or in color to be selected, U.L. Class "A" fire rating, minimum weight of 235# / square.
2. Alternate Bid: Self sealing glass fiber asphalt shingles to match GAF "Timberline" series or approved equal in color to be selected.
c. Cedar shakes or shingles: Fire retarded if required by local code.
d. Composition flashing: 30# / 30# 15# roll roofing or underlayment felts
2) Flat Roofs (as shown on drawings):
a. Built-up: 4 ply (base sheet plus 3 plies) 25 year, fiber glass asphalt felts, gravel surface by Derbigum, Johns Manville, Koppers or approved equal, with compatible flashing system. Provide garranty.
b. Metal: Standing seam copper.
f) Sheet Metal:
1) Gutters / Downspouts / eave drips / caps / flashings: Material as shown and gauges per "Architectural Sheet Metal Manual" of SMACNA. Minimum gauged as follows:
a. Wall / chimney / valley flashing: 16 oz. Copper.
b. Gutters / downspouts / eave caps: .032 aluminum, 16 oz. copper or 26 gauge B.I. as shown on drawings.
2) Roof Penetrations (Vents): #4 lead sleeves.

g) Masonry thru-wall flashing: Composition reinforced fabric/ plastic sheet.
h) Sealants / Caulking: For all joints between dissimilar materials: Tremco or equal intermediate "Mono" or "Small Joint Sealant."

11 EQUIPMENT

11.1 Materials/Equipment:
a) Those items as scheduled or noted.
b) Verify all loads in requirements. Coordinate all dimensions, plumbing, electrical, etc.
c) Provide all necessary supports, fastenings, Cutouts, Etc.

11.2 Bid Cost:
a) Include installation of all items shown or scheduled in the Bid Cost.
b) State an allowance in the Bid Cost of any equipment items agreed to with the owner if the owner elects not to purchase those items separately.

12 NOT USED

13 NOT USED

14 NOT USED

15A PLUMBING

15.1 Scope:
Hot and Cold water piping systems; Sanitary and vent piping systems including floor drains and ejector pump in required; Subsoil/foundation drainage systems including sump pump; if required; Storm drainage systems; gas piping and equipment; exterior utility connections including storm, sanitary, gas and water including required meters to public systems; All fixtures and trim: piping insulation; Service connections to all equipment including appliances and System Design.

15A.2 Engineering, Design and Installation standards:
In accordance with the following:

7.4 Special Installation requirements:
a) Dampproofing: Prepare walls by removing ties and trowel holes with plastic bituminous cement before Dampproofing.
b) Building Insulation: Provide at the following locations:
1) All exterior walls at width of studs.
2) All walls between heated and unheated space (garage, attic, etc.): At width of studs.
3) All floors above unheated spaces (crawl, over garage, etc.) at depth of joist.
4) All floor edge conditions.
5) All ceilings between unheated / heated space (attics, lofts, etc.): At a thickness of 12" (R-38).
c) Sound Insulation: Provide at locations indicated on drawings.
d) Roofing and Flashing: In accordance with manufacturers' written recommendations and the standards of MRCA and SMACNA.
e) Masonry thru-wall flashing: At opening heads / sills, wall base, lintels, parapets, copings, etc.

8 DOORS AND WINDOWS

8.1 Scope:
Interior and exterior doors, sliding and fixed windows, skylights, finished hardware and glazing.

8.2 Quality, Design and Performance Standards:
a) Manufacturers' written recommendations.

8.3 Materials:
a) Doors: As scheduled on the drawings or to match existing. Provide U.L. label if required. Wood doors with lifetime guarantee; all others two (2) years.
b) Door frames: Wood or hollow metal, double rabbeted to match door.
c) Windows:
1) As scheduled, include screens or roll screens, mutins and hardware as scheduled. Fixed windows without screen. Finish color as indicated on drawings. Alternate color and / or manufacturers with express written approval by architect.
2) Special decorative muntins / octagons, where shown, to be web with fixed wood mutins and exterior factory primed. Alternate manufacturers with express written approval by architect.
3) Basement: Prefinished steel with operable and removable sash.
d) Skylights: Velux units as scheduled. Finish color to be selected.
e) Attic Vent: Webb molded urethane decorative louver with bird / insect screen, size as scheduled or indicated on drawings. Finish color to be selected.
f) Hardware:
1) General:
a. All required finish hardware for completion and proper operation of the building.
b. Supplier shall be a local hardware supply company.
c. Provide schedule and sample of each item for prior approval.
2) Materials and finish: Match existing or as follows:
a. Lock / Latch sets: Schlage Series A, finish and style to be selected.
b. Butts: Full mortise, exterior doors ball bearing, finish to be selected.
c. Stops/Bumpers: For each door, style and finish to be selected.
d. Sliding Track Assemblies: all pocketed or bi-fold doors.
e. Thresholds / Weatherstripping: All exterior doors, style and color to be selected.
3) Installation: Mount at heights recommended by the Door and Hardware Institute. At completion, adjust and check each unit for proper fit, operation, and function.
4) Hardware allowance: State an allowance in the Bid Cost.
g) Glass: Comply with the requirements of the Flat Glass Marketing Association (FGMA) "Glazing" and "Sealant Manual". All glass shall be free of scratches, cracks, dirt, etc. and all insulated glass shall be guaranteed five (5) years against formation of noticeable film in air space.

8.4 Insulation: All systems in accordance with the latest written instructions of the manufacturer unless otherwise specified.

9 FINISHES

9.1 Scope:
Lath/ Plaster, Gypsum wall board, ceramic tile, resilient tile, marble flooring, painting and staining.

9.2 Quality, Design and Performance Standards:
a) Manufacturers' written recommendations.

9.3 Materials:
a) Gypsum Wallboard:
1) U.S.G. 5/8" regular, exception use water resistant "W/R" behind all tile and "Firecode" for rated assemblies.
2) Accessories: U.S.G. Series 200r; Corner reinforcement; and control joints if required.
3) Screw apply all gypsum board to joists / studs / blocking.
b) Ceramic tile / Quarry Tile:
1) As manufactured by American Olean or approved equal.
2) Colors, Sizes and finish to be selected by owner, or as indicated on drawings.
3) Provide recessed soap dishes in ceramic tile wall as indicated on drawings.
4) Installation method to be latex modified thinset by Latecrete.
5) State an allowance of \$/sq. ft. in bid proposal for floor and wall for each finish surface.
c) Marble floor and wall veneer:
1) Cold Spring or Equal, size 12" x 12" x 3/8"; finish and color to be selected by owner, or as indicated on drawings.
2) State an allowance of \$/sq. ft. in bid proposal for floor and wall for each finish surface.
d) Resilient Flooring:
1) Vinyl composition tile or sheet goods as manufactured by Armstrong or approved equal.
2) Colors, size and finish to be selected by owner, or as indicated on drawings.
3) 4" high vinyl base, in color selected by owner, or as indicated on drawings.
4) State an allowance of \$/sq. ft. in bid proposal for floor surface.

e) Carpet:
N.I.C. Provide an allowance of \$/sq. ft. in bid proposal if requested.
f) Painting:
1) Scope: Prime and finish coats (one plus two coats) on all items of new construction required to produce a finished painting job.
2) Miscellaneous:
a. Undercoat materials by same manufacturer as finish coats.
b. Shop primed items to be repaired and touched up prior to finish painting.
c. Colors to be selected from the manufacturer's standard colors by owner.
3) Materials:
a. Paint: Devco & Reynolds, Sherwin Williams, Benjamin Moore or Glidden.
b. Stains: Olympic or Cabot
4) Painting Schedule:
a. Exterior Surfaces:
1. Painted wood: 1 prime coat / 2 finish coats.
2. Stained wood: 2 coats semi-transparent stain.
3. Metals: 1 prime coat / 2 finish coats semi-gloss enamel.
b. Interior Surfaces:
1. Gypsumboard drywall: 1 prime coat / 2 finish coats eggshell enamel, semi-gloss enamel in kitchens and bathrooms.
2. Painted wood: 1 prime coat / 2 finish coats Semi-gloss enamel.
3. Natural Finish Wood: 1 coat sealer / 2 finish coats oil rubbing varnish
4. Metals: 1 prime coat / 2 finish coats Semi-gloss enamel.
5. Cabinetry: Shop finished.

9.4 Installation:
All systems in accordance with the latest instructions of the manufacturer unless otherwise specified.

10 SPECIALITIES

10.1 Scope:
Toilet/bath accessories, mirrors, medicine cabinets, louvers/vents, fireplaces, etc.

10.2 Materials:
a) Toilet/Bath accessories:
1) Includes such items as towel bars, toilet tissue holders, medicine cabinets, mirrors, shower curtain rings (lights, switches, outlets) service and distribution concepts; etc. On the basis of the indicated scope, both desired, indicated or implied, the contractor shall furnish all items or work required for proper execution and completion.
b) Prepare Electrical Design drawings to show the location of all devices and equipment requiring electrical service; circuiting; panels; disconnects; conduit / service runs; riser schematics for all system types, etc. All drawings shall be reviewed and approved prior to installation. Provide engineer's seal / certification if required for local permit.

10.3 Materials:
a) Conduit:
1) Primary service/ underground: Rigid steel, galvanized.
2) In concrete/ masonry walls or slabs: Rigid steel, galvanized or PVC Schedule 40.
3) Interior: Electrical Metal Tubing (EMT), galvanized.
4) Drops to equipment: If rigid not possible use flexible steel or approved rubber covered, with maximum of 18" length.
b) Conductors: Normal or high voltage copper.
c) Distribution Equipment: NEMA standards. By same manufacturer.
d) Receptacles: Grounded, NEMA standards, white. Provide G.F.I. for all units in Baths, Kitchens, Laundry, Exterior or other wet locations.
e) Switches: NEMA standards, white. Dimmer switches to be Lutron slide type.
f) Device Cover Plates: Painted plastic to match adjacent wall surface.
g) Lighting Fixtures:
1) Contractor to include in his Bid Cost the installation of all lighting fixtures.
2) Contractor to include in his Bid Cost the supply and lamp holders in such spaces as Basement, Crawl Spaces, garage, Closets, etc.
3) Provide an allowance in the Bid Cost for all other indicated fixtures, including decorative ceiling fans if the Owner elects not to purchase these items separately.
h) Smoke Detectors: Color White with reset / test button. Located within each sleeping room, in the immediate vicinity but outside of each sleeping room, and on each level off the home. All smoke detectors must be hard wired, with back up batteries and wired in such a way that the activation of any one detector will sound all detectors.

i) Special Systems: Provide allowances or Bid Cost clarification for all special systems such as Security, Intercom, Television, Telephone, Data Network, Antenna as defined or requested.
j) Carbon Monoxide Detectors: There shall be one working carbon monoxide detector within 15 feet of every room used for sleeping.

16.5 Installation:
a) Coordinate all work with local utility company and any other governmental agencies for new or revised primary service.
b) Main panel with main switch with circuits for all loads.
c) All power equipment to have separate circuit to include pumps, furnaces, hot water heaters, laundry equipment, kitchen equipment, condensing units, etc.
d) Conduit runs where exposed to view shall be parallel to structural elements.
e) Mount outlets at 14" AFF for all spaces above grade and 42" AFF for all below grade spaces unless otherwise indicated.
f) All devices located in finish surfaces to be mounted so that the cover plate when installed will be flush to the finish surface. Devices located in unfinished spaces, such as basements with foundation walls exposed must be surface mounted unless otherwise indicated.
g) Prior to installation, review the location of all outlets for fixtures, receptacles, switches, etc. with the Owner and obtain his / her approval.
h) Dining room and kitchen receptacles will be provided within all habitable areas spaced not more than 12 feet apart, and within 6 feet of any door opening and on any wall 2 feet away from the door that all kitchen counter top outlet receptacles will be GFI protected and spaced so that no point along the wall line will be 12 inches be more than 2 feet from any point (4 feet on center) and at any wall counter space that is 12 inches wide or more.
i) Humidifiers are installed in the building thermal envelope that they will be sealed (gasket or calk) to limit the air leakage between conditioned and unconditioned spaces, be IC - rated and labeled as having an air leakage rate of not more than 2.0 CFM.

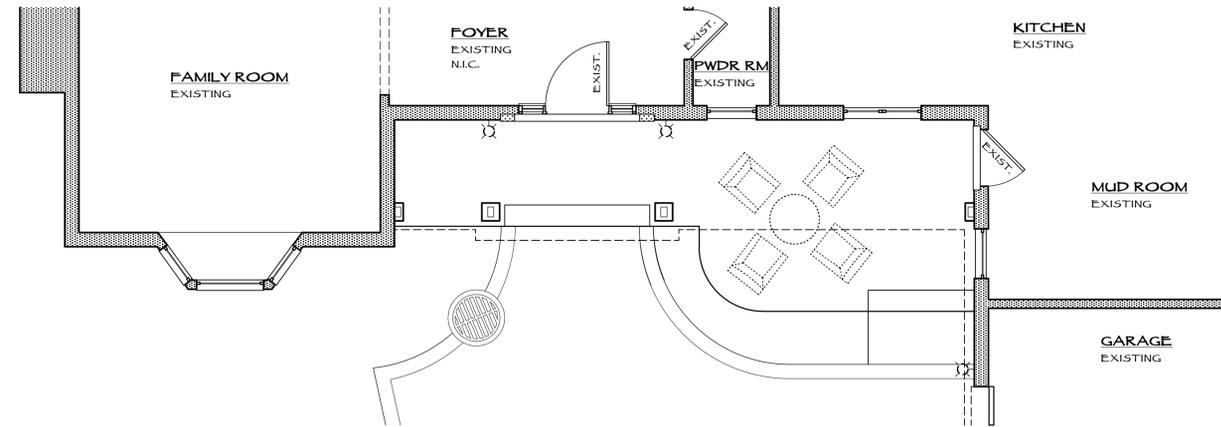
16.6 Installation:
In accordance with the following:

a) National Plumbing Code Standards.
b) Local Building Codes.
c) As herein specified.

15A.3 Engineering and Design:
a) The Drawings / specifications define the project in terms of equipment and services. On the basis of the indicated scope, both described, indicated or implied, the contractor shall furnish all items of work required for proper execution and completion.
b) Prepare Plumbing Shop Drawings to show the location of all devices, equipment and piping runs. The Shop Drawing drawings shall be reviewed and approved prior to installation.

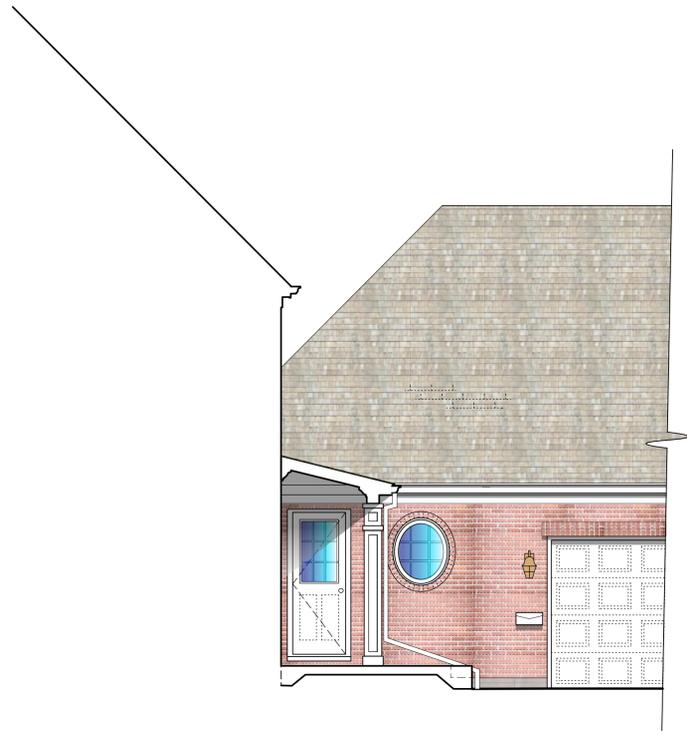
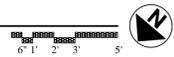
15A.4 Materials:
a) Hot and Cold water piping:
1) Type "L" above grade. Type "K" below grade; hand drawn copper.
2) Air Chambers prefabricated, swagged type 18" high capped.
3) Frostproof sillcocks as shown with inside shut-off.
4) Insulation valves for branch lines and at fixtures.
5) Hot water piping shall be insulated according to section R403.4.2 of the International Energy Conservation Code, latest edition.
b) Sanitary and vent piping:
1) Underground and all vertical risers: Extra heavy cast iron hub and spigot tar-coated ASTM 74-69, either lead and oakum joints or tysoal gaskets.
2) Above ground: Standard weight cast iron hub and spigot, or heavy ABS armo plastic or PVC Schedule 40, as approved by local authorities.
c) Subsoil drain piping: Extra heavy perforated Armo ABS plastic surrounded by washed stone.
d) Storm Drainage system: Precast concrete or coated steel piping.

e) Gas Piping:
1) Black Steel, Schedule 40.
2



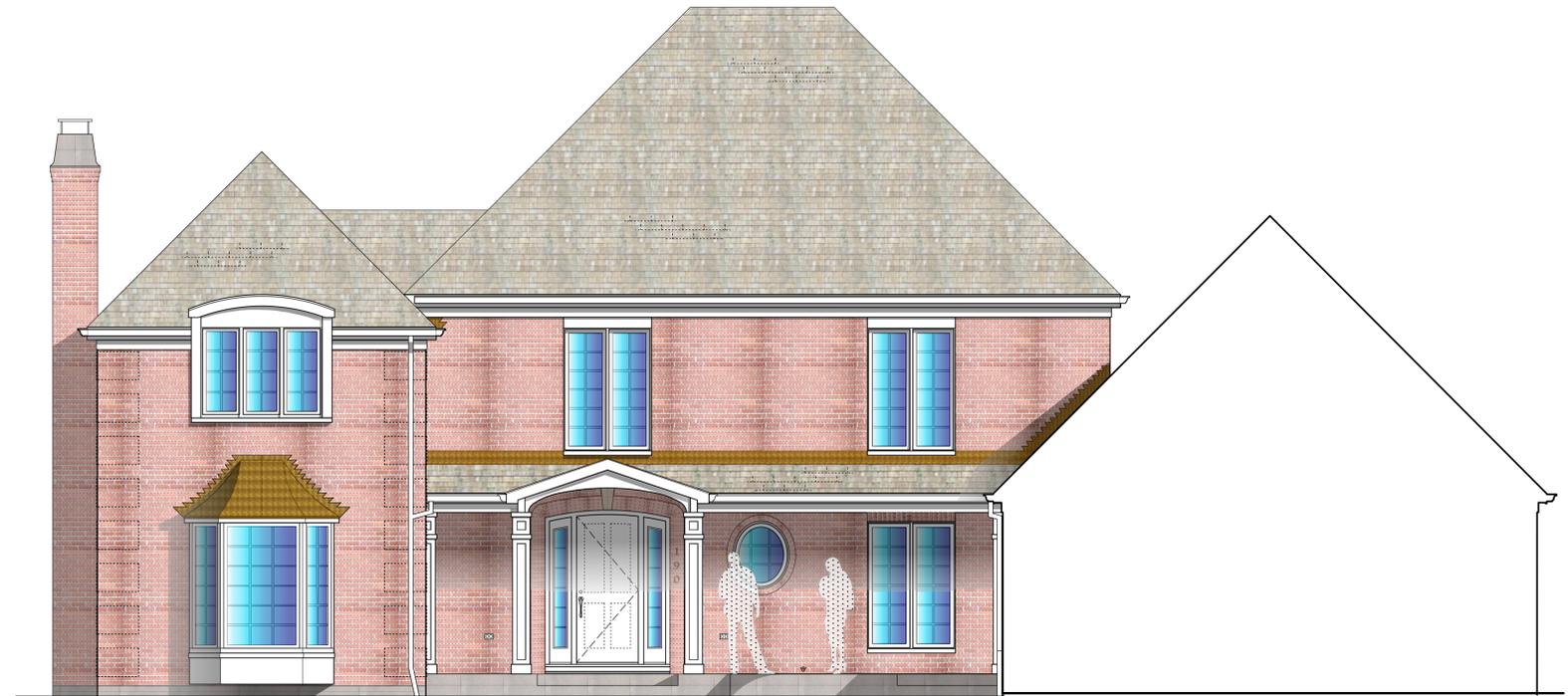
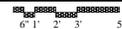
FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



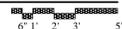
GARAGE (NORTHEAST) ELEVATION

SCALE: 1/4" = 1' - 0"



FRONT (NORTHWEST) ELEVATION

SCALE: 1/4" = 1' - 0"



Historic Preservation Commission

3095 Greenwood Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 5/8/2014

<i>Year Built:</i>	1954
<i>Style:</i>	Ranch
<i>Petitioner:</i>	Adele Mandell, Owner
<i>Size:</i>	1,558 square feet
<i>Original Owner:</i>	Evelyn Colburn
<i>Architect:</i>	D.E. Dickey
<i>Original Cost:</i>	\$12,500
<i>Significant Features:</i>	None noted
<i>Alterations:</i>	<ul style="list-style-type: none">• Carport alteration (1979)• Living room addition (1987)
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 3095 Greenwood Avenue and how it may satisfy any of the landmark criteria listed below.



A demolition application has been submitted for the house at 3095 Greenwood Avenue. The house does not appear in the architectural surveys, so it has been brought before the Historic Preservation Commission for a determination of significance as a matter of policy.

The house doesn't appear to exhibit characteristics of high-style architecture and was designed by D.E. Dickey. He is credited with two other houses in town that reflect a similar affordable, working-class design. Dickey worked with a building company located in his office in Skokie on this house and one other project, so they may have been a design & build collaboration featuring an affordable, basic housing product.

The house was well-maintained for many years, with owners modifying the carport in the 70's and building a large addition in 1987. But the house fell into disrepair in later years. Records

Historic Preservation Commission

show a discussion with area residents and the City in 2009 regarding the poor condition of the house and problematic visitors. Photographs of the existing conditions of the house indicate little new investment in the property.



Biographical Information

The original owner of the house was Evelyn Colburn. She was born in August, 1899 and died Feb. 24, 1979. She is listed as a private secretary on the 1940 Federal Census. Her brother, Howard F. Colburn, is shown as the architect on a 1959 alteration on the house. He was born Nov. 3, 1908 and died June 27, 1992 in Springfield, Illinois. He was the architect for Illinois Bell Telephone Co. and a member of the American Institute of Architects.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.

Historic Preservation Commission

- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

Location Map
Site Photos
County Assessor Data
Original permits



Hill St

Euclid Ave

Euclid Ct

Warbler Ct

Warbler Cir

Priscilla Ave

Warbler Pl

Western Ave

Highwood

Euclid Ave

Ashland Ave

Washington

Old Trail

Auburn Ct

4 Ln

3095 Greenwood



3095 Greenwood



3095 Greenwood



3095 Greenwood



ASTM C-208
R VALUE 13
INSULATING
SHEATHING
Celotex

Celotex

INSULATING
SHEATHING
R VALUE 13
ASTM C-208

WARNING

WARNING

INSULATING
SHEATHING
R VALUE 13
ASTM C-208



3095 Greenwood





Lake County, Illinois

Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-15-106-003	Neighborhood Number:	1810040
Street Address:	3095 GREENWOOD AVE	Neighborhood Name:	The Highlands
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$51,926	Total Land Square Footage:	12680
Building Amount:	\$18,264	House Type Code:	43
Total Amount:	\$70,190	Structure Type / Stories:	1.0
Township:	Moraine	Exterior Cover:	Wood siding
Assessment Date:	2013	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1954 / 1965
		Condition:	Average
		Quality Grade:	Good
		Above Ground Living Area (Square Feet):	1558
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	0
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	2
		Number of Half Bathrooms:	0
		Fireplaces:	0
		Garage Attached / Detached / Carport:	0 / 0 / 0
		Garage Attached / Detached / Carport Area:	0 / 0 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 0
		Porches Open / Enclosed Area:	0 / 0
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

*Rddy Ins
1-6-55-10 A.M.
H. Sisson*

Date Sept. 10 1954

Building Permit No. 7920

Inspected by H. Sisson Date 3-20-54

For certificate of occupancy

Location of Building — No. 3095 Street Greenwood

Name of Owner Evelyn Colburn

Present Address 1303 Ridgewood Phone 2-6740

Type of Construction frame

Architect A. E. Dechery Address Dempster St. Spoke Phone 0-93-4000

General Contractor Community Builders Address 4101 Dempster St. Cr Phone 3-4000

Permit issued to Community Builders to construct a S. I. D. 7' x 5' x 10'

building on Lot 1 Blk. 3 Sub'n. St. P. Woodland

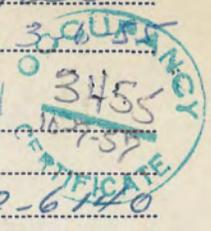
Builder's estimate \$12,500 Permit fee 44.34 Job Order No. 7744 Amt. \$ 44.34 50

Location of building on Lot verified WAK 19 11/22/54 by WAK

Sanitary provisions approved by

Other Inspections

.....
.....
.....
.....



Electrical Contractor MARON ELEC. CO. Address 406 S. CICERO AVE, CHGO 44, ILL.
 Wiring Permit No. 6210 Issued 5/25/55 No. Fixtures 11
 Floor Area _____ No. 15 Amp. Circuits required _____ No. 20 Amp. Circuits required _____
 Size of main wire _____ Size of branch wire _____ System _____
 No. of Openings _____ No. Sockets _____ No. Circuits _____ No. Motors _____ No. Ranges _____
 Other Appliances _____

Inspection by _____ Date _____
 Plumbing Contractor Philip Horn Address 4929 N. Avera, Chicago
 Water Tap No. 5738 Sewer Tap No. - Job Order No. 8006 Issued 12/10/54 Paid 80.50
 Work Order No. 1766 Storm Tap No. Septic #230
 No. Catch Basins 1- No. Lavatories 1- No. Toilets 1-
 No. Baths 1- No. Sinks 1- No. Laundry Tubs 1-2 in
 No. Shower Baths 1-0 T. No. Stacks 1-4" - 1-2" Other Items Septic Tank
 Inspections N. Saach 1-6-55.
 Downspouts connected to _____ 19____ No. _____
 Kind of heat Hot Gas Name of Burner _____

Tank and Burner Inspection _____
 Driveway Permit No. #1466288 Date 9/13 1954 Contractor Mutual Coal Co.
 Type members approval

DATE PERMIT ISSUED 3-4-59		BUILDING ADDRESS XXXXXXXXXXXX Alteration 3095 Greenwood		BUILDING PERMIT NUMBER 10195	
BUILDING ON OF LOT 1 BLOCK 3 SUBDIVISION Highland Park Woodlands					
NAME OF OWNER Evelyn Colburn		ADDRESS 3095 Greenwood		PHONE NUMBER	
ARCHITECT H. F. Colburn		ADDRESS 4019 Howard Ave., Western Springs		PHONE NUMBER	
GENERAL CONTRACTOR Owner		ADDRESS		PHONE NUMBER	
PERMIT ISSUED TO		ADDRESS		PHONE NUMBER	
TYPE OF CONSTRUCTION Frame		SQUARE FEET	CUBIC FEET	LOT AREA	
BUILDER'S ESTIMATE \$ 800.00	BUILDING DEPT. EST. \$ 800.00	PERMIT FEE \$ 4.34	BUILDING DEPOSIT \$	GUARANTEE DEPOSIT NUMBER	
TYPE OF HEAT	PERMIT NUMBER	MAKE OF BURNER	DATE INSTALLED	LOCATION	
DRIVEWAY PERMIT NO.	DEPOSIT NUMBER	DATE ISSUED	CONTRACTOR		
SITE INSPECTION Posted Card 3-4-59		BY Sasch			
FOOTING AND FOUNDATIONS		BY			
FRAMING O.K. 3-19-59		BY			
ROOFING O.K. 3-23-59		BY Sasch			
HEATING		BY			
DRIVEWAY		BY			

PLUMBING CONTRACTOR		ADDRESS				PHONE NUMBER
WATER TAP NO.	GUARANTEE DEPOSIT NO.	FEE	DATE ISSUED	SEWER TAP NO.	STORM TAP NO.	
NO. LAVATORIES	NO. LAUNDRY TUBS	NO. TOILETS	NO. BATHS	NO. SINKS	NO. SHOWERS	NO. STACKS
OTHERS		DOWNSPOUTS CONNECT TO			DATE COMPLETED	
ELECTRICAL CONTRACTOR		ADDRESS				PHONE NUMBER
ELEC. PERMIT NO.	DATE ISSUED	NO. FIXTURES	FLOOR AREA	SIZE OF MAIN WIRE	SIZE OF BRANCH WIRE	
SYSTEM	NO. 15 AMP CIRCUITS	NO. 20 AMP CIRCUITS		NO. OPENINGS	NO. SOCKETS	
NO. CIRCUITS	NO. MOTORS	NO. RANGES		OTHERS		
DRAINAGE				BY		
PLUMBING				BY		
ELECTRICAL				BY		
FIRE REGULATIONS				BY		
FINAL INSPECTION				BY <i>H. L. Asch</i>		
PLOTTED SURVEY SUBMITTED				CERTIFICATE OF OCCUPANCY ISSUED <i>Aug. 3, 1959 E.C. Mortimer</i>		

CITY OF HIGHLAND PARK, ILLINOIS
BUILDING DEPARTMENT

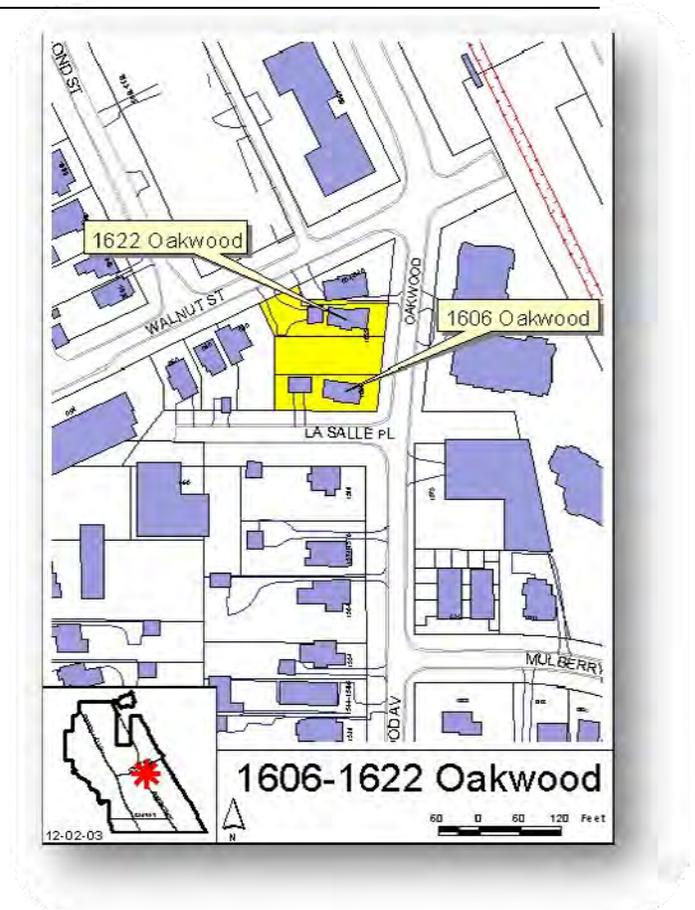
BUILDING PERMIT FILE CARD

Historic Preservation Commission

1606 Oakwood Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 5/8/14

<i>Year Built:</i>	c.1915
<i>Style:</i>	Vernacular
<i>Petitioner:</i>	Milton Robinson, Owner
<i>Size:</i>	1657 square feet
<i>Original Owner:</i>	F.J. Siljstrom (1925)
<i>Architect:</i>	Unknown
<i>Original Cost:</i>	Unknown
<i>Significant Features:</i>	Decorative sunburst in front gable, side dormers
<i>Alterations:</i>	<ul style="list-style-type: none">• Barn alteration (1925)• Enclosed Porch (1930)• Barn Demolition (1946)
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 1606 Oakwood Avenue and how it may satisfy any of the landmark criteria listed below.



The dilapidated house at 1606 Oakwood Avenue, located near the Metra station in downtown Highland Park, was reviewed and approved for demolition in 2003. At that time, the staff report noted that the house was in poor condition as seen from the street. The house was not demolished and still stands on the property. There have been no improvements to the house since 2003 and photographs of existing conditions show the deterioration has progressed.

The house is old, originally dating from the early 1900's. There were modifications to the structure, but nothing more recent than WWII-era. Building permits from old projects include a 1925 permit for "Alterations to barn" on the property and an enclosed porch by the same owner in the 1920's. The barn finally came down in 1946, though the enclosed porch is still visible on the house.

Historic Preservation Commission

Milton Robinson, the current owner, applied for the demolition in 2003 and has submitted the current application, as well. Minutes from the 2003 Historic Preservation Commission discussion on 1606 Oakwood are very brief. The owner indicated the house needed renovation, but the costs were prohibitive. The HPC found that no landmark standards were satisfied and voted unanimously to allow the demolition to proceed.

Biographical Information – A Ride into Local History!

While the structure at 1606 Oakwood doesn't offer much historical interest, a story about the original owner is worth sharing:

The seminal work on local history, *"Highland Park, Pioneer to Commuter"* (1958), has a wonderful story involving Mr. Frank Siljestrom, the earliest known owner of the house. Around 1890 – 1900, Highland Park's electricity service was still in its infancy and a bicycle was purchased for the main attendant of the electrical plant to provide help monitor who was using the service. The efficiency of his travel on the bicycle around town led to a surge in interest in that mode of transportation. According to the book, "the speed and convenience of bike travel subsequently prompted several merchants to purchase "wheels"." Bicycles proliferated around Highland Park, prompting alderman to restrict bicycles from the City because of defective streets and sidewalks. The Council announced, "Walks were constructed for the comfort and convenience of pedestrians, who are the largest part of the community. Ignoring their safety, if bikes are allowed the use of walks, would be to abridge the rights of the community." An ordinance was enacted banning "wheels" from public walkways. This incited a rash of protest and Mr. Frank Siljestrom found himself in the middle of it.

Apparently Frank had a physical handicap and a riding a bicycle was easier than walking. He was instructed by the City to cease bicycling on the sidewalks and, with the streets being too rough for bikes back then, Mr. Siljestrom was viewed as being persecuted by the City. According to *"Highland Park, Pioneer to Commuter"*, petitions were circulated encouraging the Council to reconsider its answer to Mr. Siljestrom. The Council reconsidered the ban and eventually allowed residents to ride "at moderate speed on walks" within a limited area. Importantly, if riders got up too much speed, they would be arrested! Additionally, gentlemen were required to dismount when they meet ladies.

Pages 74 and 75 of the book, included in the attachments to this memo, relate the whole story as reported in the Register, a periodical of the time. Frank passed away in 1945 and two obituaries for him are included in the attachments.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.

Historic Preservation Commission

- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.
- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

Pages 74 & 75 of "Highland Park: Pioneer to Commuter" (1958)

Location Map

Site Photos

County Assessor Data

Old building permits

2003 Staff memo for Demo Review

Two obituaries for Frank Siljestrom

received." "The Post reminds its readers that our own Professor Gray made the same discovery in 1876," the Register cited.

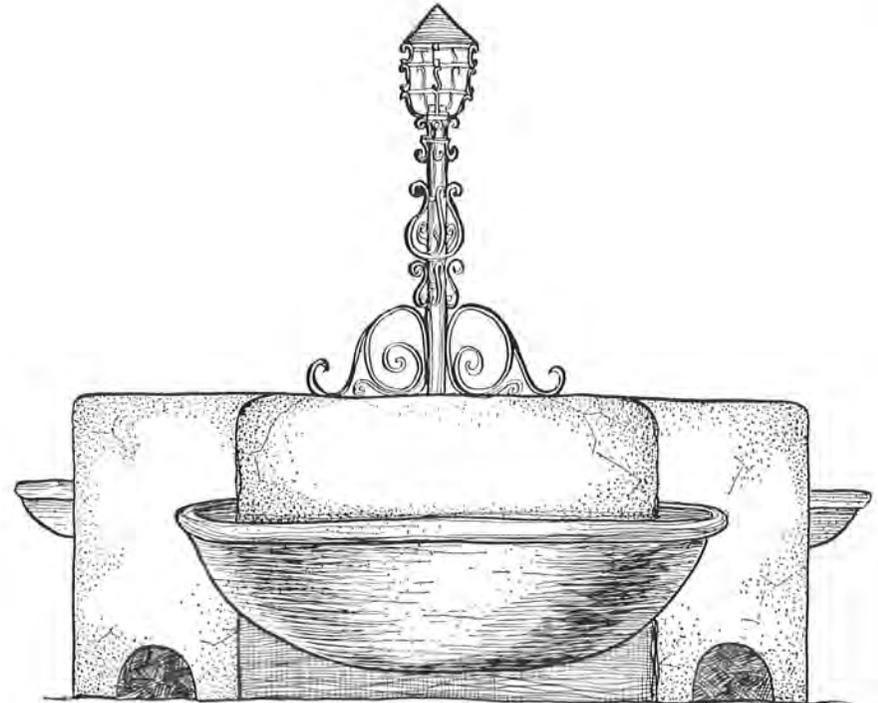
Several months after the new manager took charge of the light plant, Arthur McPherson received urgent summons to return to his former job. He hurried to the light plant and was dismayed by news that the manager had fled and most of the staff had quit; bill collectors were milling about the door and the city marshal was standing by with orders to ban electric service. Although Mr. Mercereau intended to leave town immediately, he promised to send back a bicycle to help Arthur McPherson "chase trouble" for the plant. Mr. Mercereau also advised him of the number of subscribers who sought all-night and daytime service. Under Mr. McPherson's direction, plant operations quickly returned to a progressive pattern which antagonized the council. "They certainly are improving the light plant and everyone should show their appreciation by burning electric lights," the Register advised. The item added that a gas lighting system had been installed "to use if the electric lights fail."

At first, residents were afraid of a high-wheeled "safety" bike sent to Mr. McPherson. Neighbors of the plant were awakened several nights by the sound of a coal stove toppling over from a collision with the "newfangled" vehicle. When he was able to navigate the bicycle, Mr. McPherson whizzed down streets at 2 a.m. checking homes where lights were in use so customers would not complain about unfair bills. The speed and convenience of bike travel subsequently prompted several merchants to purchase "wheels"; hundreds of bicycles appeared when the League of American Wheelmen discovered excellent meals served at Frank Green's tearoom. Despite the advantages to trade, aldermen tried to restrict bicycles from Highland Park because of defective streets and sidewalks. "Walks were constructed for the comfort and convenience of pedestrians, who are the largest part of the community," the council announced. "Ignoring their safety—if bikes are allowed the use of walks—would be to abridge the rights of the community." An ordinance banning "wheels" from sidewalks incited a rash of protest.

"The great achievement of the last council session was the refusal to allow lame Frank Siljestrom to ride a wheel on the sidewalk to and from work," the Register giped. "We regard that a mistaken policy and we greatly err if it meets public approval. We call attention of the council to the fact that it stands a fair chance of having a law suit on its hands if it arrests Mr. Siljestrom for riding on the walk. If we understand his position, it is that his business demands that he use a wheel, and if our streets are so bad that he cannot use one, he has the right to a proper use of the walk. We don't want the city in an expensive law suit, but we do want the case tried, for we never have believed that such a drastic ordinance as that would stand."

Petitions circulated by Arthur McPherson and other bicycle owners encouraged the council to reconsider its answer to Mr. Siljestrom. "There was an adjourned meeting Friday with special reference to bicycles on the walks,"

the Register related. "After a protracted debate, the sober second thought of the council was that the petitioners were right. There were several 'ahems' and aldermanic winks to the effect thus to wit: Citizens can ride at moderate speed on walks—except on St. Johns from Hawkins' corner to Park; on Central east to Fletcher's block and on Central west as far as Goldberg's corner. If riders get up too much speed they will be arrested; gentlemen must dismount when they meet ladies. This permission will expire about May 1 or sooner if the weather settles the roads. Now it behooves every rider to guard well his personal honor in this matter," the Register concluded. "The council has acted generously—let the cyclists not forget their manhood."



The gift of a fountain by Chicago railway magnate Charles G. Yerkes was announced at 1896 dedication rites for Sheridan Road. The stone trough (at Sheridan and Forest Avenue) was presented by Frank Hawkins, delegate of the Sheridan Road Association, who secured rights of way from Evanston through Highland Park. A Chicago paper described the entire thoroughfare, from Lincoln Park to Fort Sheridan, as the "finest pleasure drive in the world."

1606 Oakwood



RECEIVED

APR 14 2014

City of Highland Park
Building Dept.

1606 Oakwood



RECEIVED

APR 14 2014

**City of Highland Park
Building Dept.**

1606 Oakwood

RECEIVED

APR 14 2014

City of Highland Park
Building Dept.





Lake County, Illinois

Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-23-419-005	Neighborhood Number:	1823020
Street Address:	1606 OAKWOOD AVE	Neighborhood Name:	Green Bay/McGovern/Hickory
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$42,908	Total Land Square Footage:	7119
Building Amount:	\$51,367	House Type Code:	22
Total Amount:	\$94,275	Structure Type / Stories:	1.5
Township:	Moraine	Exterior Cover:	Wood siding
Assessment Date:	2013	Multiple Buildings (Y/N):	N



Year Built / Effective Age:	1946 / 1946
Condition:	Average
Quality Grade:	Good
Above Ground Living Area (Square Feet):	1657
Lower Level Area (Square Feet):	
Finished Lower Level (Square Feet):	
Basement Area (Square Feet):	1036
Finished Basement Area (Square Feet):	0
Number of Full Bathrooms:	1
Number of Half Bathrooms:	0
Fireplaces:	0
Garage Attached / Detached / Carport:	0 / 0 / 0
Garage Attached / Detached / Carport Area:	0 / 0 / 0
Deck / Patios:	0 / 0
Deck / Patios Area:	0 / 0
Porches Open / Enclosed:	0 / 0
Porches Open / Enclosed Area:	0 / 0
Pool:	0

[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

Memo

To: Building Department

From: Larry Shure, Planner I

CC:

Date: 12/12/2003

Re: Historic Preservation Demo Approval for: **1606 Oakwood Ave.**

At the Historic Preservation Commission Meeting on:

12/11/2003

the Commission determined that no landmark criteria were fulfilled and voted to approve the demolition request for the following property:

1606 Oakwood Ave.

If you have any questions please call me at ext. 1853. Thanks.

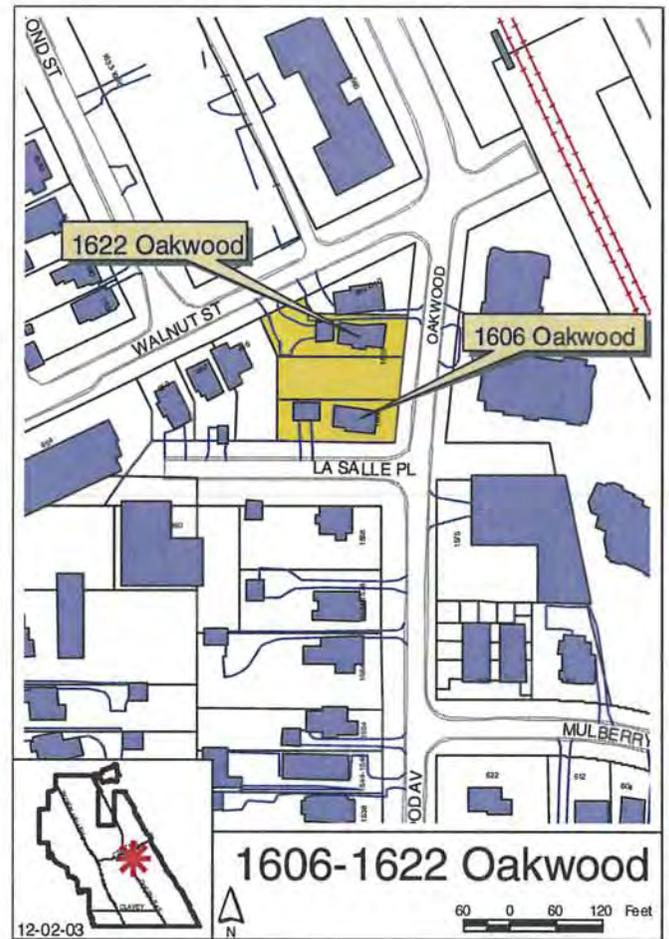
1606 Oakwood Ave.

(formerly 218 Oakwood)

Built:	c.1915
Style:	Vernacular
Structure:	2 story house
Original Owner:	F. J. Siljestrom (1925)
Architect:	Unknown
Cost:	Unknown
Legal Description:	Lot 2 of Block 57
Significant Features:	Decorative sunburst in front gable; side dormers
Alterations:	Composite siding; enclosed porch (193); barn alterations (1925) and demolition (1946);

Staff Opinion

This home is in poor condition as seen from the public right of way. It does not appear to fulfill landmark criteria at this time.



Date Dec 7 1925 Building Permit No. 1606 OAKWOOD
Location of Building—No. 1606 Street Oakwood Ave + Deerfield
Name of Owner F. S. Siljestrom
Present Address H.P.
Old or New Building Alterations to barn.
General Contractor _____ Address _____
Permit issued to Owner to construct a garage hang 2 doors
building on Lot 4 Blk. 51 Sub'n. H.P. Lay floor.
Builder's estimate \$300⁰⁰ Permit fee 2⁰⁰
Location on Lot verified Dec 7 1925 by J. D. Morris
Other inspections _____
Remarks _____
Job completed _____ Receipt for returned plans _____ Owner

Date 10-23-30 1925 Building Permit No. 2525
Location of Building—No. 218 Street Oakwood Ave
Name of Owner Frank Siljestrom
Present Address 218 Oakwood Ave Phone _____
Type of Construction Frame Remodeling _____
General Contractor Owner Address _____ Phone _____
Permit issued to OWNER to enclose construct a Front Porch.
building on Lot 4 Blk. 51 Sub'n. Southwicks R. Sub.
Builder's estimate 300⁰⁰ Permit fee 2⁰⁰
Location on Lot verified _____ 1925 by _____
Other inspections _____
Deposits _____ Sidewalks planked _____
Remarks _____
Job completed _____ Receipt for returned plans _____ Owner

Date March 20 1946 ¹⁶⁰⁶ Special Building Permit No. 267
Location of Building—No. 218 Street Oakwood Avenue.
Name of Owner Siljeström Estate
Present Address 218 Oakwood. Phone _____
Type of ~~Construction~~ Wrecking ced frame barn. ~~Remodeling~~
General Contractor H. C. Siljeström Address _____ Phone _____
Permit issued to Owner to ~~construct~~ wreck a frame barn on rear
building on Lot 4 Blk. _____ Sub'n. Southwicks.
Builder's estimate _____ Permit fee 1.60
Location on Lot verified 3-21-1934 by H. Savick
Other inspections Postal card 3-21-46
Deposits Bond # 19 Sidewalks planked _____
Remarks _____
Job completed _____ Receipt for returned plans _____ Owner _____

**City of Highland Park
Historic Preservation Commission
Minutes of December 11th, 2003
7:15 p.m.**

I. Call to Order

The Regular Meeting was called to order at 7:21 p.m.

II. Roll Call

Members Present: Friedman, Miller, Harrison, Kahn, Seyfarth, Natenshon, Baum

Members Absent: Fraerman, Behn

Ex-Officio Members Present: Silberman

City Staff Present: Shure

Others Present: Shannon Wood (Hickory and Oakwood), Frank Montalto (Hickory and Oakwood), Milton Robinson (Oakwood), Brad Zenner (1048 Brittany), Ted Stromberg (1640 Hickory)

III. Scheduled Business

Chairman Behn not being present, Vice-Chair Kahn began the meeting.

A. Approval of Minutes

Commissioner Miller made a motion to approve the minutes of the regular meeting of November 20th, 2003. Commissioner Natenshon seconded the motion. With no further discussion the minutes for the regular meeting were adopted unanimously.

B. Preliminary Determinations of Significance

1. 1234 Ridgewood

Commissioner Miller noted that the sign announcing the demo hearing was on the ground when he viewed the home. He said that the house is a fine example of the Craftsman Bungalow. He noted that there is a newly restored bungalow nearby. Commissioner Kahn also said that the street is very good. Commissioner Miller made a motion to preliminarily delay this demolition based on landmark criteria #1:

- (1) It demonstrates character, interest or value as part of the development, heritage or cultural characteristics of the community, county, state or country;

Commissioner Friedman seconded the motion. With no further discussion a vote was called:

Ayes: Friedman, Miller, Kahn, Seyfarth, Natenshon, Baum
Nays: Harrison
Abstain: None
Absent: Behn, Fraerman
Motion carried.

This demolition application is now in delay, pending the outcome of a Formal Review of Significance.

2. 1048 Brittany

The contract owner, Brad Zenner, spoke about this home which he intends to purchase as a teardown. He noted that there are 3 bedrooms and 1 bathroom, and it is built on a slab with no basement. Commissioner Harrison made a motion that this home does not fulfill landmark criteria. Commissioner Friedman seconded the motion. With no further discussion the Commission unanimously voted that the home does not fulfill landmark criteria.

3. 1640-1648 Hickory

Shannon Wood of Tribeca Construction spoke about the condition of the property. He said that it requires updated plumbing and electrical, and that he hopes to build several townhouses on the combined site, which is in a multi-family residential district. Commissioner Friedman noted that one of these homes had received a contributing rating in the Central East Comprehensive Architectural Survey. Mr. Wood said that renovation would cost \$150,000. Commissioner Friedman said that the Community Land Trust may be interested in purchasing this property for affordable housing. Commissioner Harrison made a motion that the home does not fulfill landmark criteria. Commissioner Baum seconded the motion. With no further discussion a vote was called:

Ayes: Harrison, Kahn, Natenshon, Baum
Nays: Friedman
Abstain: Miller, Seyfarth
Absent: Behn, Fraerman
Motion carried.

4. 1606-1622 Oakwood

Milton Robinson, the owner of the properties said that he received a complaint on 1606 which led to an inspection, which led to the property being vacated. He determined that rehabilitation was not appropriate. He noted that both homes are of a similar vintage, and have leaky plumbing and old roofs. He said that the property is zoned for multi-family residences. Commissioner Natenshon made a motion that these homes do not fulfill landmark criteria. Commissioner Baum seconded the motion. With no further discussion the Commission unanimously voted that the homes do not fulfill landmark criteria.

C. Historic Preservation Ordinance Discussion

A general discussion was held concerning the proposed changes to the Preservation Ordinance and the Demolition of Dwellings Ordinance. It was generally agreed that there would be two designation sections, one to deal with individual landmarks, and one to deal with historic districts. Both designation procedures should allow for designation without owner consent. It was also generally agreed that the Demolition of Dwellings Ordinance should be separated from the designation procedures, which could be implemented at the Commission's discretion, but would still provide a tool to prevent the loss of historic resources short of landmark designation. The ordinance should provide for the possibility of non-contiguous districts, and provide a simple and consistent way to determine who has the right to vote. There was some discussion concerning the level of detail needed within landmark nominations in order to support the designation process under the proposed procedures.

IV. Other Business

V. Adjournment

A motion was made and seconded to adjourn the meeting. Adjourned at 9:45 p.m.

Respectfully submitted,

Lawrence M. Shure
Planner I

Highland Park Press

Highland Park's NEWS Paper for 33 Years

Highland Park, Illinois, Thursday, June 7th, 1945

Question Proposed by Council

That has been done
of future possibil-
ity field both
Playground and
and for service
by the USO, will
part of the
annual meeting of
the Co-ordinating
Committee Thurs-
day evening.
The Community
meeting is open to
be held in recrea-
tion well as to the
and members of
organizations of

operation of rec-
reational basis,
with money to spend,
recreation, and
and Recreation
programs will
George Scheuchen-
director of Com-
is the new di-
n for Highland

so analyze the
med question-
distributed by
and Recreation
l children and
purpose of col-
for formulat-
rogram. The
of Arthur Olson,
arroll Binder,

Rites Held on Saturday For Prominent Merchant

Last rites were conducted at the Kelley chapel on Saturday for Frank L. Siljestrom, prominent local business man, who succumbed on Wednesday of last week to an illness of three months.

Mr. Siljestrom is a veteran resident of Highland Park, having come directly from Sweden in 1888. Five years later he established the Siljestrom ice and coal business, which will be maintained by members of his family.

A member of the Chamber of Commerce and the Elks club, his hobby was the breeding of fine hogs at his stock farm in Deerfield.

He is survived by four daughters, May, Eva, and Ruth, of Highland Park, and Mrs. Charles McCord of Los Angeles; four sons, George, Henry and Fred of Highland Park, and Ben of Deerfield, all four associated with their father in business; eleven grandchildren and one great-grandchild.

The family is well represented in the armed services. Lt. James, navy flier, stationed in the Pacific theater; Lt. Donald, veteran European flier, now stationed in Colorado; S/Sgt. "Dick," Van Arsdale, recently decorated for valor in Germany, and Gordon, G. M., USN, prisoner of war since the fall of Bataan in 1942, are grandsons. Mr. Charles McCord, USN, a son-in-law, is receiving his basic training in California.

Summer Plans Start on Tuesday

Fleet Marine "Jim" Kirk Is Lost in Line of Duty

Pfc. James "Jim" Kirk, USMC met his death in the line of duty, aboard battleship somewhere in the Pacific on May 12, according to official notice received by his parents, Mr. and Mrs. James J. Kirk, Sr., 360 Orchard lane, on Tuesday of last week.

23 years of age, and a former student of the local high school at the time of his enlistment he was serving as assistant manager of the Corn Belt hardware store at Libertyville. His engagement to Miss Mildred Norinder, of Libertyville, was to have been formally announced after her graduation from Libertyville high school this June.

The people among whom he grew to manhood speak of "Jimmy" as a "sweet kid," always pleasant and congenial, and to them his death comes as a blow. He will be greatly missed. Marine James, the man, may be imaged through the words of his captain:

"Through his devotion to duty and his loyalty to his country he has said the

Prominent Merchant, Frank Siljestrom, Dies In Hospital

Frank L. Siljestrom, 85, of 218 Oakwood avenue died in the Highland Park hospital on Memorial day after an illness of three months.

Mr. Siljestrom came directly to Highland Park from Sweden in 1888. In 1893, he purchased the established ice business of Nick Clampitt and had been in the ice and coal business since then, in addition to operating the Siljestrom farm in Deerfield.

Active in the Highland Park Elks club and the Chamber of Commerce, Mr. Siljestrom's hobby was farming and the breeding of fine pigs at his country home.

Children Survive

Surviving are four sons, all associated with him in the business, George, Henry and Fred of Highland Park and Benjamin of Deerfield, four daughters, May, Eva and Ruth of Highland Park and Mrs. Charles McCord of Los Angeles, Calif., 11

(Continued on page 24)

Siljestrom Dies

(Continued from page 3)

grandchildren and one great-grandchild.

One son-in-law and four grandchildren are in the service. The son-in-law, Charles McCord, is undergoing his navy boot training in California. The grandsons in the service are as follows: Lt. James Siljestrom, a marine air corps pilot, now in the Pacific; Lt. Donald Siljestrom of the army air corps, who completed his missions in the European theatre of war and is now stationed in Colorado; Gordon Siljestrom, G.M., USN, who has been a prisoner of the Japanese since the fall of Bataan in April, 1942; and S/Sgt. Dick Van Arsdale, in Germany with the infantry, who has been wounded in action on two different occasions. The Siljestroms boys are the sons of Mr. and Mrs. Henry Siljestrom, and Sgt. Van Arsdale is the son of the late Laura Siljestrom Van Arsdale.

Funeral services were held Saturday afternoon at Kelley's chapel, with interment in Memorial Park.

Full provisions have been made for Mr. Siljestrom's ice business to be carried on as usual with his son, Henry, as executor.

Historic Preservation Commission

310 Cedar Avenue Demolition Review

To: Historic Preservation Commission
From: Andy Cross, Planner II
Date: 5/8/2014

<i>Year Built:</i>	1941
<i>Style:</i>	French Eclectic
<i>Historic Status:</i>	S - Significant
<i>Size:</i>	4,862 square feet
<i>Original Owner:</i>	Louis Behr
<i>Architect:</i>	Loebl & Schlossman
<i>Original Cost:</i>	\$29,150
<i>Significant Features:</i>	<ul style="list-style-type: none">• Pedimented entry overhang• Through-the-roof gable dormers• Rough-faced square cut stone walls
<i>Alterations:</i>	<ul style="list-style-type: none">• Projecting addition with two-car garage
<i>Staff Opinion:</i>	Staff recommends that the Commission discuss the structure at 310 Cedar Avenue and how it may satisfy any of the landmark criteria listed below.



A demolition application has been submitted for the house at 310 Cedar Avenue. The house appeared before the HPC in 2008 for a demolition review and the Commission enacted a 365-day demolition delay based on landmark standards 1, 5, and 6. The delay expired in 2009, but the house was not torn down. Because the

historical findings were made six years ago, a new historical review is needed for the recent demolition application filed on the house.

Architectural Analysis – French Eclectic Style

The 2001 South Central Architectural Survey provides the following description of the French Eclectic Style:

Although never as popular as Colonial or Tudor Revival, there are a number of fine French Eclectic homes in Highland Park. The style was fashionable in the 1920s, when many Americans who had served in France during World War I returned with first-hand familiarity with French prototypes. In addition, numerous American architects who designed these homes had received training at the Ecole des Beaux

Historic Preservation Commission

Arts and came back to America ready to apply what they had learned. The 1920s were a time when a number of photographic studies of modest French homes were published, both in architectural journals and popular magazines, providing architects and builders with many models to draw from.

Stylistic features that characterize French Eclectic architecture include stucco or brick masonry walls and tall steeply pitched hipped or mansard roofs. The mansard roof, built throughout Paris during the mid-19th century, is designed with a steep double pitch to allow for an extra full floor of living area.

There are two subtypes of French Eclectic architecture. The first is usually rectangular and symmetrical. In this type, the massive roof with its ridge paralleling the front of the house dominates, and the front and rear facades are symmetrical with a center entry. Frequently, wings are added to the sides of the main block. French classical manor houses provide the prototype. The second, more common subtype is asymmetrical, usually L-shaped in plan, with an off-center doorway frequently located in the corner in a prominent cylindrical tower topped by a steep conical roof. Sometimes these homes, patterned after rural Norman farm houses, contain half timbering.

A recent example of the first type of French Eclectic style is 368 Moraine Road, which the Commission is currently considering for local landmark status. The subject property at 310 Cedar is a good representative of the second subtype of French Eclectic identified above.

Architects Loebel & Schlossman

The association of the house at 310 Cedar with Loebel & Schlossman is a big reason why the demolition delay was put in place in 2009. The 2001 South Central Architectural Survey provides the following biographical information on the duo:

Jerrold Loebel (1899-1978) and **Norman J. Schlossman** (1901-1990) worked in partnership as Loebel Schlossman from 1925 through 1946. Schlossman, a Highland Park resident, was born in Chicago and received his degree from Armour Institute of Technology in 1921. Loebel was a fellow classmate there. In 1946, Richard Marsh Bennett became a partner and the firm was renamed Loebel, Schlossman and Bennett. This partnership was responsible for the planning and design of Old Orchard Shopping Center. In 1965 Edward Dart joined them, and the firm was known as Loebel, Schlossman, Bennett, and Dart until Dart's death in 1975. This new partnership was responsible for the design of Water Tower Place.

Two other houses are credited to the firm:

1. 900 Dean Avenue, French Eclectic c. 1925, S – Significant
2. 985 Dean Avenue, Cape Cod, 1937, S – Significant (*see photo and write-up on next page*)

Historic Preservation Commission

There are only three Cape Cod style houses in the survey area and one, at 985 Dean Avenue, is ranked locally significant.

The house at 985 Dean Avenue is one of the more traditional designs of Norman Schlossman, well-known architect and planner, whose later work included more modernist designs. Built in 1937, this house is fairly typical of the Cape Cod style, with the exception of an off-center front entrance. The front door has a simplified, classical portico. There are gable roof dormers, and multi-light windows with shutters.



985 Dean Avenue

Original Owner – Louis Behr

Louis Behr was born c. 1905 in Rockford, Illinois and graduated from the University of Wisconsin in 1928. He was very successful in the insurance industry and active in community groups in Highland Park. He passed away in 1946 following an illness. His glowing obituary is included in the attachments to this memo.

Landmark Criteria

Below are the landmark criteria from the City Code:

- 1) It demonstrates character, interest, or value as part of the development, heritage, or cultural characteristics of the City, county, state, or country.
- 2) It is the site of a significant local, county, state, or national event.
- 3) It is associated with a person or persons who significantly contributed to the development of the City, County, State, or Country.
- 4) It embodies distinguishing characteristics of an architectural and/or landscape style valuable for the study of a specific time period, type, method of construction, or use of indigenous materials.
- 5) It is identifiable as the work of a notable builder, designer, architect, artist, or landscape architect whose individual work has influenced the development of the City, County, State, or Country.

Historic Preservation Commission

- 6) It embodies, overall, elements of design, details, materials, and/or craftsmanship that renders it architecturally, visually, aesthetically, and/or culturally significant and/or innovative.
- 7) It has a unique location or it possesses or exhibits singular physical and/or aesthetic characteristics that make it an established or familiar visual feature.
- 8) It is a particularly fine or unique example of a utilitarian structure or group of such structures, including, but not limited to farmhouses, gas stations or other commercial structures, with a high level of integrity and/or architectural, cultural, historical, and/or community significance.
- 9) It possesses or exhibits significant historical and/or archaeological qualities.

Recommended Action

In accordance with Section 170.040 Demolition of Dwellings(E)(1) Historic Preservation Commission Review, the Commission is asked to review the structure per Section 24.015 of the Historic Preservation Regulations. If the Historic Preservation Commission determines that the Structure that is the subject of the Demolition Application satisfies:

- (1) Three or more of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 365-day Review Period commencing on the Application Completion date will be in effect.
- (2) One or two of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations, then a mandatory 180-day Review Period commencing on the Application Completion date will be in effect,
- (3) None of the Landmark Criteria within Section 24.015 of the Historic Preservation Regulations are met, in which case the Application for Demolition shall be processed.

Attachments

Location Map

Site Photos

Architectural Survey Entry

County Assessor Data

Louis Behr Obituary (11/21/46)

2008 HPC Review Materials for 310 Cedar Avenue

Minutes from HPC Meeting of January 15, 2009

Map of Loebel & Schlossman Houses in Highland Park



Beech Ln

Lincoln Ave S

Linden Ave

Cedar Ave

Ava St

Marshman St

Baldwin Rd

City of HIGHLAND PARK

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #
 DIRECTION
 STREET
 ABB
 PIN



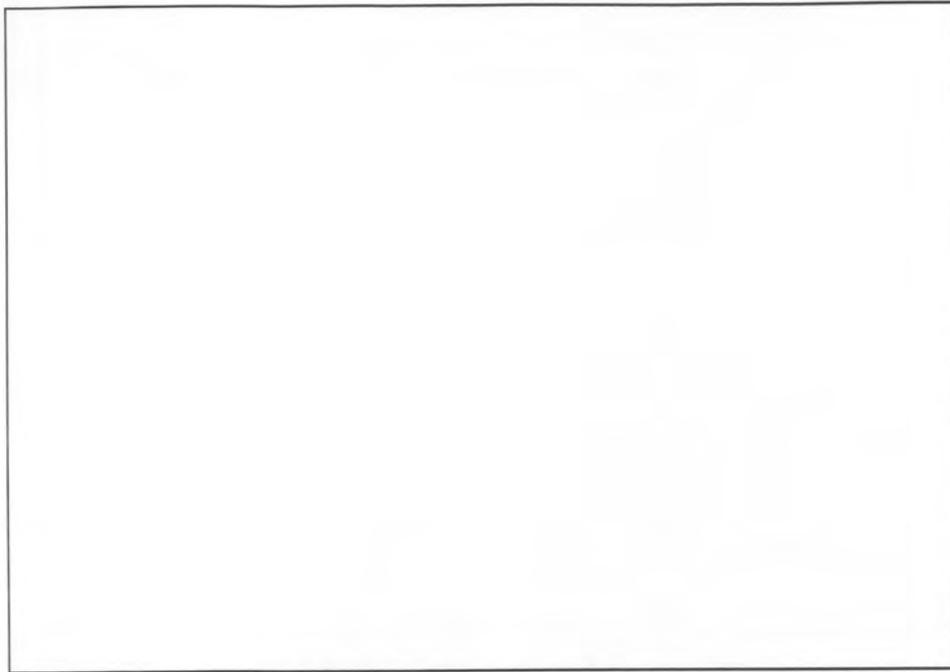
LOCAL SIGNIFICANCE RATING
 POTENTIAL IND NR? (Y OR N)
 Criteria
 CONTRIBUTING to a NR district?
(C or NC)
 Contributing secondary structure?
(C or NC)
 LISTED ON EXISTING SURVEY?
(IHSS, NR, etc.)

GENERAL INFORMATION

CATEGORY CURRENT FUNCTION
 CONDITION HISTORIC FUNCTION
 INTEGRITY
 SECONDARY STRUCTURE
 SECONDARY STRUCTURE 2

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION OVERALL SHAPE OR PLAN
 ARCHITECTURAL CLASSIFICATION NO. OF STORIES
 ORIGINAL CONSTRUCTION DATE WINDOW MATERIAL, TYPE(S)
 DATE SOURCE
 EXTERIOR WALLS (current)
 EXTERIOR WALLS (original) PORCH
 ROOF (type and materials)
 FOUNDATION
 SIGNIFICANT FEATURES
 ALTERATION(S)



RESEARCH INFORMATION

HIST NAME

COMMON NAME

ARCHITECT

BUILDER

COST

ADDITIONAL INFORMATION:

SURVEY AREA:

AREA

LANDSCAPE FEATURES

PHOTOGRAPHIC INFORMATION:

ROLL NO. FRAME NO.

ROLL NO. FRAME NO.

ROLL NO. FRAME NO.

PREPARER

ORGANIZATION

DATE

310 CEDAR AV



Lake County, Illinois

Property Tax Assessment Information by PIN

Property Address		Property Characteristics	
Pin:	16-25-309-008	Neighborhood Number:	1825414
Street Address:	310 CEDAR AVE	Neighborhood Name:	EAST Ravinia
City:	HIGHLAND PARK	Property Class:	104
Zip Code:	60035	Class Description:	Residential Improved
Land Amount:	\$150,449	Total Land Square Footage:	28264
Building Amount:	\$206,484	House Type Code:	22
Total Amount:	\$356,933	Structure Type / Stories:	2.0
Township:	Moraine	Exterior Cover:	Stone
Assessment Date:	2013	Multiple Buildings (Y/N):	N
		Year Built / Effective Age:	1941 / 1941
		Condition:	Average
		Quality Grade:	VGd
		Above Ground Living Area (Square Feet):	4862
		Lower Level Area (Square Feet):	
		Finished Lower Level (Square Feet):	
		Basement Area (Square Feet):	2547
		Finished Basement Area (Square Feet):	0
		Number of Full Bathrooms:	4
		Number of Half Bathrooms:	2
		Fireplaces:	3
		Garage Attached / Detached / Carport:	1 / 0 / 0
		Garage Attached / Detached / Carport Area:	587 / 0 / 0
		Deck / Patios:	0 / 0
		Deck / Patios Area:	0 / 0
		Porches Open / Enclosed:	0 / 2
		Porches Open / Enclosed Area:	0 / 387
		Pool:	0



[Click here for a Glossary of these terms.](#)

Click on the image or sketch to the left to view and print them at full size. The sketch will have a legend.

Hold Services for Louis Behr in Glencoe November 14

Services for Louis Behr, young philanthropic leader, outstanding Highland Park and one of the best known insurance men in America, were held at North Shore Congregation Israel, Glencoe, last Thursday morning at 11 o'clock. Interment was at Rockford, Ill., where he spent his boyhood years.

Mr. Behr passed away at Michael Reese hospital, Chicago, November 12 following a five months illness. He is survived by his wife, Mrs. Mildred Priess Behr; a daughter, Nancy; a son, Stephen; his mother, Mrs. Joseph Behr of Rockford; four brothers, Isadore, Phillip, Sam and Benjamin, all of Rockford; and three sisters, Mrs. Ann Alter of Davenport, Iowa, Mrs. Sarah Glick of Oshkosh, Wis., and Mrs. Rose Wish of San Antonio, Tex.

A graduate of Rockford high school, Mr. Behr took his degree at University of Wisconsin in 1928. During that year he was captain of the varsity basketball team and head of Phi Sigma Delta. He was the first Jewish boy to receive the Kenneth Sterling Day award for exemplifying the finest principles of Christian character among the senior class members of the university.

In 1929 he joined the Equitable Life Assurance Society of New York in Chicago, and by 1932 had won a place on the "Million Dollar Round Table". He qualified for this same honor group in each succeeding year. By 1937 he had become assistant manager of the Lust-garten agency of Equitable, and was made associate manager in 1940 and general agent in his own right in 1945.

Chairman of the Chicago Association of Life Underwriters in 1943, he was considered one of the outstanding experts in the nation on group insurance and pension trusts.

Among Mr. Behr's offices have been the following:

Board membership of the Chicago division of the National Conference of Christians and Jews, past presidency of the Young Men's Jewish council, presidency of Community

Council of the Jewish Charities, board membership of Jewish Charities of Chicago and co-chairmanship of the current Jewish Welfare Fund drive.

He also was a member of the board of directors of North Shore Temple Israel, Standard club and Northmoor Country club.

310 Cedar Avenue

Built: 1941

Style: French Eclectic *Rating:* S

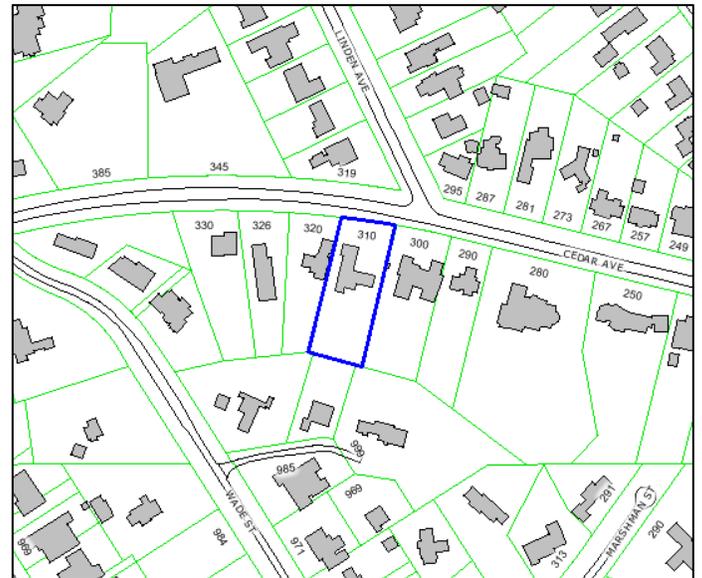
Structure: Single Family Residence

Historic Owner: Louis Behr

Architect: Loebel & Schlossman

Zoning: R4, Low to Moderate Density; LFOZ
20,000 sq. ft. min. lot area

<i>Lot Area:</i>	28,264 s.f.	<i>Building Area:</i>	4,862 s.f.
<i>Max.FAR:</i>	3,760 s.f.		
<i>Demo Waste:</i>	270.57 tons	<i>Embodied Energy:</i>	3,403,400 MBTUs
		<i>Gasoline Equivalent:</i>	29,726 gal.



Significant Features: Early work of prominent Chicago firm

Staff Opinion: May meet criteria 1 and 5



310 Cedar Ave

HPC Formal Determination of Significance
1-15-2009



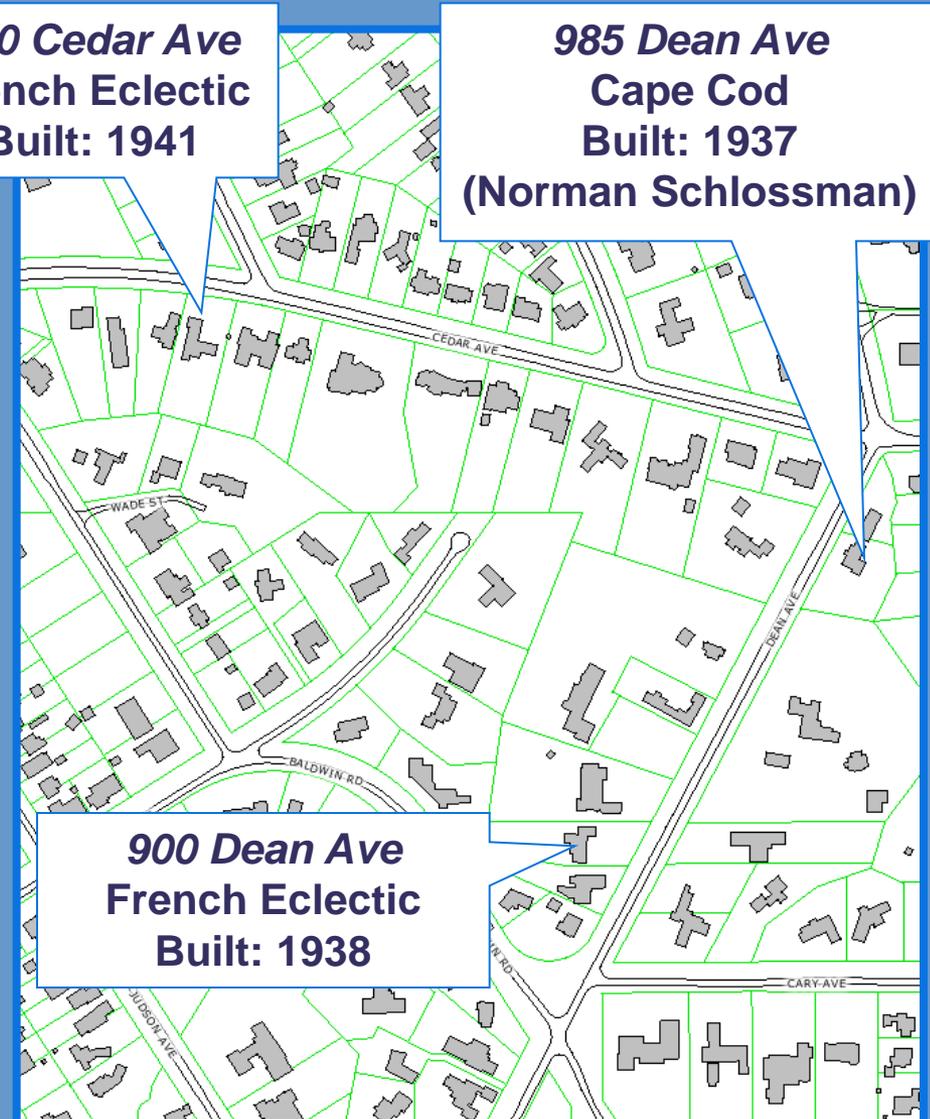
Architects: Loebel & Schlossman

- 1937: 985 Dean
Norman Schlossman
- 1938: 900 Dean
Paul R. Kuhn
- 1938: 310 Cedar
Louis Behr

310 Cedar Ave
French Eclectic
Built: 1941

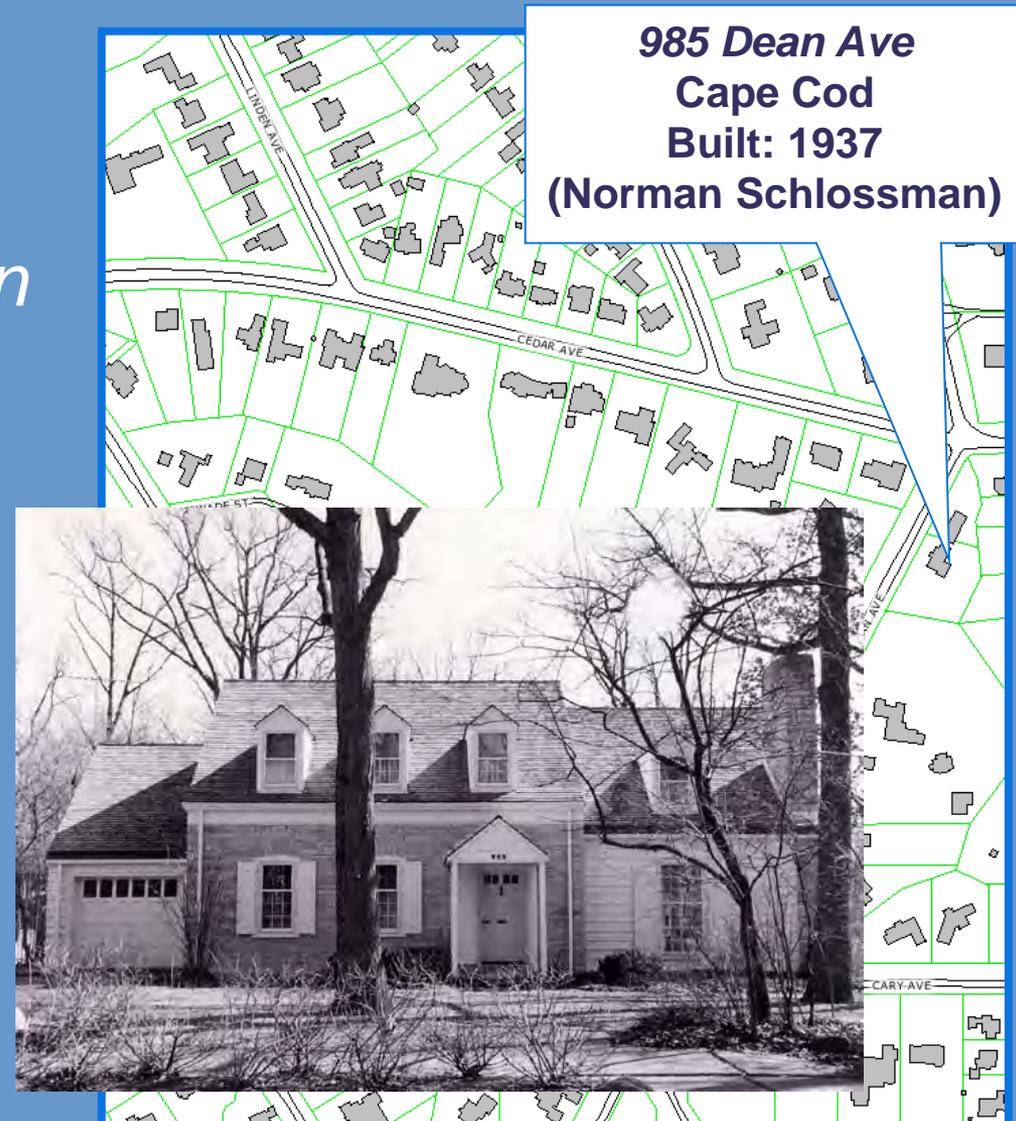
985 Dean Ave
Cape Cod
Built: 1937
(Norman Schlossman)

900 Dean Ave
French Eclectic
Built: 1938



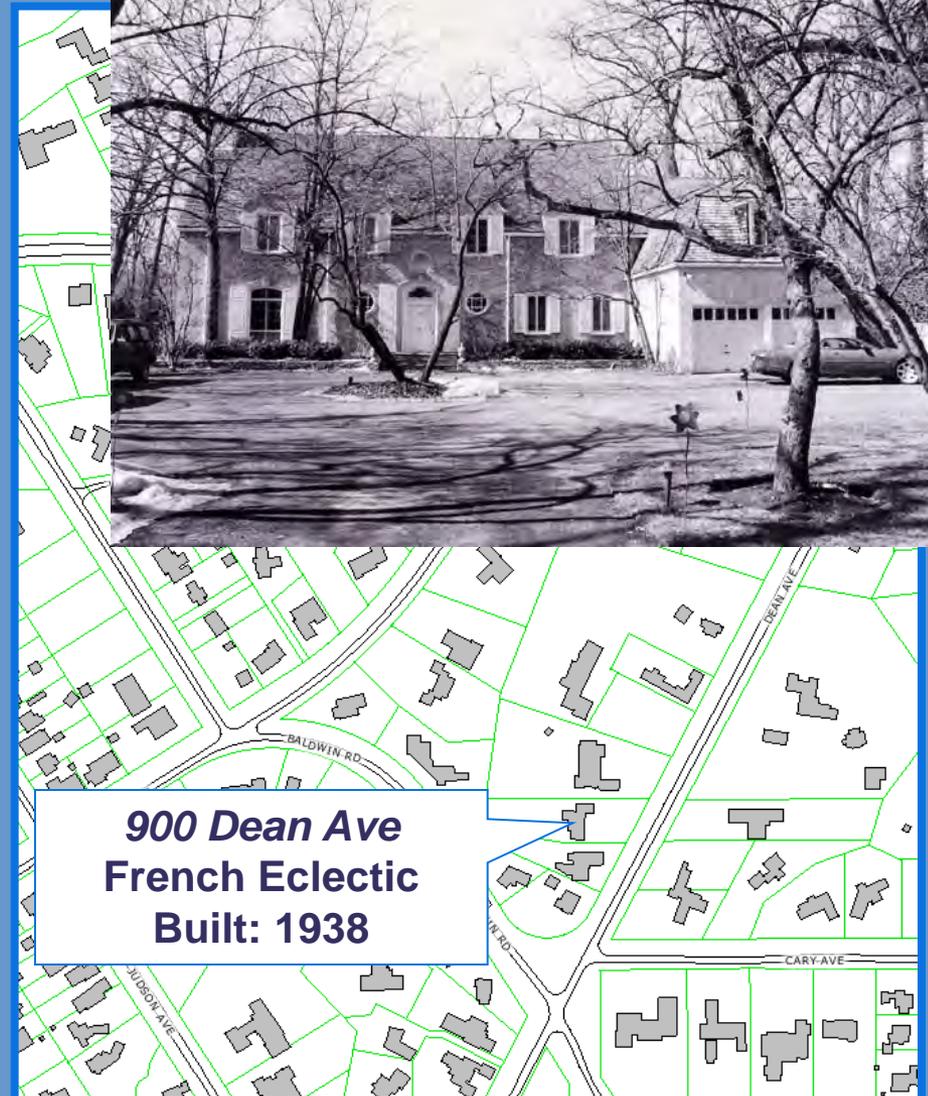
Architects: Loebel & Schlossman

- 1937: 985 Dean
Norman Schlossman
- Cape Cod style



Architects: Loebel & Schlossman

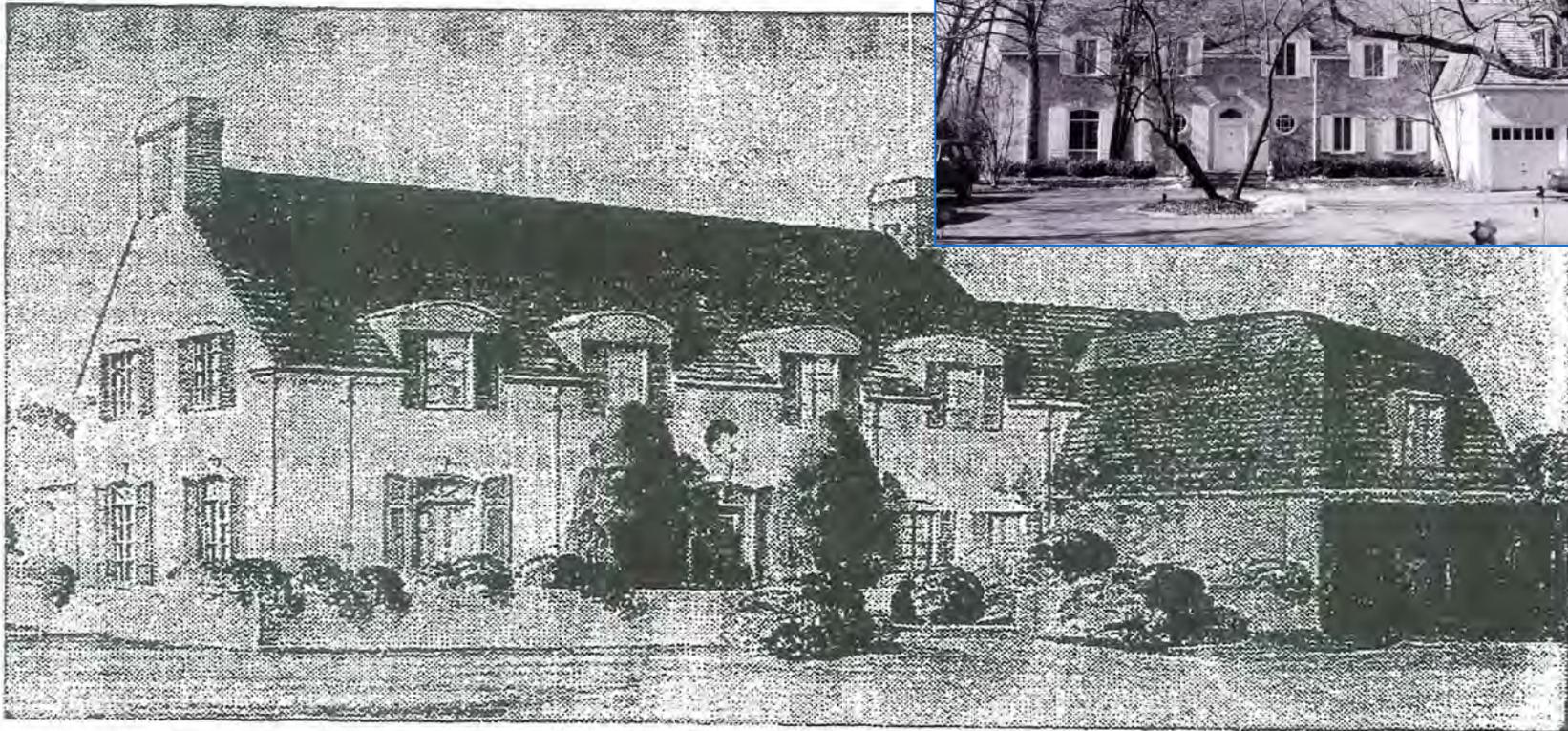
- 1938: 900 Dean
Paul R. Kuhn
- French Eclectic style



Architects: Loebel & Schlossman

900 DEAN

Under Construction

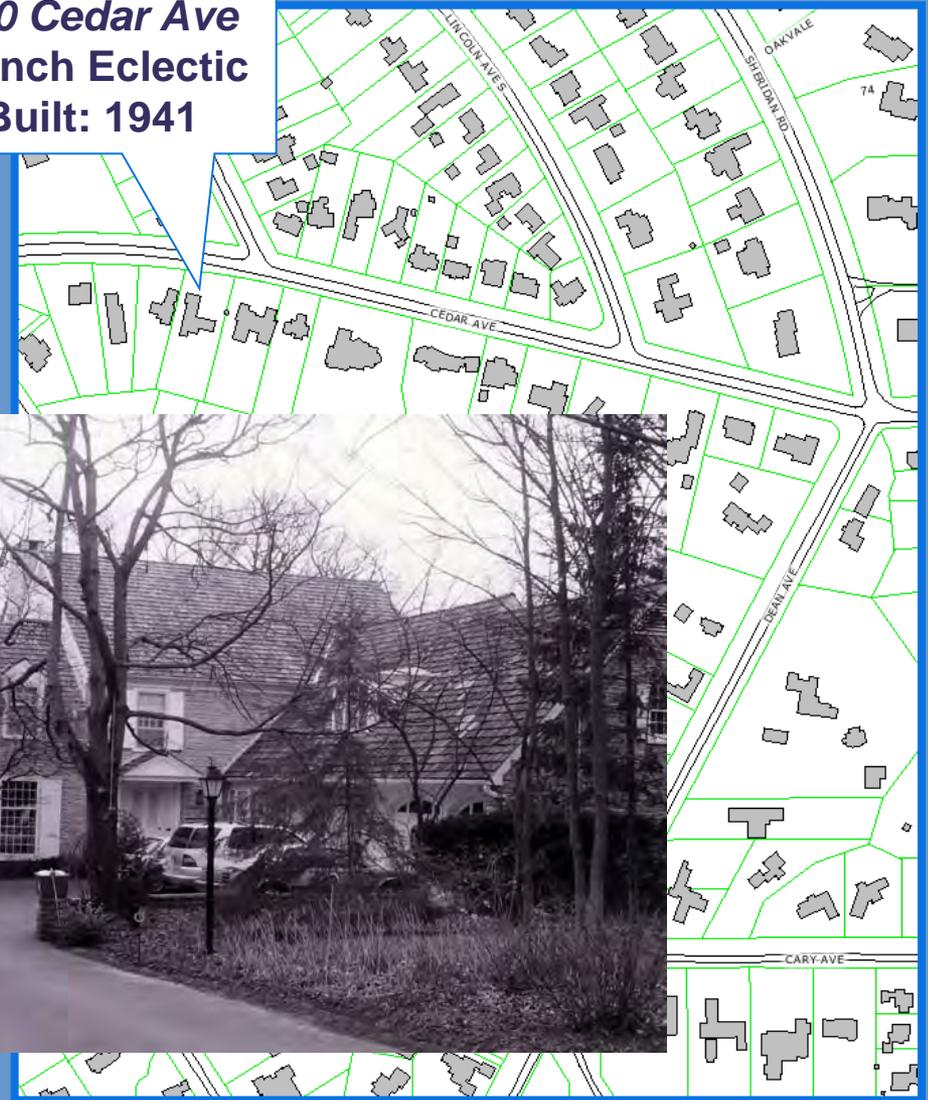


The above house is being erected by Paul R. Kuhn of the Burnet-Kuhn Advertising company, on the north side of Dean avenue, Ravinia, near Bronson avenue, from plans by Loebel & Schlossman. It contains eleven rooms and a two car garage. There will be a library with rip sawed oak paneled walls, a living room, a breakfast room, dining room, four master bedrooms and four baths, and two maids' bedrooms and bath. Exterior walls will be of common brick painted gray.

Architects: Loebel & Schlossman

- 1938: 310 Cedar
Louis Behr
- French Eclectic style

310 Cedar Ave
French Eclectic
Built: 1941



Architects: Loebel & Schlossman



Architects: Loeb & Schlossman

- In 1925, two young architects, Jerry Loeb and Norm Schlossman, launched a firm with a goal of building a reputation in residential and commercial design. From that success, the firm attracted projects that would ultimately leave an indelible mark on Chicago's skyline and its sprawling suburbs.
- In 1946, the firm was chosen as the architect for one of the earliest planned communities in the nation, the Town of Park Forest. In the 1950's and 60's the firm received acclaim for the designs of the first regional shopping centers in the nation; followed in 1976 by one of the most recognized mixed-use projects in the country, Water Tower Place, which helped transform Chicago's North Michigan Avenue into one of the nation's finest retailing avenues.



Architects: Loebel & Schlossman



310 Cedar Ave

HPC Formal Determination of Significance
1-15-2009



**City of Highland Park
Historic Preservation Commission
Minutes of January 15, 2009
7:30 p.m.**

I. Call to Order

The Regular Meeting of the Historic Preservation Commission was called to order at 7:35 p.m. in the City Hall Pre-Session Room at 1707 St. Johns Avenue, Highland Park, IL.
Chair: Jim Fraerman. Secretary: Jason Berry.

II. Roll Call

Members Present: Temkin, Sogin, Butterman, Fraerman, Fradin, Curran

Members Absent: Robbin

Ex-Officio Members Present: Axelrod, Johnas

City Staff Present: Berry

Others Present: Ginger O'Neill, Liz Nardini, Carolyn Shrago

III. Scheduled Business

A. Approval of Minutes

Minutes were corrected by Julia Johnas, who was not present at the December meeting. A motion was made and seconded to adopt the minutes of the regular meeting of December 11, 2008. The minutes were adopted unanimously.

B. Preliminary Determination of Significance

1856 Green Bay Road

Berry and Johnas presented information about the home. Built circa 1905, the house was owned by August Norenburg, who was a local mason.

Sogin asked if met any of the criteria, and if so, was it worth delaying. The home may lack integrity. Fraerman polled the commissioners for their opinion on the home.

Butter Robbin made a motion that the home did not meet landmark criteria. Second from Fradin. The motion passed unanimously (6-0).

C. Final Determination of Significance

310 Cedar

The homes three owners,

Berry presented information on the home's architect, Norman Schlossman. There are three homes by Loebel & Schlossman in the area: Schlossman's own home at 985 Dean

Ave, a home built for Paul Kuhn at 900 Dean Ave, and the residence built for Louis Behr at 310 Cedar Ave.

Sogin discussed the changes in Highland Park from summer community to full-time residences. Schlossman and Behr participated in developing Jewish institutions that underpinned the Jewish community in Highland Park. By the 1930s, the next generation of German Jews were living year-round in Highland Park. Behr was a basketball star and part of the Jewish cultural community. After his early death, his wife continued to live in the home.

Butterman asked about the condition of the home. At the last meeting it was reported that the boiler burst, and inquired why the home wasn't sold earlier. The owners reported that personal reasons prevented its sale, and it wasn't feasible to repair the home for resale.

Carolyn Shrago asked the Commission if the home could be marketed as a teardown. Ms. Shrago noted the home "looks pretty from the exterior" but is in disrepair. Family was moved out of the house slowly.

Fraerman recognized the personal and economic dilemma facing the owners, but noted that the home was rated significant. Described the purpose of the demo delay, and noted without going on the market there is no proof that there's not a buyer.

Ginger O'Neill said they have begun talking to realtors and would be grateful to find someone to preserve it. Shrago said it needs to be gutted, the home has bad plumbing and no updates. O'Neill added it would be hard to show the house now, as it's not heated. They are not going to improve the interior.

Fraerman polled the Commission on potential criteria. Temkin felt it met 1, 5, and 6, noting the connection to Schlossman. Butterman agreed with 1 and 5 but was uncertain about 6—Fradin agreed. Fraerman noted that 6 doesn't seem to cover the connection this home has to the others by Schlossman.

Sogin asked the Commission where they'd "draw the line" to save the neighborhood? Liz Nardini agreed that they would hate to see the home torn down but don't know what else to do. Sogin felt the home met criteria 6 for "culturally significant" design, following the connection Schlossman had to the neighborhood. Curran concurred.

Fraerman reiterated for the owners that the appears to be consensus about criteria 1 and 5, which would be a 180 day delay. If the Commission finds the home also meets criteria 6 it would be a 365 day delay. Fraerman asked the owners to market the home and come back to the Commission with more information.

Curran made a motion that the home met criteria 1, 5, and 6. Second from Sogin. Motion passed unanimously (6-0).

D. Department of Community Development Planning Report

2479 Woodbridge Lane

Berry presented a planning report and findings of fact supporting the landmark designation of 2479 Woodbridge Lane. Fraerman asked to amend the report to describe changes to the home made by the current owners, the Woodbridge Trust.

Curran made a motion to accept the report as amended, adopt the findings of fact, and recommend designation to the City Council. Second from Butterman. Motion passed unanimously (6-0).

IV. New Business

Fraerman described the proposed permit waivers. \$15,000 have been budgeted for 2009. After discussion of various permit types, the Commission agreed that permits requiring a COA should be refunded.

Berry passed out copies of the Hazel-Prospect tour, and Sogin described plans for a second tour.

V. Other Business

There was no other business

VI. Adjournment

Butterman made a motion to adjourn the meeting. Second from Sogin. Meeting adjourned at 9:10 p.m.

Loebl & Schlossman Designs in Highland Park

310 Cedar Ave
French Eclectic
Built: 1941

985 Dean Ave
Cape Cod
Built: 1937
(Norman Schlossman)

900 Dean Ave
French Eclectic
Built: c. 1925

